

**LEMOORE PLANNING COMMISSION**  
**Regular Meeting**  
**AGENDA**  
**Lemoore Council Chambers**  
**429 'C' Street**

**March 9, 2015**  
**7:00 p.m.**

1. Pledge of Allegiance and Roll Call
2. Public Comments and Inquiries  
*If you wish to comment on an item, which is not on the agenda, you may do so under "Public Comment." In order to allow time for all public comments, each individual's comments are limited to five minutes. When addressing the Commission, you are requested to come forward to the speaker's microphone, state your name and address, and then proceed with your presentation.*
3. Approval – Minutes – Regular Meeting February 9, 2015
4. Public Hearing – Report and Recommendation – Resolution No. 2015-01 – Wathen Castanos – Amendment to PUD 2004-04 – Tract 752 – Side Yard Setbacks
5. Public Hearing – Report and Recommendation – Resolution No. 2015-02 – Major Site Plan Review 2015-02 – Dr. Riemer, DDS – 446 "C" Street - APN's 020-082-010 and 020-082-014
6. Discussion – Code Enforcement – Community Service Officer Duties
7. Planning Director's Report
8. Commission's Report and Request for Information
9. Adjournment

**Tentative Future Items**

April 13<sup>th</sup>

Public Hearing - Report and Recommendation – Major Home Occupation Permit  
Public Hearing – Report and Recommendation – Conditional Use Permit

Notice of ADA Compliance: If you or anyone in your party needs reasonable accommodation to attend, or participate in, any Planning Commission Meeting, please make arrangements by contacting City Hall at least 24 hours prior to the meeting. They can be reached by calling 924-6700, or by mail at 119 Fox Street, Lemoore, CA 93245.

Any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection at the City Clerk's Counter at City Hall located at 119 Fox Street, Lemoore, CA during normal business hours. In addition, most documents will be posted on the City's website at [www.lemoore.com](http://www.lemoore.com).

**CERTIFICATION OF POSTING**

I, Kristie Baley, Planning Commission Secretary, do hereby declare that the foregoing Agenda for the Lemoore Planning Commission Regular Meeting of Monday, March 9, 2015 at 7:00 p.m. was posted on the outside bulletin board located at City Hall, 119 Fox Street in accordance with applicable legal requirements. Dated this 6<sup>th</sup> day of March 2015.

\_\_\_\_\_  
*//s//*  
Kristie Baley, Commission Secretary

## **WELCOME TO YOUR LEMOORE PLANNING COMMISSION MEETING**

Whether you are attending this meeting because of general interest, or because a particular item of special interest is to be reviewed, your presence is an important means of helping to insure an informed public and responsible City Government.

### **PLANNING COMMISSION**

The Planning Commission has been established to advise the City Council in planning and zoning matters.

### **REGULAR PLANNING COMMISSION MEETINGS**

Meetings are held at 7:00 p.m. on Second and Fourth Monday of each month. Business requiring Commission action is listed on the Planning Commission Meeting Agenda. An agenda is prepared for each Planning Commission Meeting. In compliance with the State open meeting laws (Brown Act), only those items on the agenda may be acted upon by the Planning Commission.

### **CONDUCT AT PUBLIC MEETINGS**

Your courtesy is requested to help our meeting run smoothly. If you'll be kind enough to follow these simple rules, we can make the best possible use of time. Please silence all electronic devices. Please refrain from public displays or outbursts such as unsolicited applause, comments, cheering, foul language, or obscenities. Any disruptive activities that substantially interfere with the ability of the City to carry out its meeting or prevents/disrupts others from fully participating in the meeting will not be permitted and offenders will be requested to leave the meeting pursuant to Government Code § 54957.9.

### **PUBLIC COMMENTS**

At a Planning Commission meeting, those who wish to be heard on matters on the agenda should indicate their desire to speak when the item is ready for discussion. If you wish to comment on an item which is not on the agenda, you may do so under "Public Comments". In order to allow time for all public comments, each individual's comments are limited to five minutes. Time shall not be shared/loaned from speaker to speaker. If you wish to request time on an upcoming Planning Commission Agenda to present a particular item or matter to the Planning Commission, you may contact the Planning Commission Secretary at any time before 12:00 noon on the Tuesday immediately preceding the Planning Commission meeting to so request. If the matter is within the Planning Commissions jurisdiction, and the Planning Commission has not taken action or considered the item at a recent meeting, the Planning Director may place the item on the Agenda. When addressing the Planning Commission, you are requested to come forward to the speaker's microphone, state your name and address, and then proceed with your presentation.

### **PLANNING COMMISSION ACTION**

#### **Resolution**

A Resolution is a formal written expression of a policy, opinion or desire of the Planning Commission. It requires only one reading and becomes effective on adoption.

#### **Minute Order**

Actions of the Planning Commission recorded only in the Minutes taken in all cases where a formal Resolution is not needed or required.

### **SUGGESTIONS, INQUIRIES OR COMPLAINTS**

While any citizen may speak directly to the Planning Commission concerning suggestions, inquiries or complaints, the Planning Director or Department Head responsible for the service or work concerned, can usually provide pertinent information or handle the matter without delay if a request is made directly to him or her. If you are not sure which department to call, or whenever you feel the matter has not been properly handled, please contact the office of the Planning Director at 711 W. Cinnamon Drive, telephone 924-6740.

Minutes of the  
LEMOORE PLANNING COMMISSION  
February 9, 2015

**MEETING CALLED TO ORDER:**

At 7:00 p.m. the meeting was called to order.

**ATTENDANCE:**

Chairman Garcia, Vice-Chairman Clement, Commissioners Badasci, Dow, Marvin, Monreal, Wynne; City Planner Brandt, Planning Director Wlaschin, Project Manager Holwell, Commission Secretary Baley

**PUBLIC COMMENT:**

Marlana Brown introduced herself as the new Community Plans Liaison Officer for Naval Air Station Lemoore; primary duties focusing on land use and compatible land policy outside the installation to protect the installation and airspace.

**OATH OF OFFICE:**

City Clerk Janie Vanegas administered the Oath of Office to Commissioners Jim Marvin and Jeff Garcia.

**PLANNING COMMISSION REORGANIZATION – ELECTION OF CHAIR AND VICE CHAIR:**

Commission Secretary Baley opened the nomination process and called for Commission Chairman Nominees.

Commissioners Wynne and Badasci nominated Jeff Garcia.

There were no other nominations.

Baley closed nominations and called for a motion to approve the Chairman Nominee.

It was moved by Commissioner Clement and seconded by Commissioner Badasci to approve Nominee Jeff Garcia.

Ayes: Clement, Badasci, Dow, Marvin, Monreal, Garcia, Wynne

Commission Secretary Baley opened the nomination process and called for Commission Vice-Chairman Nominees.

Commissioner Wynne nominated Robert Clement.

There were no other nominations.

Baley closed nominations and called for a motion to approve the Vice-Nominee.

It was moved by Commissioner Badasci and seconded by Commissioner Dow to approve Nominee Robert Clement.

Ayes: Badasci, Dow, Clement, Marvin, Monreal, Wynne, Garcia

#### MINUTES – REGULAR MEETING NOVEMBER 10, 2014:

It was moved by Commissioner Clement and seconded by Commissioner Badasci to approve the Minutes of the Planning Commission Regular Meeting of November 10, 2014.

Ayes: Clement, Badasci, Dow, Marvin, Monreal, Wynne, Garcia

#### PLANNING DIRECTOR'S REPORT:

Planning Director Wlaschin reported that the traffic signals at 19<sup>th</sup> Avenue and Silverado should be operational mid February.

Wlaschin reported that a site plan for new development at 446 "C" Street is expected to be presented to the Commission April 9, 2015.

Wlaschin reported that a request for PUD Amendment for Tract 752 was received and is expected to be presented to the Commission April 9, 2015.

Wlaschin announced he will be retiring.

#### COMMISSIONERS REPORT AND REQUESTS FOR INFORMATION:

Commissioner Garcia narrated a power point presentation to bring forth his code enforcement concerns.

Wlaschin reported that the salary for a full time Code Enforcement Officer was previously funded by the Redevelopment Division. The position was eliminated shortly after the Governor's elimination of Redevelopment. He explained that the Police Department staffs one full time and one recently added part time Community Service Officer to assist with various important tasks throughout the City, including code violations.

Project Manager Holwell reported that the full time Community Service Officer has assisted with code enforcement issues for many years, but was unsure the amount of training the Officer has received. She explained that staff has been instructed to handle the majority of code violations on a complaint basis.

Holwell answered signage questions brought up during the power point presentation.

Commissioner Dow agreed that the City Policy requires a middle ground.

Commissioner Marvin commended the City and staff for keeping the City free of garage sale signs.

Commissioner Badasci reported that she will be attending the League of California Cities Annual Planning Commissioners Academy March 3<sup>rd</sup> - 6<sup>th</sup>.

Commissioner Clement asked Community Plans Liaison Officer for Lemoore Naval Air Station Marlana Brown how many new personnel will be arriving with the additional squadrons coming to LNAS.

Ms. Brown reported that two squadrons are expected to arrive by the end of 2015. The exact number of personnel is unknown, however 10 aircraft, each with pilots, personnel and families will be relocating to Lemoore. She also reported that the F-35's are currently expected to arrive in 2017.

Commissioner Garcia requested Chief of Police Smith attend the next regular meeting of the Planning Commission to report on the Community Service Officer's duties as they pertain to code enforcement.

Wlaschin stated he would request guidance from the City Manager to accommodate the request.

Brandt reported on the history of code enforcement policies in Visalia.

Commissioner Garcia requested guidance from fellow Commissioners.

Commissioner Monreal expressed his support of Police Chief Smith attending a Planning Commission meeting.

Commissioner Badasci recommended drafting a letter addressed to the City Council to open conversation concerning policy.

Commissioners Clement and Wynne commented on the impending staff changes and agreed this is a good time to clarify policy.

Commissioners agreed to draft a letter addressed to the City Council to review during a future Regular Meeting of the Planning Commission.

ADJOURNMENT:

At 8:11 p.m. the meeting adjourned.

Approved the 9<sup>th</sup> day of March, 2015.

Full digital audio recording is available.

Attest:

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Dr. Jeffrey Garcia, Chairman

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Kristie Baley, Commission Secretary

**Mayor**  
Lois Wynne  
**Mayor Pro Tem**  
Jeff Chedester  
**Council Members**  
Ray Madrigal  
Eddie Neal  
William Siegel



**Public Works/  
Planning Department**

711 W. Cinnamon Drive  
Lemoore, CA 93245  
Phone (559) 924-6740  
Fax (559) 924-6708

## Staff Report

ITEM NO. 4

**To: Lemoore Planning Commission**

**From: Steve Brandt, City Planner**

**Date: March 2, 2015**

**Meeting Date: March 9, 2015**

**Subject: Amendment to Planned Unit Development (PUD) 2004-04: A request by Wathen Castanos to modify the minimum side yard setback requirements of Tract 752 from 10 feet in one side yard and 5 feet in the other side yard to 5 feet in both side a yards.**

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### **Recommended Action**

City staff recommends that the Planning Commission conduct a public hearing to take testimony regarding the amendment to PUD 2004-04. Following the public hearing staff recommends that the Planning Commission consider the testimony given and approve the applicant's proposal with conditions.

### **Proposal**

The applicant, Wathen Castanos, requests an amendment to PUD No. 2004-04, which was approved along with the subdivision map for Tract 752. Tract 752 is an approved final map with 77 single-family lots located east of Vine Street at the south end of Golf Avenue and Par Avenue surrounded by the Lemoore Golf Course. The PUD, as it was originally approved in 2005, requires that new homes have a minimum 5-foot side yard building setback on one side and a minimum 10-foot building setback on the other side. The proposed amendment would change the minimum side yard setback to 5 feet on both sides.

### **Project Description**

There are no proposed changes to the layout or design of the subdivision. The only change that would result from the amendment is that the new homes built would be able to be 5 feet wider than the current conditions of the PUD allow. Wathen Castanos purchased the subdivision after approvals were given, and will not be building the same floor plans that were originally envisioned when the subdivision was laid out. Consequently, there are a number of lots in the subdivision that are not wide enough to fit any of Wathen Castanos home plans at the 10 and 5 foot setbacks. The proposed change would alleviate that issue. The floor plans and elevation plans of the homes that are planned are included in a packet attached to this staff report.

*"In God We Trust"*

**Applicant** Wathen Castanos (Shepherd Lane, LP)

**Location** Lemoore Golf Course (Tract 752)

**Existing Land Use** Vacant

**APN** 024-052-098

**Zoning** RLD

**General Plan** Low Density Residential

**Adjacent Land Use, Zone and General Plan Designation**

<u>Direction</u>	<u>Current Use</u>	<u>Zone</u>	<u>General Plan</u>
North	Single-family homes	RLD	Low Density Residential
South	Agriculture	RVLD	Very Low Density Residential
East	Golf course	P	Parks and Recreation
West	Golf course	P	Parks and Recreation

**Building Setbacks**

When Planned Unit Developments are approved, the setback requirements can be customized for that particular development. In this case the original PUD approval included side yard setback requirements for single-story homes that specified a 5-foot minimum setback on one side of the new home and a 10-foot minimum setback on the other side of the home. This standard was proposed and supported by the original developer of the PUD. Since the setbacks were established in the PUD, the PUD must be amended to change the standards. This change would only apply to this PUD in Tract 752.

Staff is recommending approval of the setback change. Staff has reviewed the home plans included in the staff report as part of its review of the master home plan building permits. With some minor adjustments that Wathen Castanos has agreed to, these plans meet all the design and architectural requirements in the Zoning Ordinance. The amendment will apply to all lots in the PUD so that it is administered consistently.

With the change, single-story homes can be built with a minimum 5-foot setback on each side. The applicant is requesting that two-story homes and street-side lots will still have a 10-foot setback on each side.

## **Environmental Assessment**

Pursuant to CEQA (California Environmental Quality Act) Guidelines, Section 15303 New Construction, it has been determined that this project is categorically exempt from additional CEQA processes.

## **Recommended Approval Findings**

A planned development amendment shall be granted only when the designated approving authority determines that the proposed use or activity complies with all of the following findings:

1. The proposed project does not exceed the total density allowed under the base zoning district or the general plan land use designation.
2. The proposed project shall not be substantially detrimental to adjacent property, and will not materially impair the purposes of this title or the public interest.

## **Attachments:**

Resolution 2015-01

Letter from Wathen Castanos dated January 29, 2015

Aerial Photo of Tract 752 site

Package of home floor plans and elevations of planned new homes for Tract 752

**RESOLUTION NO. 2015-01**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LEMOORE  
APPROVING AN AMENDMENT TO PLANNED UNIT DEVELOPMENT NO. 2004-04  
TO MODIFY SIDE YARD SETBACK REQUIREMENTS IN TRACT 752  
LOCATED EAST OF VINE STREET AT THE SOUTH END OF GOLF AVENUE AND PAR AVENUE  
SURROUNDED BY THE LEMOORE GOLF COURSE**

At a Regular Meeting of the Planning Commission of the City of Lemoore duly called and held on March 9, 2015, at 7:00 p.m. on said day, it was moved by Commission Member \_\_\_\_\_, seconded by Commission Member \_\_\_\_\_ and carried that the following Resolution be adopted:

**WHEREAS**, Wathen Castanos (Shepherd Lane, LP) has requested an amendment to Planned Unit Development No. 2004-04 (Tract 752) to modify the side yard setback requirements; and

**WHEREAS**, the site is currently vacant; and

**WHEREAS**, the zoning on the parcel is RLD (Low Density Residential); and

**WHEREAS**, the project is categorically exempt from CEQA requirements per the new small structures exemption in Section 15303 of the CEQA Guidelines.

**WHEREAS**, the Lemoore Planning Commission held a duly noticed public hearing at their March 9, 2015, meeting.

**NOW THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Lemoore hereby makes the following findings regarding the proposed conditional use permit:

1. The proposed project does not exceed the total density allowed under the base zoning district or the general plan land use designation.
2. The proposed project shall not be substantially detrimental to adjacent property, and will not materially impair the purposes of this title or the public interest.

**BE IT FURTHER RESOLVED** that the Planning Commission of the City of Lemoore approves the amendment to Planned Unit Development No. 2004-04, subject to the following conditions:

1. The project shall be developed using the master home plan designs submitted in January 2015, with the minor modifications required by Ordinance.
2. The side yard setbacks for PUD 2004-04 (Tract 752) shall be as follows:

Interior Side yard (single-story home)	5 feet minimum on both sides
Interior Side yard (two-story home)	10 feet minimum on both sides
Street Side yard (single- and two-story homes)	10 feet minimum on both sides

Passed and adopted at a Regular Meeting of the Planning Commission of the City of Lemoore held on March 9, 2015, by the following votes:

**AYES:**

**NOES:**

**ABSTAINING:**

**ABSENT:**

**APPROVED:**

\_\_\_\_\_  
**Dr. Jeffery Garcia, Chairperson**

**ATTEST:**

\_\_\_\_\_  
**Kristie Baley, Commission Secretary**



Local Builder · National Leader  
802 W. Pinedale Ave, Suite 104 Fresno, CA 93711

January 29, 2015

Judy Holwell  
Project Manager  
Planning & Economic Development  
City of Lemoore  
711 W. Cinnamon Drive  
Lemoore, Ca

SUBJECT: Tract 752- Request for an amendment to side yard setbacks  
In previously Approved Planned Unit Development and reference  
Resolution 2005-04

Dear Mrs. Holwell,

By way of this letter we are requesting that the City of Lemoore allow an Amendment in the side yard setbacks from the previously approved 10' and 5'; to 5' and 5' for single story homes, and 10' and 10' for two story homes. This Amendment would allow Wathen Castanos to fit our plan mix (consisting of 5 plans), on approximately 1/3<sup>rd</sup> more of our lots, and thereby giving our future buyers additional variety in the plan/lot they select. Additionally this would lend itself to a more varied plan mix within any given 6 pack, and creating a more aesthetic and pleasing residential development. An example of where the proposed setbacks were used successfully would be our Tract 872 comprised of 97 lots.

As you are aware the preliminary staff review has been completed and proposed housing plans generally appear to comply with the PUD design guidelines.

Thank you for your consideration of our request.

Very truly yours,

  
Mark Wathen  
Corporate Engineer  
Wathen Castanos Homes



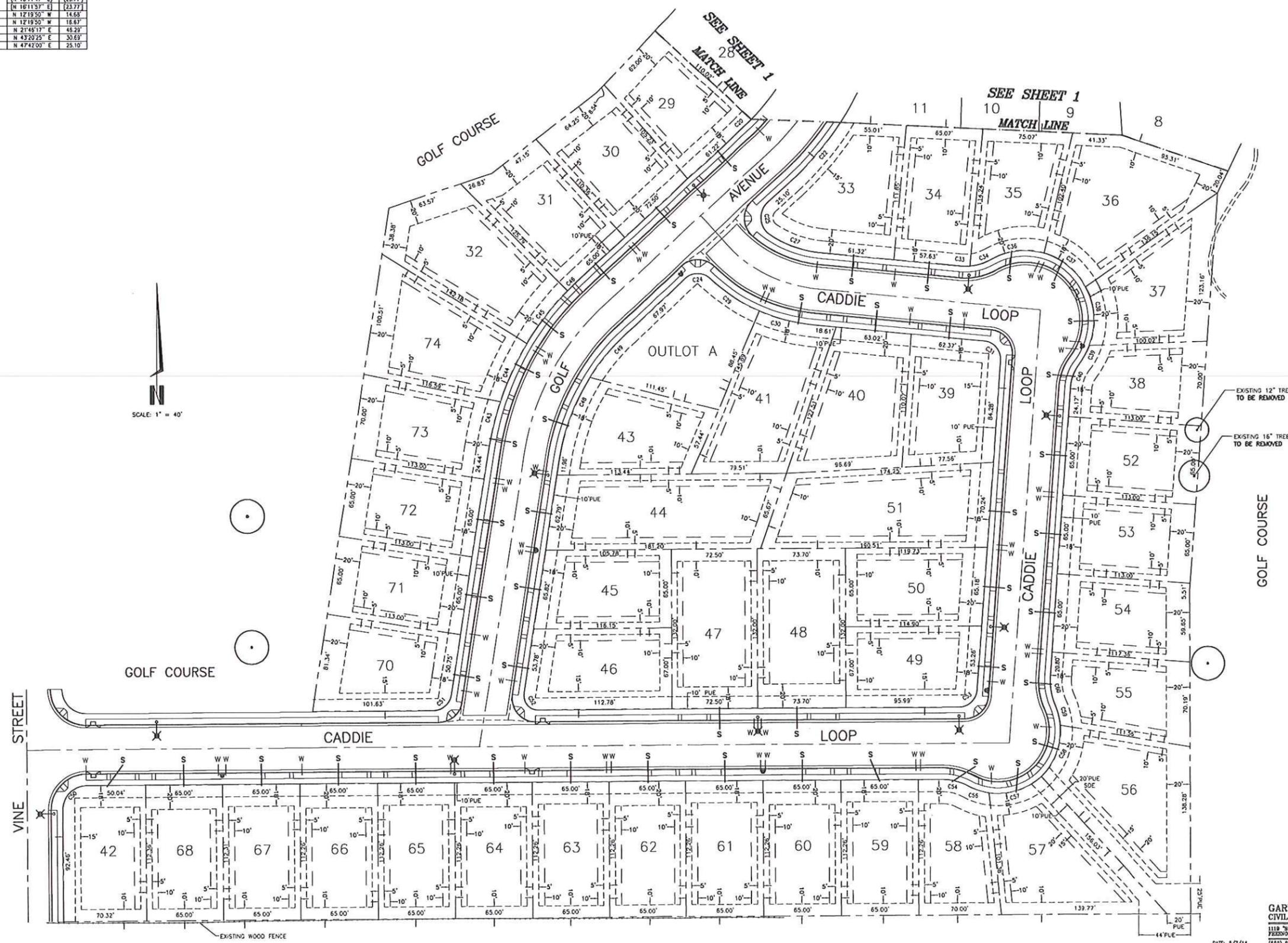
# WATHEN CASTANOS LEMOORE 752, LP.

SITE PLAN AND

SHOWS PROPOSED MINIMUM SETBACKS\*  
WATHEN CASTANOS HYBRID HOMES  
(SHEET 2 OF 2)

CURVE	CHORD	PERCENT	RADIUS	LENGTH
C2	0717.34'	21.84'	320.00'	43.72'
C4	0443.48'	13.92'	300.00'	27.82'
C5	0427.45'	12.85'	300.00'	25.70'
C6	0700.00'	15.00'	150.00'	23.55'
C7	8151.29'	13.01'	150.00'	21.43'
C8	6935.52'	9.85'	150.00'	17.45'
C9	3716.22'	14.68'	55.00'	29.05'
C11	1607.40'	7.79'	55.00'	15.48'
C12	5017.05'	25.81'	55.00'	48.27'
C13	5017.05'	25.81'	55.00'	48.27'
C14	1200.42'	5.79'	55.00'	11.53'
C15	3147.18'	12.81'	45.00'	24.97'
C18	0703.30'	12.03'	195.00'	24.02'
C19	3543.54'	62.65'	195.00'	121.61'
C20	0318.55'	5.64'	195.00'	11.26'
C22	1438.15'	32.75'	255.00'	65.15'
C23	2319.34'	52.64'	255.00'	103.81'
C24	6447.03'	13.69'	150.00'	22.20'
C25	10327.59'	21.55'	170.00'	30.70'
C27	2854.51'	23.20'	90.00'	45.42'
C29	1906.38'	25.25'	150.00'	50.03'
C30	1803.14'	23.83'	150.00'	47.27'
C31	8838.42'	14.65'	150.00'	23.21'
C33	1006.40'	3.72'	42.00'	7.41'
C34	2448.14'	9.24'	42.00'	18.18'
C36	4504.10'	24.07'	58.00'	45.62'
C37	4502.26'	24.52'	58.00'	46.40'
C38	4932.05'	28.76'	58.00'	50.14'
C39	1702.19'	8.69'	58.00'	17.25'
C40	3355.23'	10.98'	36.00'	21.31'
C43	0948.43'	20.43'	238.00'	40.76'
C44	1746.55'	26.65'	238.00'	53.09'
C45	1321.17'	23.65'	238.00'	55.47'
C46	0258.09'	6.17'	238.00'	12.33'
C48	2343.48'	37.40'	178.00'	73.72'
C49	1511.16'	23.73'	178.00'	47.18'
C50	8752.40'	19.95'	20.00'	31.37'
C51	8055.57'	12.80'	13.00'	21.19'
C52	8904.03'	14.07'	12.00'	20.75'
C53	8545.00'	13.93'	15.00'	22.45'
C54	2821.27'	12.13'	48.00'	23.76'
C56	1829.53'	8.93'	52.00'	17.70'
C57	3146.18'	25.23'	52.00'	48.99'
C58	5144.45'	25.22'	52.00'	48.99'
C59	1935.43'	8.98'	52.00'	17.78'
C60	2830.13'	11.94'	47.00'	23.38'

LINE	DIRECTION	DISTANCE
L3	N 08°34'59" E	12.11'
L4	N 08°45'09" E	(12.10)'
L4	N 45°16'10" E	22.67'
L4	N 45°03'30" E	(22.65)'
L6	N 45°07'20" E	(22.55)'
L6	N 37°18'04" E	21.33'
L7	N 37°18'04" E	3.09'
L8	N 11°08'09" E	23.18'
L8	N 10°59'29" E	(23.16)'
L8	N 10°59'19" E	(23.16)'
L9	N 16°13'18" W	23.76'
L9	N 16°11'47" E	(23.77)'
L9	N 16°11'57" E	(23.77)'
L11	N 12°19'50" W	14.68'
L12	N 12°19'50" W	16.67'
L13	N 21°45'17" E	49.29'
L14	N 43°20'25" E	30.69'
L16	N 47°42'00" E	25.10'



SCALE: 1" = 40'

GARY G. GIANNETTA  
CIVIL ENGINEERING & LAND SURVEYING  
1118 5th STREET  
FERRO, CA 95712  
(530) 824-5050 FAX (530) 824-0848  
DATE: 5/7/14

**6 PACK NOTES**

1. TO CREATE AN INTERESTING SITESCAPE THE COMPANY WILL MODIFY THE FRONT YARD SETBACK FROM 15' TO 20' FOR ALL BUILDINGS AND TO VARY BUILDING ELEVATIONS. THE COMPANY IS PREPARING BUILDING ELEVATIONS FOR THE PROPOSED DEVELOPMENT THAT WILL BE PROVIDED TO CITY STAFF. THE COMPANY IS CONFIDENT THE COMBINATION OF NATURAL MARKET FORCES, VARIATIONS IN SETBACK, LANDSCAPING AND BUILDING ELEVATIONS WILL CREATE AN INTERESTING SITESCAPE.

2. THE COMPANY PROPOSES TO HAVE LIKE FLOOR PLANS WITH DIFFERENTIATED ELEVATIONS AND COLOR SCHEMES WITHIN A STRIPS OF 6 UNITS. THE COMPANY WILL PROVIDE ELEVATION WHICH THE COMPANY BELIEVES DEMONSTRATES THE SITESCAPE WILL NOT BE MONOTONOUS. IN ADDITION THE COMPANY PROPOSES TO NOT BE RESTRICTED BY THE DESIGN GUIDELINES OF NOT MORE THAN 45% OF THE PROJECT AS TWO STORY RESIDENTS. THE COMPANY BELIEVES THAT THE MARKET WILL DICTATE THE DEMAND FOR TWO STORY UNITS. HOWEVER, THE COMPANY WILL COMPLY WITH THE SAME METHODOLOGY OF NOT HAVING MORE THAN (1) TWO STORY FLOOR PLAN WITHIN A STRIPS OF 6 UNITS.



SCALE: 1" = 40'

**GENERAL NOTES**

1. LOT COVERAGE NOT TO EXCEED 45%

**\*SETBACK NOTES**

1. FRONT YARD SETBACKS SHALL VARY FROM 15'-20', AND STAGGER ADJACENT HOUSES BY 2' MINIMUM.
2. SIDEYARD SETBACKS ON SIDE STREET SIDES OF PROPERTIES SHALL BE 15'.
3. ALL MINIMUM SIDE YARD SETBACKS SHALL BE 5' FOR 1 STORY, AND 10' FOR 2 STORY.
4. ALL MINIMUM REAR YARD SETBACK FOR GOLF COURSE LOTS SHALL BE 20'. THE APPLICABLE LOTS WILL BE LOTS 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, AND 35. THE REMAINING LOTS SHALL BE 10' MIN. REAR YARD SETBACK REGARDLESS IF 1 OR 2 STORY BUILDING.
5. AIR CONDITIONING UNIT TO BE AT LEAST 3' FROM FENCE.
6. NOT MORE THAN 14 HOURLY SHALL BE PLAN INCLUDING GARAGE PLAN.
7. F.A.R. IS BEING MAINTAINED AT 40%. MAXIMUM = (FIRST FLOOR LIVING SF + GARAGE AREA SF + COVERED PORCH/PATIO/GARAGE SOTTIT SF + SECOND FLOOR LIVING SF) / LOT SIZE SF.
8. LOTS 55, AND 57 HAVE A 10' SIDE YARD STORM DRAIN F.A.S.A.M.T.

**LEGEND:**

- W — EXISTING WATER SERVICE
- S — EXISTING SEWER SERVICE
- D — EXISTING STORM DRAIN INLET
- P — PROPOSED STORM DRAIN INLET
- F — PROPOSED FIRE HYDRANT
- L — PROPOSED STREET LIGHT
- E — PROPOSED ELECTRIC BOX

# WATHEN CASTANOS LEMOORE 752, LP.

## SITE PLAN AND

SHOWS PROPOSED MINIMUM SETBACKS\*  
WATHEN CASTANOS HYBRID HOMES  
(SHEET 1 OF 2)



GARY G. GIANNETTA  
CIVIL ENGINEERING & LAND SURVEYING  
1119 W. STREET  
PESQUERA, CA 93722  
(559) 884-5000 FAX (559) 884-0004

DATE: 5/7/14

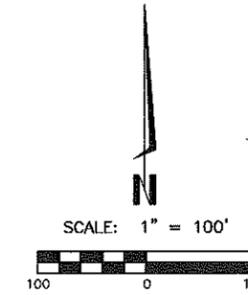
# TRACT NO. 752

PHASE 1 & PHASE 2 OF VESTING TENTATIVE MAP NO. 752

BEING A SUBDIVISION OF A PORTION OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 19 SOUTH, RANGE 20 EAST, MOUNT DIABLO BASE AND MERIDIAN

IN THE CITY OF LEMOORE, KINGS COUNTY, STATE OF CALIFORNIA SURVEYED AND PLATTED IN MAY 2014, BY GARY G. GIANNETTA

CONSISTING OF THREE SHEETS  
SHEET TWO OF THREE SHEETS



### BASIS OF BEARINGS

THE SOUTH LINE OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 19 SOUTH, RANGE 20 EAST, MOUNT DIABLO BASE AND MERIDIAN AS BEARING NORTH 89°42'52" EAST, AS SHOWN ON THE AMENDED PARCEL MAP, RECORDED IN BOOK 13, PAGE 94, K.C.R.

### LEGEND:

- MONUMENT FOUND AND ACCEPTED AS NOTED
- SET 3/4" IRON PIPE, 30" LONG, 6" DOWN BELOW GROUND, TAGGED R.C.E. 26996
- ⊙ SET 3/4" IRON PIPE, 30" LONG, 4" UP IN 6" DIAMETER x 30" P.C.C. MONUMENT, DOWN 6" BELOW GROUND, TAGGED R.C.E. 26996
- ◊ SET 3/4" IRON PIPE, 30" LONG, 6" BELOW GROUND, TAGGED RCE 26996, 3.00' FROM LOT CORNER ON SIDE YARD LOT LINE AS SHOWN (DISTANCES SHOWN ARE TO TRUE LOT CORNER)
- ( ) RECORD DATA AS PER THE AMENDED PARCEL MAP, RECORDED IN BOOK 13, PAGE 94, KINGS COUNTY RECORDS.
- [ ] RECORD DATA AS PER THE FINAL MAP OF TRACT NO. 758, PHASE 2, RECORDED IN VOLUME 20, PAGE 52 OF LICENSED SURVEYORS' PLATS, KINGS COUNTY RECORDS.
- CALC. CALCULATED FROM RECORD DATA
- K.C.R. KINGS COUNTY RECORDS
- L.S.P. LICENSED SURVEYOR'S PLATS
- ▲ NOW OFFERED FOR DEDICATION FOR PUBLIC STREET PURPOSES
- PUE PUBLIC UTILITY EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE
- SDE STORM DRAIN EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE
- SE SEWER EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE
- LINE INDICATES THE LIMITS OF THIS SUBDIVISION

### NOTE:

1. SET 3/4" IRON PIPE, 6" DOWN, TAGGED RCE 26996 AT ALL LOT CORNERS AND ANGLE POINTS.
2. SEE SHEET THREE FOR ADDITIONAL FOUND MONUMENT DESCRIPTIONS.
3. SEE SHEET THREE FOR CURVE, LINE AND RADIAL TABLES.
4. THAT PORTION OF PUBLIC UTILITY EASEMENT AND PUBLIC STREET EASEMENT PREVIOUSLY DEDICATED AS PER AMENDED PM 13-94 RECORDED IN VOLUME 13, PAGE 94, K.C.R., WHICH IS NOT DELINEATED ON THIS MAP IS DEEMED ABANDONED PURSUANT TO SECTION 66434(g) OF THE SUBDIVISION MAP ACT.
5. THAT PORTION OF TEMPORARY TURNAROUND EASEMENT PREVIOUSLY DEDICATED AS PER DOCUMENT NO. 0332553, K.C.R., WHICH IS NOT DELINEATED ON THIS MAP IS DEEMED ABANDONED PURSUANT TO SECTION 66434(g) OF THE SUBDIVISION MAP ACT.
6. THAT PORTION OF TEMPORARY PONDING BASIN EASEMENT PREVIOUSLY DEDICATED AS PER DOCUMENT NO. 0332553, K.C.R., WHICH IS NOT DELINEATED ON THIS MAP IS DEEMED ABANDONED PURSUANT TO SECTION 66434(g) OF THE SUBDIVISION MAP ACT.

2" BRASS CAP MONUMENT, 4" DOWN, STAMPED "KINGS COUNTY SURVEYOR", AS BEING THE NORTH QUARTER CORNER OF SEC. 15, T 19 S, R 20 E, M.D.B. & M. C.R. 3224

IONA STREET

### MONUMENTS:

- ① 3/4" IRON PIPE, 7" DOWN, TAGGED CASE LS 7507, AS BEING THE SOUTHEAST CORNER OF LOT 45 OF TRACT 758, PHASE 2
- ② 2" BRASS CAP CENTERLINE MONUMENT, FLUSH W/AC, STAMPED LS 7507, AS BEING THE CENTERLINE OF GOLF AVENUE ON THE SOUTH BOUNDARY OF TRACT 758, PHASE 2
- ③ 3/4" IRON PIPE, 7" DOWN, TAGGED LS 7507, AS BEING THE SOUTHWEST CORNER OF LOT 59 OF TRACT 758, PHASE 2
- ④ 2" BRASS CAP CENTERLINE MONUMENT, FLUSH W/AC, STAMPED CASE LS 7507, AS BEING THE BEGINNING OF CURVATURE ON THE CENTERLINE OF GOLF AVENUE IN TRACT 758, PHASE 2
- ⑤ 3/4" IRON PIPE, 7" DOWN, TAGGED CASE LS 7507, AS BEING THE BEGINNING OF CURVATURE ON THE EAST RIGHT-OF-WAY OF GOLF AVENUE IN TRACT 758, PHASE 2
- ⑥ 3/4" IRON PIPE, 10" DOWN, TAGGED CASE LS 7507, AS BEING THE SOUTHEAST CORNER OF LOT 58 OF TRACT 758, PHASE 2
- ⑦ 2" BRASS CAP CENTERLINE MONUMENT, FLUSH W/AC, STAMPED LS 7507, AS BEING THE CENTERLINE OF PAR AVENUE ON THE SOUTH BOUNDARY OF TRACT 758, PHASE 2
- ⑧ 3/4" IRON PIPE, 10" DOWN, TAGGED LS 7507, AS BEING ON THE EAST RIGHT-OF-WAY OF PAR AVENUE ON THE SOUTH BOUNDARY OF TRACT 758, PHASE 2
- ⑨ 3/4" IRON PIPE, 8" DOWN, TAGGED CASE LS 7507, AS BEING THE BEGINNING OF CURVATURE ON THE WEST RIGHT-OF-WAY OF PAR AVENUE IN TRACT 758, PHASE 2

15' PUBLIC UTILITY EASEMENT PREVIOUSLY DEDICATED AS PER AMENDED PM 13-94

3/4" IRON PIPE, 7" DOWN, WITH BRASS TAG STAMPED PLS 6218, AS BEING AN ANGLE POINT ON THE WEST BOUNDARY OF PARCEL 2 OF AMENDED PM 13-94

3/4" IRON PIPE, 3" DOWN, WITH BRASS TAG STAMPED PLS 6218, AS BEING AN ANGLE POINT ON THE WEST BOUNDARY OF PARCEL 2 OF AMENDED PM 13-94

3/4" IRON PIPE, 11" DOWN, WITH BRASS TAG STAMPED PLS 6218, AS BEING AN ANGLE POINT ON THE WEST BOUNDARY OF PARCEL 2 OF AMENDED PM 13-94

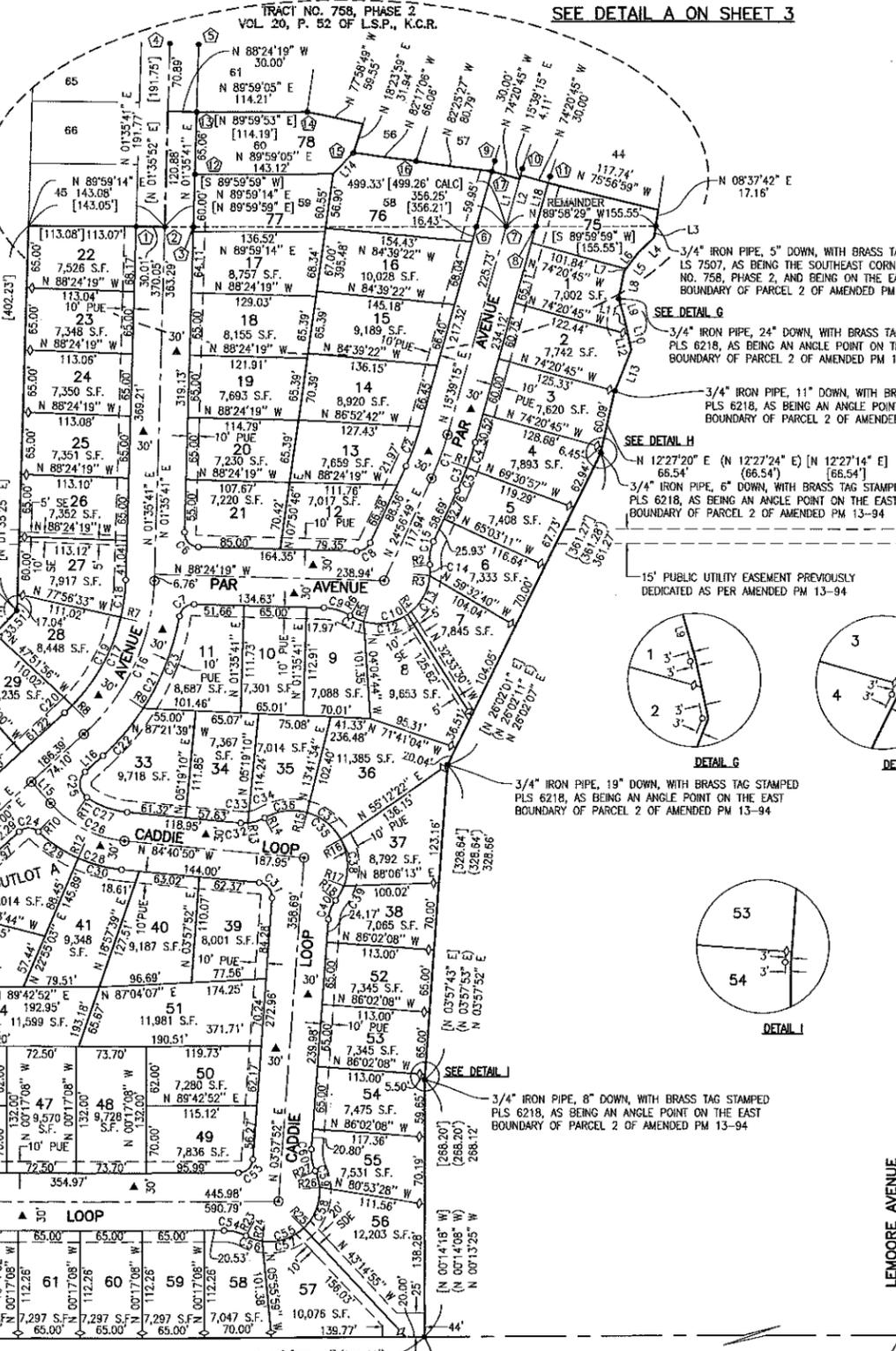
3/4" IRON PIPE, 8" DOWN, WITH BRASS TAG STAMPED PLS 6218, AS BEING AN ANGLE POINT ON THE WEST BOUNDARY OF PARCEL 2 OF AMENDED PM 13-94

20' PREVIOUSLY DEDICATED FOR PUBLIC STREET PURPOSES AS PER AMENDED PM 13-94

SEE DETAIL B ON SHEET 3

20' RIGHT-OF-WAY AS PER BOOK 1, PAGE 399 OF RIGHTS-OF-WAYS, K.C.R.

3/4" IRON PIPE, 6" DOWN, WITH BRASS TAG STAMPED PLS 6218, AS BEING ON THE SOUTH LINE OF THE NORTHEAST QUARTER OF SEC. 15, AND 40.02' EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SEC. 15.



3/4" IRON PIPE, 6" DOWN, WITH BRASS TAG STAMPED PLS 6218, AS BEING THE SOUTHEAST CORNER OF PARCEL 2 OF AMENDED PM 13-94, AND BEING ON THE SOUTH LINE OF THE NORTHEAST QUARTER OF SEC. 15

2" BRASS CAP MONUMENT, IN HAND WELL, 2" DOWN, STAMPED "1/4 CORNER 14/15", AS BEING THE EAST QUARTER CORNER OF SEC. 15, T 19 S, R 20 E, M.D.B. & M. C.R. 1688

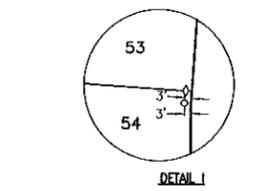
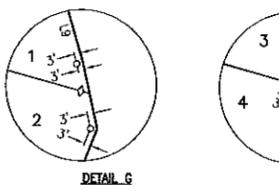
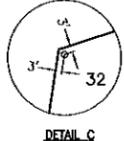
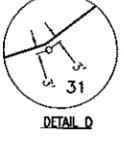
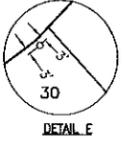
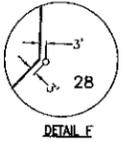
SEE DETAIL A ON SHEET 3

SEE DETAIL G

SEE DETAIL H

SEE DETAIL I

SEE DETAIL J



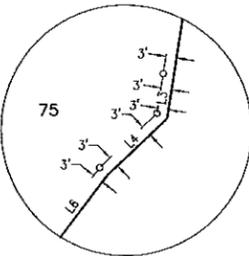
# TRACT NO. 752

PHASE 1 & PHASE 2 OF VESTING TENTATIVE MAP NO. 752

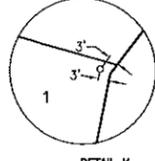
BEING A SUBDIVISION OF A PORTION OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 19 SOUTH, RANGE 20 EAST, MOUNT DIABLO BASE AND MERIDIAN

IN THE CITY OF LEMOORE, KINGS COUNTY, STATE OF CALIFORNIA SURVEYED AND PLATTED IN MAY 2014, BY GARY G. GIANNETTA

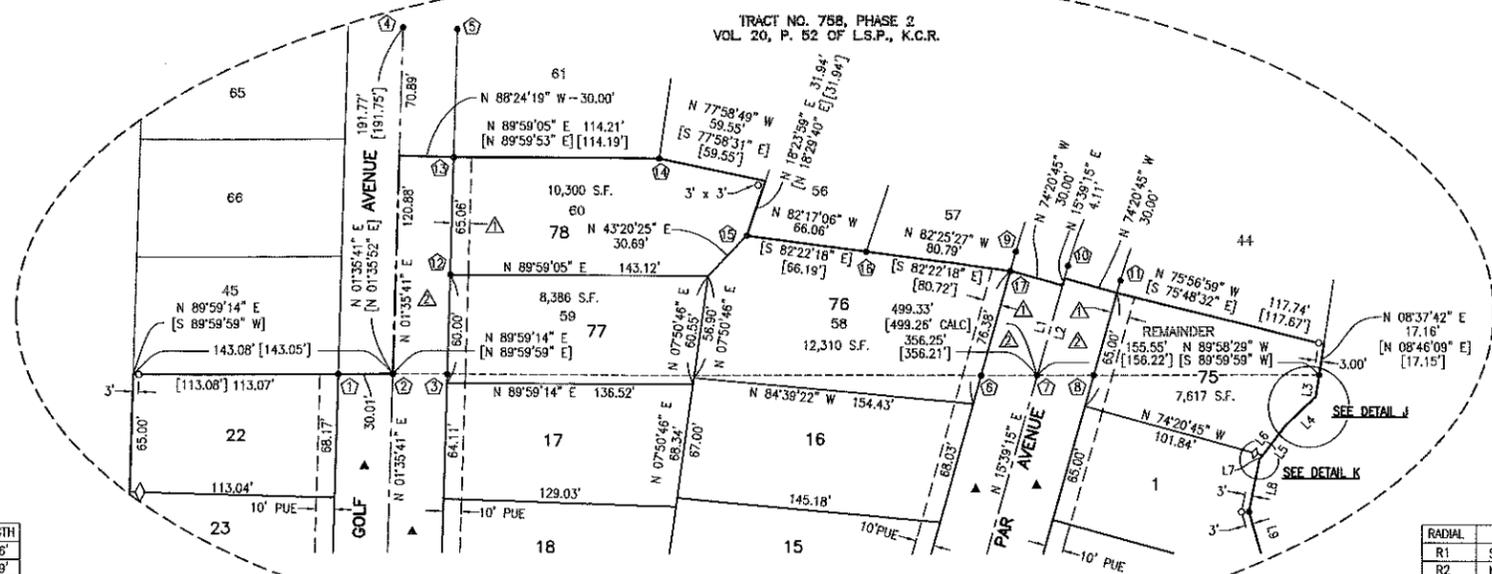
CONSISTING OF THREE SHEETS  
SHEET THREE OF THREE SHEETS



DETAIL J

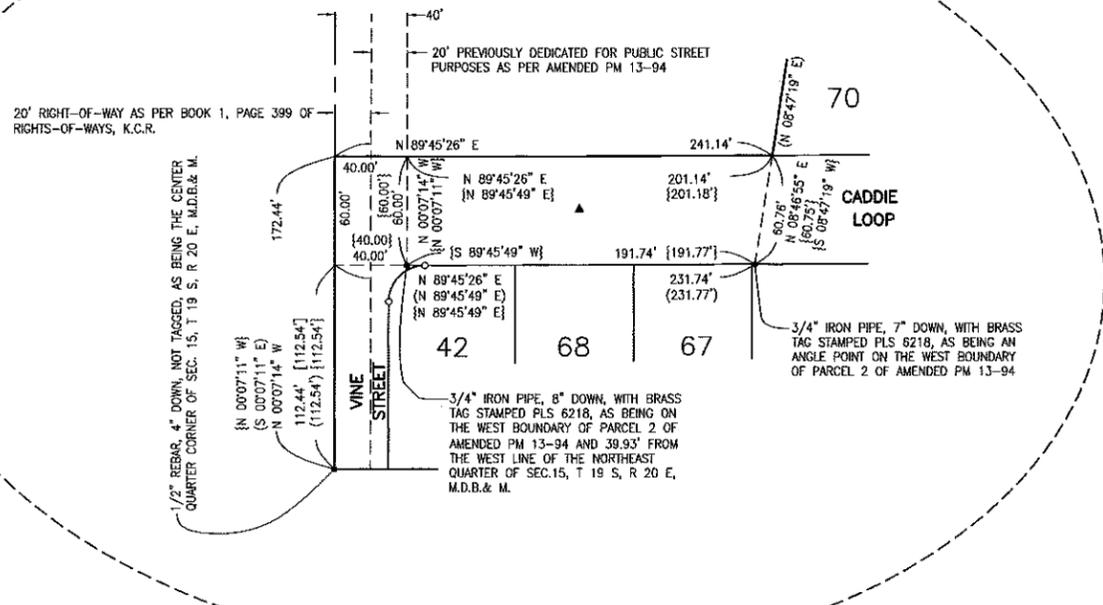


DETAIL K



DETAIL A  
SCALE: 1" = 60'

CURVE	DELTA	TANGENT	RADIUS	LENGTH
C1	09°17'34"	24.38'	300.00'	48.66'
C2	09°17'34"	21.94'	270.00'	43.79'
C3	09°17'34"	26.82'	330.00'	53.52'
C4	04°49'48"	13.92'	330.00'	27.82'
C5	04°27'46"	12.86'	330.00'	25.70'
C6	90°00'00"	15.00'	15.00'	23.56'
C7	81°51'29"	13.01'	15.00'	21.43'
C8	66°38'52"	9.86'	15.00'	17.45'
C9	30°16'21"	14.88'	55.00'	29.06'
C10	128°42'31"	114.56'	55.00'	123.55'
C11	16°07'39"	7.79'	55.00'	15.48'
C12	50°17'05"	25.81'	55.00'	48.27'
C13	50°17'06"	25.81'	55.00'	48.27'
C14	12°00'41"	5.79'	55.00'	11.53'
C15	31°47'18"	12.81'	45.00'	24.97'
C16	46°06'19"	95.75'	225.00'	181.06'
C17	46°06'19"	82.98'	195.00'	156.91'
C18	11°34'25"	19.76'	195.00'	39.39'
C19	31°12'59"	54.48'	195.00'	106.24'
C20	03°18'55"	5.64'	195.00'	11.28'
C21	37°57'48"	87.71'	255.00'	168.96'
C22	14°38'15"	32.75'	255.00'	65.15'
C23	23°19'33"	52.64'	255.00'	103.81'
C24	84°47'03"	13.69'	15.00'	22.20'
C25	103°27'59"	21.55'	17.00'	30.70'
C26	42°22'50"	46.52'	120.00'	88.76'
C27	28°54'51"	23.20'	90.00'	45.42'
C28	37°09'53"	50.43'	150.00'	97.30'
C29	19°06'39"	25.25'	150.00'	50.03'
C30	18°03'14"	23.83'	150.00'	47.26'
C31	88°38'42"	14.65'	15.00'	23.21'
C32	34°54'55"	13.21'	42.00'	25.59'
C33	10°06'40"	3.72'	42.00'	7.41'
C34	24°48'15"	9.24'	42.00'	18.18'
C35	157°29'00"	291.36'	58.00'	159.42'
C36	45°04'10"	24.07'	58.00'	45.62'
C37	45°50'27"	24.52'	58.00'	46.40'
C38	49°32'04"	26.76'	58.00'	50.14'
C39	17°02'19"	8.69'	58.00'	17.25'
C40	33°55'23"	10.98'	36.00'	21.31'
C41	38°55'05"	73.49'	208.00'	141.28'
C42	38°55'05"	84.09'	238.00'	161.66'
C43	09°48'44"	20.43'	238.00'	40.76'
C44	12°46'55"	26.66'	238.00'	53.09'
C45	13°21'17"	27.86'	238.00'	55.47'
C46	02°58'09"	6.17'	238.00'	12.33'
C47	38°55'05"	62.89'	178.00'	120.91'
C48	23°43'49"	37.40'	178.00'	73.72'
C49	15°11'16"	23.73'	178.00'	47.18'
C50	89°52'40"	19.96'	20.00'	31.37'
C51	80°55'57"	12.80'	15.00'	21.19'
C52	99°04'03"	14.07'	12.00'	20.75'
C53	85°45'00"	13.93'	15.00'	22.45'
C54	28°21'27"	12.13'	48.00'	23.76'
C55	142°36'40"	153.68'	52.00'	129.43'
C56	19°29'53"	8.93'	52.00'	17.70'
C57	51°46'18"	25.23'	52.00'	46.99'
C58	51°44'45"	25.22'	52.00'	46.96'
C59	19°36'44"	8.96'	52.00'	17.78'
C60	28°30'13"	11.94'	47.00'	23.38'



DETAIL B  
SCALE: 1" = 60'

RADIAL	DIRECTION
R1	S 69°30'57" E
R2	N 83°09'31" E
R3	S 84°49'48" E
R4	S 34°32'42" E
R5	S 15°44'23" W
R6	S 31°52'02" W
R7	S 76°49'54" E
R8	S 45°36'55" E
R9	S 56°56'15" E
R10	S 42°29'03" W
R11	S 34°14'01" W
R12	S 23°22'24" W
R13	S 04°47'30" E
R14	N 29°35'45" W
R15	N 15°28'25" E
R16	N 61°18'52" E
R17	S 69°09'04" E
R18	N 52°06'45" W
R19	N 57°29'16" W
R20	N 45°16'09" W
R21	N 58°37'26" W
R22	N 71°24'21" W
R23	S 28°04'19" W
R24	S 08°34'26" W
R25	S 43°11'52" E
R26	N 85°03'23" E
R27	N 65°27'39" E

LINE	DIRECTION	DISTANCE
L1	N 15°39'15" E	51.54'
L2	N 15°39'15" E	55.64'
L3	N 08°54'59" E	12.11'
	[N 08°46'09" E]	[12.10']
L4	N 46°16'10" E	22.67'
	[N 46°03'30" E]	[22.65']
	[N 46°07'20" E]	[22.65']
L5	N 37°18'04" E	24.32'
	[N 37°09'24" E]	[24.30']
	[N 37°08'14" E]	[24.30']
L6	N 37°18'04" E	21.23'
L7	N 37°18'04" E	3.08'
L8	N 11°08'09" E	29.18'
	[N 10°59'29" E]	[29.16']
	[N 10°59'19" E]	[29.16']
L9	N 16°13'18" W	23.76'
	[N 16°11'47" E]	[23.77']
	[N 16°11'57" E]	[23.77']
L10	N 12°19'50" W	31.35'
	[N 12°18'19" W]	[31.36']
	[N 12°18'29" W]	[31.36']
L11	N 12°19'50" W	14.68'
L12	N 12°19'50" W	16.67'
L13	N 21°46'17" E	46.29'
	[N 21°47'48" E]	[46.31']
	[N 21°47'38" E]	[46.31']
L14	N 43°20'25" E	30.69'
L15	N 42°18'00" W	30.00'
L16	N 47°42'00" E	25.10'
L17	N 89°42'52" E	4.78'
L18	N 15°39'15" E	47.25'

**LEGEND:**

- MONUMENT FOUND AND ACCEPTED AS NOTED
- SET 3/4" IRON PIPE, 30" LONG, 6" DOWN BELOW GROUND, TAGGED R.C.E. 26996
- ⊙ SET 3/4" IRON PIPE, 30" LONG, 4" UP IN 6" DIAMETER x 30" P.C.C. MONUMENT, DOWN 6" BELOW GROUND, TAGGED R.C.E. 26996
- ◊ SET 3/4" IRON PIPE, 30" LONG, 6" BELOW GROUND, TAGGED R.C.E. 26996, 3.00' FROM LOT CORNER ON SIDE YARD LOT LINE AS SHOWN (DISTANCES SHOWN ARE TO TRUE LOT CORNER)
- ( ) RECORD DATA AS PER THE AMENDED PARCEL MAP, RECORDED IN BOOK 13, PAGE 94, KINGS COUNTY RECORDS.
- [ ] RECORD DATA AS PER THE FINAL MAP OF TRACT NO. 758, PHASE 2, RECORDED IN VOLUME 20, PAGE 52 OF LICENSED SURVEYORS' PLATS, KINGS COUNTY RECORDS.
- { } RECORD DATA AS PER GRANT DEED RECORDED OCTOBER 30, 2003 AS DOCUMENT NO. 0331546, KINGS COUNTY RECORDS
- CALC. CALCULATED FROM RECORD DATA
- K.C.R. KINGS COUNTY RECORDS
- L.S.P. LICENSED SURVEYOR'S PLATS
- ▲ NOW OFFERED FOR DEDICATION FOR PUBLIC STREET PURPOSES
- PUE PUBLIC UTILITY EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE
- ⚠ PUBLIC UTILITY EASEMENT PREVIOUSLY DEDICATED PER THE FINAL MAP OF TRACT NO. 758, PHASE 2, RECORDED IN VOLUME 20, PAGE 52 OF LICENSED SURVEYORS' PLATS, KINGS COUNTY RECORDS.
- ⚠ PREVIOUSLY DEDICATED FOR PUBLIC STREET PURPOSES AND PUBLIC UTILITY EASEMENT PER THE FINAL MAP OF TRACT NO. 758, PHASE 2, RECORDED IN VOLUME 20, PAGE 52 OF LICENSED SURVEYORS' PLATS, KINGS COUNTY RECORDS.
- LINE INDICATES THE LIMITS OF THIS SUBDIVISION

**MONUMENTS:**

- Ⓜ 2" BRASS CAP CENTERLINE MONUMENT, FLUSH W/AC, STAMPED LS 7507, AS BEING THE BEGINNING OF CURVATURE ON THE CENTERLINE OF GOLF AVENUE IN TRACT 758, PHASE 2
- Ⓜ 3/4" IRON PIPE, 8" DOWN, TAGGED CASE LS 7507, AS BEING THE BEGINNING OF CURVATURE ON THE EAST RIGHT-OF-WAY OF PAR AVENUE IN TRACT 758, PHASE 2
- Ⓜ 3/4" IRON PIPE, 6" DOWN, TAGGED CASE LS 7507, AS BEING THE NORTHWEST CORNER OF LOT 59 OF TRACT 758, PHASE 2, AND 0.07' EAST OF THE EAST RIGHT-OF-WAY LINE OF GOLF AVENUE.
- Ⓜ 3/4" IRON PIPE, 6" DOWN, TAGGED CASE LS 7507, AS BEING THE SOUTHWEST CORNER OF LOT 61 OF TRACT 758, PHASE 2, AND 0.07' EAST OF THE EAST RIGHT-OF-WAY LINE OF GOLF AVENUE.
- Ⓜ 3/4" IRON PIPE, 10" DOWN, TAGGED CASE LS 7507, AS BEING THE SOUTHWEST CORNER OF LOT 61 OF TRACT 758, PHASE 2.
- Ⓜ 3/4" IRON PIPE, 8" DOWN, TAGGED CASE LS 7507, AS BEING THE SOUTHWEST CORNER OF LOT 56 OF TRACT 758, PHASE 2.
- Ⓜ 3/4" IRON PIPE, 10" DOWN, NOT TAGGED, AS BEING THE SOUTHWEST CORNER OF LOT 56 OF TRACT 758, PHASE 2.
- Ⓜ 3/4" IRON PIPE, 6" DOWN, TAGGED CASE LS 7507, AS BEING THE SOUTHWEST CORNER OF LOT 57 OF TRACT 758, PHASE 2.

\* MINIMUM SETBACK BETWEEN AC UNIT AND FENCE MUST BE 3'

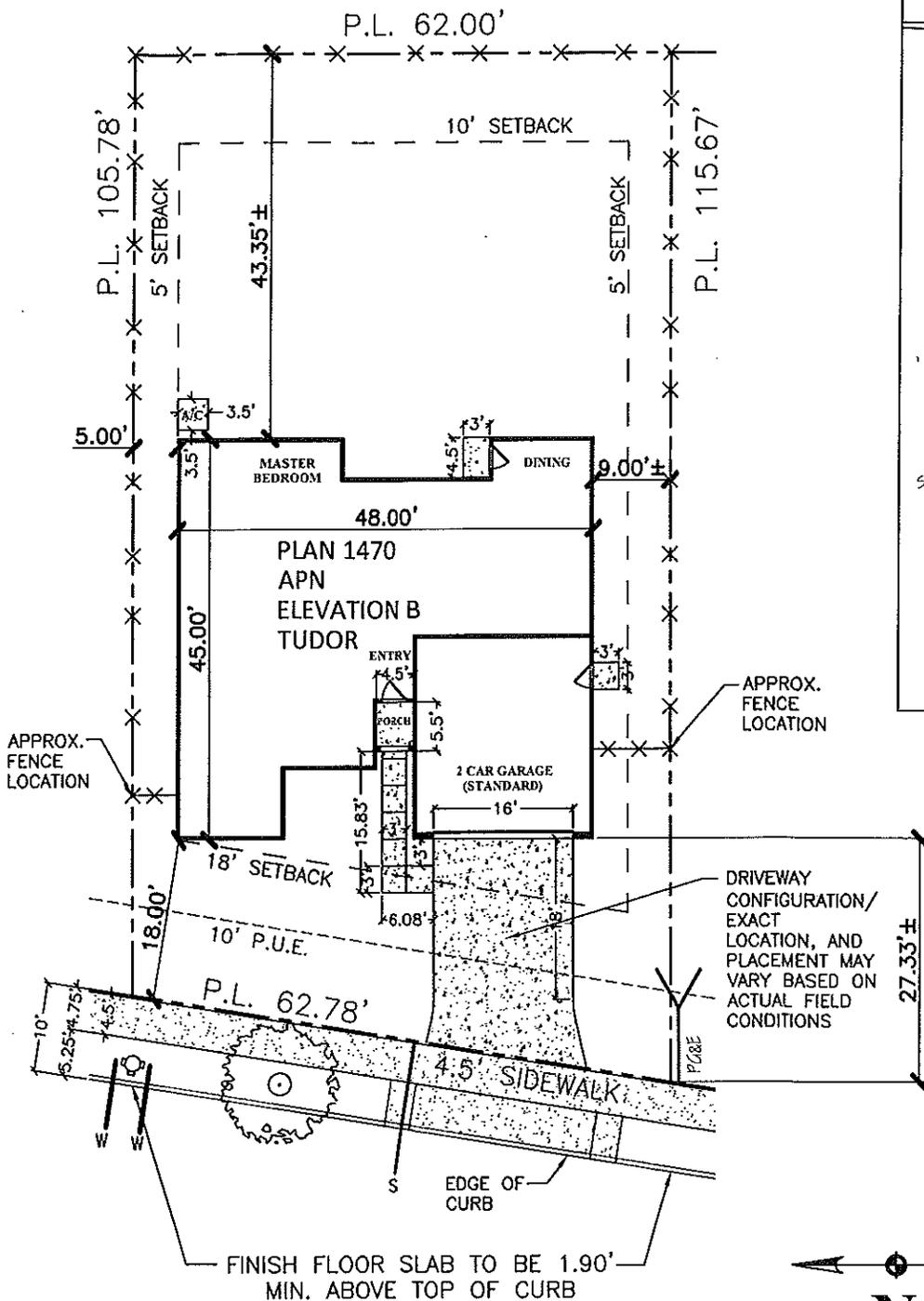
REAR AND SIDE YARD FENCES, IN SOME INSTANCES, WERE INSTALLED ON THE PROPERTY LINES BY OTHERS, FOR THE ADJACENT SUBDIVISIONS. WHERE THIS CONDITION OCCURRED, WCH LEMOORE GOLF LLC, LEFT THE OLD FENCE ON THE PROPERTY LINE, AND PROVIDED A PARALLEL, NEW FENCE OFF THE PROPERTY LINE FOR THE BUYERS. NOTE THAT THIS CREATED A DOUBLED UP FENCE CONDITION AND AN ENCROACHMENT UP TO APPROXIMATELY 1' OF FENCE LINE ON THE PROPERTIES AFFECTED.

NOTE: MAILBOX FOR THIS LOT IS PROVIDED BY A COMMUNITY MAIL BOX UNIT LOCATION PENDING

NOTE: EXACT LOCATION OF STREET TREES MAY VARY BASED ON ACTUAL FIELD CONDITIONS

**SYMBOL KEY**

- STREET LIGHT
- FIRE HYDRANT
- CABLE TV SPLICE BOX
- TELEPHONE SPLICE BOX
- POLE SPLICE BOX
- POLE 2'X2' SECONDARY BOX
- POLE 5'X5' PRIMARY BOX
- TRANSFORMER
- MAILBOX



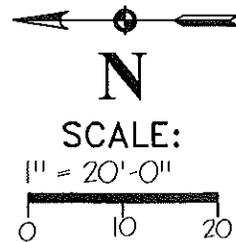
**DRAFT**

NOTE: FLAT WORK SCORE LINES WILL VARY DEPENDING ON ACTUAL FIELD CONDITIONS

**SITE PLAN**

PLACEMENT OF HOUSE, STREETLIGHTS, FIRE HYDRANTS, SIDEWALK, TRANSFORMERS, ETC., ARE SUBJECT TO CHANGE DUE TO SITE CONDITIONS. FINAL INFORMATION FOR CABLE, TELEPHONE, AND ELECTRIC UTILITIES, IS UNAVAILABLE AT THIS TIME. STREETLIGHTS MAY BE RELOCATED BASED ON FINAL DRAWINGS.

**GOLF AVENUE**



FAR LOT COVERAGE= 28%

LOT #	PLAN NO.	ELEVATION	PERMIT DESCRIPTION	1st FLOOR LIVING AREA (SF)	GARAGE AREA (SF)	COVERED PORCH/PATIO/ GARAGE SOFFIT AREA (SF)	A+B+C FOOTPRINT AREA (SF)	2nd FLOOR LIVING AREA (SF)	A+E TOTAL LIVING AREA (SF)	D+E TOTAL Bldg. Dept. VALUATION (SF)
45	1470-1	B	2CAR, NO OPTIONS	1,470	452	25	1,947		1,470	1,947

**WCH LEMOORE GOLF, LLC**  
 WATHEN CASTANOS HYBRID HOMES, INC.  
 802 W. PINEDALE AVENUE, SUITE 104  
 FRESNO CA, 93711  
 (559) 432-8181

**TRACT 752**  
 1280 GOLF AVENUE  
**LOT 45**  
 PLAN NUMBER 1470 ELEVATION B DATE 1/28/2015  
 BUYER'S SIGNATURE \_\_\_\_\_

APPROVED BY: \_\_\_\_\_

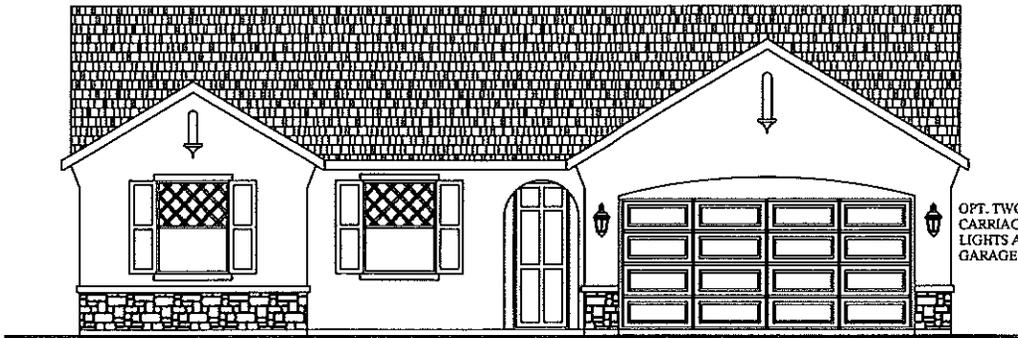
# ELEVATION A

## PLAN 1470



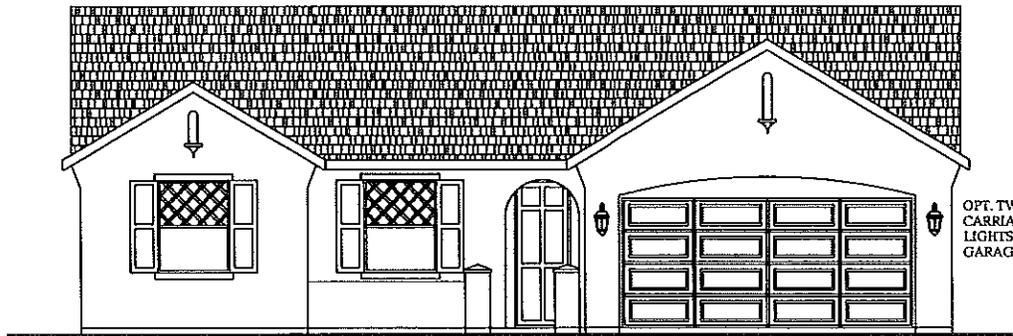
ELEVATION A

OPT. TWO  
CARRIAGE  
LIGHTS AT  
GARAGE



ELEVATION A  
W/ OPT. STONE

OPT. TWO  
CARRIAGE  
LIGHTS AT  
GARAGE



ELEVATION A  
W/ OPT. COURTYARD

OPT. TWO  
CARRIAGE  
LIGHTS AT  
GARAGE

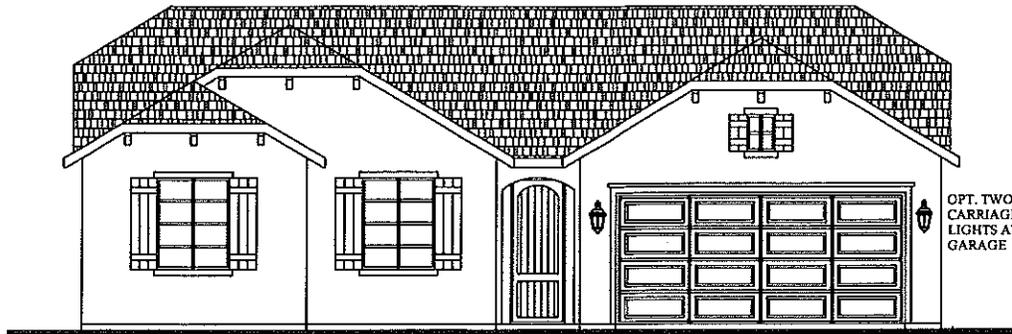


ELEVATION A  
W/ OPT. FRONT COURTYARD & OPT. STONE

OPT. TWO  
CARRIAGE  
LIGHTS AT  
GARAGE

# ELEVATION B

## PLAN 1470



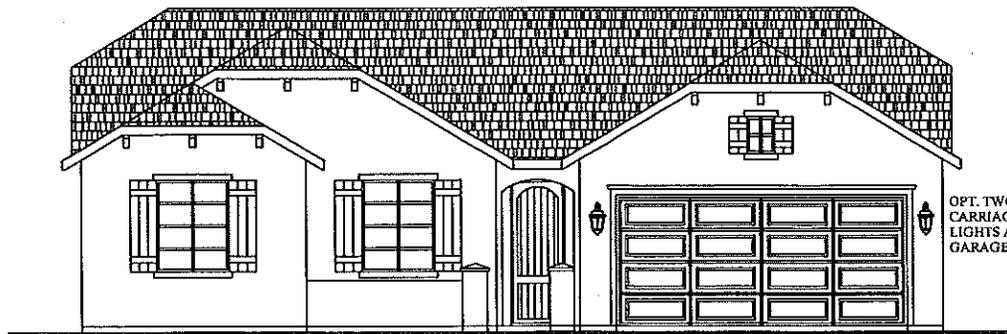
OPT. TWO  
CARRIAGE  
LIGHTS AT  
GARAGE

ELEVATION B



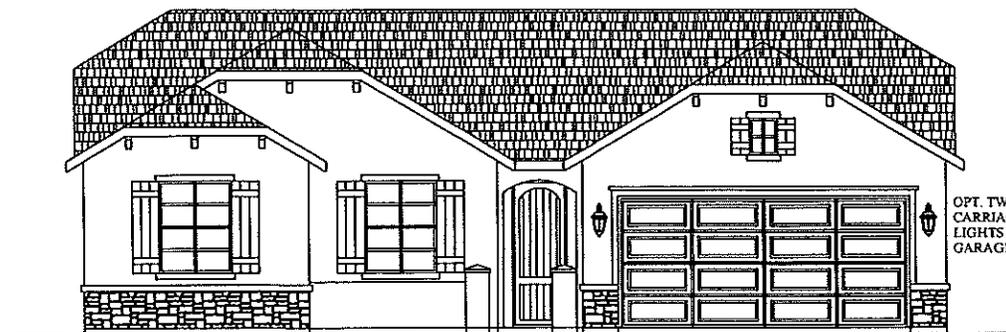
OPT. TWO  
CARRIAGE  
LIGHTS AT  
GARAGE

ELEVATION B  
W/ OPT. STONE



OPT. TWO  
CARRIAGE  
LIGHTS AT  
GARAGE

ELEVATION B  
W/ OPT. FRONT COURTYARD



OPT. TWO  
CARRIAGE  
LIGHTS AT  
GARAGE

ELEVATION B  
W/ OPT. FRONT COURTYARD & OPT. STONE

# EXTERIOR ELEVATION DIAGRAM PLAN 1470 C



ELEVATION C  
W/ OPT. FRONT COURTYARD



ELEVATION C  
W/ OPT. FRONT COURTYARD & OPT. STONE

**EXTERIOR  
ELEVATION DIAGRAM  
PLAN 1470 C**



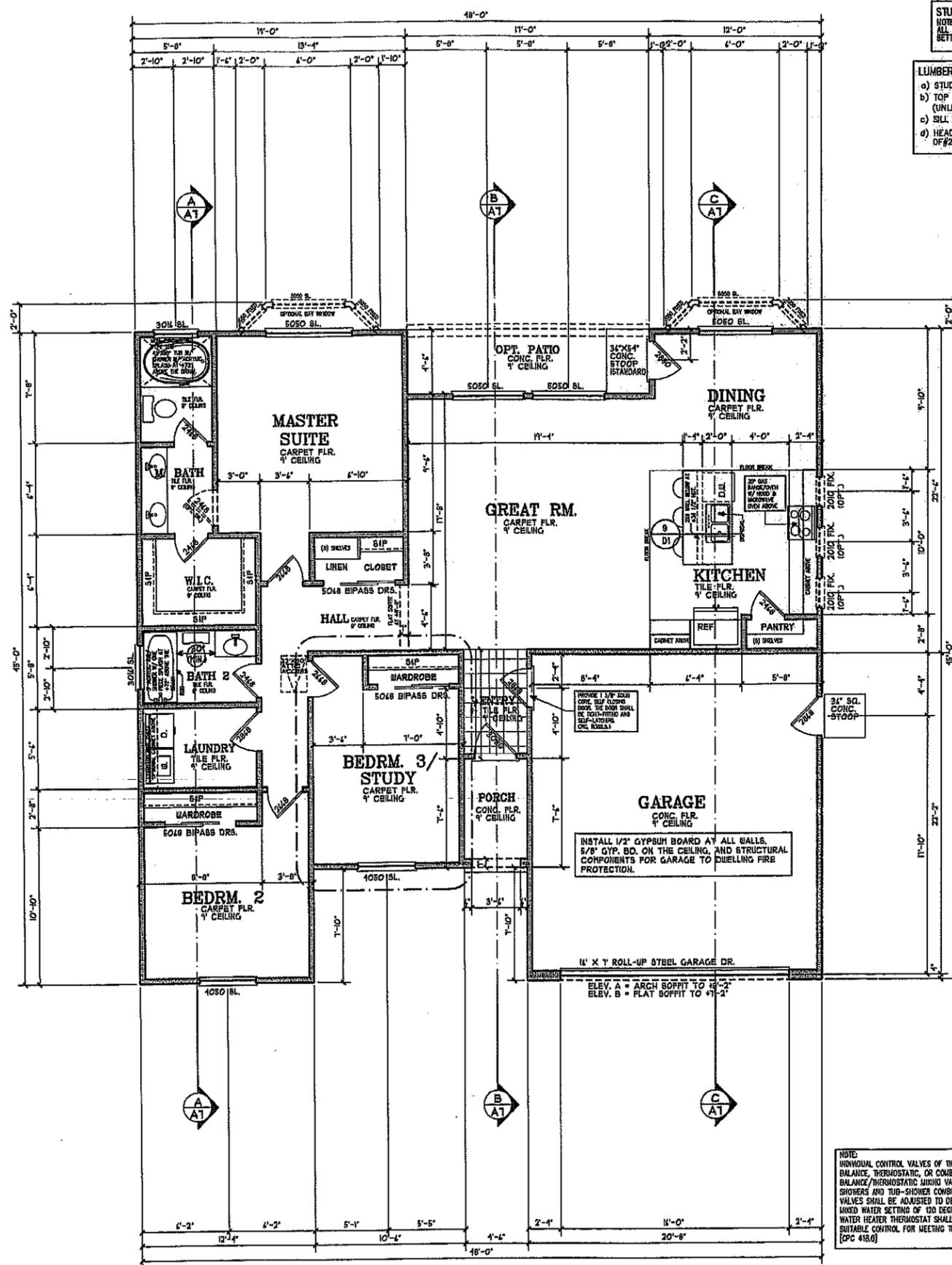
OPT. TWO  
CARRIAGE  
LIGHTS AT  
GARAGE

ELEVATION C



OPT. TWO  
CARRIAGE  
LIGHTS AT  
GARAGE

ELEVATION C  
W/ OPT. STONE



**STUD REQUIREMENTS:**  
 NOTE: ALL STUDS TO BE 2x4 STD. GRADE OR BETTER @ 16" O.C. (U.O.N.)

**LUMBER: SIZE, GRADE, AND SPECIES:**  
 a) STUDS: DF#2 OR BETTER  
 b) TOP PLATES: DF STD. GR. OR BETTER (UNLESS OTHERWISE NOTED)  
 c) SILL PLATES: PRESSURE TREATED  
 d) HEADERS AND BEAMS: DF#2 OR BETTER (U.O.N.)

**NOTE:** INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE / THERMOSTATIC MIXING VALVE TYPE AT THE SHOWERS AND TUB / SHOWER COMBINATIONS. THE VALVES SHALL BE ADJUSTED TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120 DEGREES FAHRENHEIT AND THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED SUITABLE CONTROL FOR MEETING THIS PROVISION. [CPC 418.0]

COMPLY WITH CRC 2013 TABLE R602.3(1) FASTENER SCHEDULE

**2013 CALIFORNIA GREEN BUILDING STANDARDS:**  
 NOTE: REFER TO SHEET GB 1 & GB 2 FOR THE MANDATORY REQUIREMENTS FOR MEETING THE CALIFORNIA GREEN BUILDING STANDARDS, CHAPTER 4, RESIDENTIAL MANDATORY FEATURES.

**NOTE:** A SHEET ROCK NAILING INSPECTION IS REQUIRED, PER 2013 CRC R109.14.1 & 2010 CRC 110.3.5.

SEE TABLE R702.3.5 GYPSUM BOARD NAILING SCHEDULE ON SHEET NS.1

SEE CRC TABLE R602.3(1) & TABLE R602.3(2) FOR NAILING SCHEDULE ON SHEET NS.1

**NOTE:** ALL FASTENERS AND CONNECTORS THAT ARE IN DIRECT CONTACT WITH PRESERVATIVE-TREATED WOOD SHALL BE OF HOT-DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, BRASS, OR COPPER. [2013 CRC R702.4.2]

**GLAZING:**  
 [CRC R308.4.5] HAZARDOUS LOCATIONS

5. GLAZING IN EXPOSED OR ON WALLS FACING HOT TUBS, HURRICANE, SALINE STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EXPOSURE EDGE IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE

**NOTE:** 18" DEEP WINDOWS ABOVE A TUB & SHOWER LOCATION ARE NOT REQUIRED TO HAVE TEMPERED GLASS. THE SILL HEIGHT MEASURED VERTICALLY FROM THE STANDING SURFACE EXCEEDS 60".

**TANKLESS WATER HEATER REQUIREMENTS:**

1. WATER HEATERS LOCATED IN ATTICS SHALL BE PROVIDED WITH A 2x2 GALVANIZED SHEET METAL PAN WITH A MINIMUM LIP OF 2" AND A MINIMUM OF 3/4" DRAIN EXTENDING TO THE EXTERIOR OF THE STRUCTURE. THE PAN SHALL EXTEND A MINIMUM OF 6" BEYOND THE APPLIANCE ON ALL SIDES. [2013 CPC 608.1.1]
2. PROVIDE MINIMUM 50% RESTRAINT FOR ALL WATER HEATERS. THE WATER HEATER IS REQUIRED TO BE STRAPPED AT THE UPPER AND LOWER 1/3 OF THE TANK. A MINIMUM OF 4" SHALL BE MAINTAINED BETWEEN THE STRAP AND THE WATER HEATER CONTROLS. [2013 CPC 608.2]
3. THE T & P RELIEF VALVE, HAVING A FULL SIZE BRASS OF GALL. STEEL OF HARD BRASS COPPER TO THE OUTSIDE OF THE BUILDING WITH THE END OF THE PIPE NOT MORE THAN 2" OR LESS THAN 6" ABOVE THE GRADE, POINTING DOWNWARD, THE TERMINAL END BEING UNTHREADED. [2013 CPC 608.5]

**PLUMBING REQUIREMENTS:**

1. ALL SHOWER AND TUB/SHOWER VALVES MUST BE PRESSURE BALANCE AND/OR THERMOSTATIC MIXING TYPES. THE DEVICE IS REQUIRED TO LIMIT THE WATER TEMPERATURE TO A MAXIMUM OF 120 DEGREES. [2013 CPC]
2. PROVIDE NON-REMOVABLE TYPE BACKFLOW PREVENTION DEVICE REQUIRED ON ALL HOSE BIBS. [2013 CPC 603.4.8]
3. ALL EQUIPMENT IN THE POTABLE WATER DELIVERY SYSTEM MUST MEET THE CALIFORNIA AB1953 LEAD FREE REQUIREMENTS. THIS APPLIES TO ALL PIPING, FIXTURES AND FITTINGS. ALL OF THE ABOVE NOTED ITEMS ARE NOT PERMITTED TO EXCEED 0.25% LEAD CONTENT.

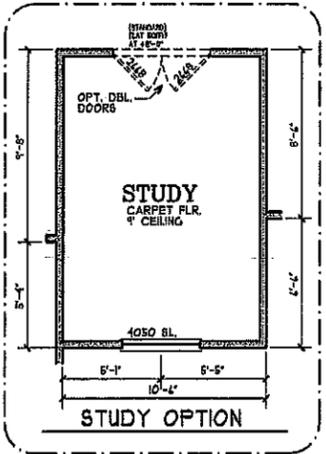
**NOTE:** WATER CLOSETS SHALL BE CAPABLE OF USING A MAXIMUM OF 1.28 GALLONS PER FLUSH. [CPC 403.2.1]

**VENTILATION FOR INDOOR AIR QUALITY:**  
 [2013 CALIFORNIA ENERGY CODE, SECTION 150.0]

6) ALL DWELLING UNITS SHALL MEET THE REQUIREMENTS OF ASHRAE STANDARD 62.2. VENTILATION AND ACCEPTABLE INDOOR QUALITY IN LOW RISE RESIDENTIAL BUILDINGS. WINDOW OPERATION IS NOT A PERMISSIBLE METHOD OF PROVIDING THE WHOLE-BUILDING VENTILATION AIRFLOW REQUIRED IN SECTION 4 OF THAT ASHRAE STANDARD 62.2. CONTINUOUS OPERATION OF CENTRAL FORCED AIR SYSTEM AIR HANDLES USED IN CENTRAL FAN INTEGRATED VENTILATION SYSTEMS IS NOT A PERMISSIBLE METHOD OF PROVIDING THE WHOLE-BUILDING VENTILATION AIRFLOW REQUIRED IN SECTION 4 OF ASHRAE STANDARD 62.2. ADDITIONALLY, ALL DWELLING UNITS SHALL MEET THE FOLLOWING REQUIREMENTS:

1. FIELD VERIFICATION AND DIAGNOSTIC TESTING:  
 A. AIRFLOW PERFORMANCE: THE WHOLE-BUILDING VENTILATION AIRFLOW REQUIRED BY SECTION 4 OF ASHRAE STANDARD 62.2 SHALL BE CONFIRMED THROUGH FIELD VERIFICATION AND DIAGNOSTIC TESTING IN ACCORDANCE WITH THE APPLICABLE PROCEDURES SPECIFIED IN REFERENCE RESIDENTIAL APPENDIX RAS.7.

**NOTE:** BATHROOM EXHAUST FANS: [CRC R303.3.1] EACH BATHROOM CONTAINS A BATHTUB, SHOWER, OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED FOR PURPOSES OF HUMIDITY CONTROL IN ACCORDANCE WITH THE CALIFORNIA MECHANICAL CODE, CHAPTER 4; AND THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4, DIVISION 4.6.



INSTALL 1/2" GYPSUM BOARD AT ALL WALLS, 5/8" GYP. BD. ON THE CEILING, AND STRUCTURAL COMPONENTS FOR GARAGE TO DWELLING FIRE PROTECTION.

11' X 7' ROLL-UP STEEL GARAGE DR.  
 ELEV. A = ARCH SOFFIT TO 10'-2"  
 ELEV. B = FLAT SOFFIT TO 11'-2"

**NOTE:** INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE AT THE SHOWERS AND TUB-SHOWER COMBINATIONS. THE VALVES SHALL BE ADJUSTED TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120 DEGREES (F) AND THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED SUITABLE CONTROL FOR MEETING THIS PROVISION. [CPC 418.0]

DATE DRAWN: 8-2014  
 REVISIONS:  
 DATE:  
 DATE:  
 DESIGNER SINCE 1985

**GENERAL NOTES:**

1. WATER CLOSET COMPARTMENTS MUST HAVE 30" WIDTH AND 24" CLEAR IN FRONT OF THE WATER CLOSET. [2013 CRC 307.1]
2. THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER SPLASH ARE CONSTRUCTED OF MATERIALS NOT ADVERSELY AFFECTED BY WATER. INSTALL FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT OR GLASS MAT GYPSUM BACKERS. WATER RESISTANT GYPSUM BOARD IS NO LONGER PERMITTED TO BE USED IN THESE LOCATIONS. [2013 CRC R702.4.2]
3. THE DOOR BETWEEN THE GARAGE AND THE DWELLING IS REQUIRED TO HAVE (3) HUNGES, TWO OF WHICH ARE TO BE SELF-CLOSING TYPE.
4. ALL SLEEPING ROOMS SHALL BE PROVIDED WITH AT LEAST ONE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE. WINDOWS SHALL HAVE A CLEAR OPENING OF 5.7 SQ. FT. AND MINIMUM OPENINGS OF 20" WIDE AND 24" HIGH (CLEAR). [CPC R310.1.5]
5. THE SILL HEIGHT OF WINDOWS IN ANY SLEEPING ROOM SHALL NOT EXCEED 44" FROM THE BOTTOM OF THE CLEAR OPENING. [2013 CRC 310.1]
6. SAFETY GLAZING SHALL BE APPROVED IN THE FOLLOWING APPLICATIONS:  
 A. SHOWERS DOORS  
 B. WINDOWS LOCATED IN OR ADJACENT TO A DOOR, WITHIN A 24" ARC OF DOOR.  
 C. WINDOWS GREATER THAN 18" WIDE AND CLOSER THAN 16" TO THE FLOOR.  
 D. ALL PATIO AND SLIDING GLASS DOORS. [CPC R308.4.2]
7. SAFETY GLAZING ON DOORS OR WINDOWS SHALL BE LABELED AS SUCH FOR INSPECTION PURPOSES.
8. PROVIDE EXHAUST VENTILATION FOR THE COOKTOP TO THE EXTERIOR OF THE BUILDING.  
 A) PROVIDE APPROVED EXHAUST DUCT UNDER SLAB OR FLOOR FOR INDUCTION TYPE, (DOWN BRAY) EXHAUST VENTS  
 B) THE VERTICAL CLEARANCE ABOVE THE COOKTOP TO COMBUSTIBLES IS 30" UNPROTECTED OR 24" PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING LISTED ON THE UNIT.
9. BATHTUB AND SHOWER SPACES: BATHTUBS AND SHOWER FLOORS AND WALLS ABOVE BATH-TUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
10. THE MINIMUM WIDTH OF A SHOWER DOOR SHALL BE 22".
11. PROVIDE MANUFACTURER'S INSTALLATION INSTRUCTIONS AT JOB SITE FOR ALL CIRCULATING TYPE TUBS (SEE SEC 600.7.4)
12. PROVIDE A 12"x12" TUB MOTOR ACCESS HATCH WHEN INSTALLING A CIRCULATING TYPE TUB.
13. PROVIDE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR MANUFACTURED FIREPLACES AT THE TIME OF THE FRAMING INSPECTION.
14. BLOWN OR POURED TYPE INSULATION SHALL ONLY BE INSTALLED IN ATTIC SPACES WHERE THE SLOPE OF THE CEILING DOES NOT EXCEED MORE THAN 2.5:12 PITCH.
15. OUTDOOR INTAKE OPENINGS: CRC R303.5.5; SHALL BE LOCATED A MINIMUM OF 10" FROM ANY HAZARDOUS OR NONIGUS CONTAMINANT, SUCH AS VENTS, CHIMNEYS, FLEWING VENTS, ETC. OR A MIN. OF 3' BELOW THE CONTAMINANT SOURCE.
16. ALL EQUIPMENT IN POTABLE WATER DELIVERY SYSTEM MUST MEET THE CALIFORNIA AB1953 LEAD FREE REQUIREMENTS. THIS APPLIES TO ALL PIPING, FIXTURES AND FITTINGS. ALL OF THE ABOVE NOTED ITEMS ARE NOT PERMITTED TO EXCEED 0.25% LEAD CONTENT.

**CALIFORNIA ENERGY NOTES:**

1. THE BUILDER SHALL PROVIDE THE ORIGINAL OCCUPANT WITH A LIST OF THE HEATING, COOLING, WATER HEATING SYSTEMS AND CONSERVATION OR SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY.
2. A COMPLETED CF-4R FORM SHALL BE SUBMITTED PRIOR TO FINAL INSPECTION, SIGNED BY THE CERTIFIED HERS RATER, FOR FIELD VERIFICATION AND DIAGNOSTIC TESTING.
3. AFTER INSTALLING WATER HEATING SYSTEMS, FRESH AIR, AND HVAC EQUIPMENT THE INSTALLER SHALL SUBMIT THE "REGISTERED" INSTALLATION CERTIFICATE (CF-4R FORM), COMPLETED AND SIGNED BY THE INSTALLER, LISTING THE EQUIPMENT INSTALLED, (MANUFACTURER, MODEL, AND EFFICIENCY, U-VALUES AND SHG-VALUES, ETC.) AND THAT IT MEETS OR EXCEEDS THE REQUIREMENTS OF THE ENERGY DOCUMENTATION. (SEE SECTION 10-103(c)(3)).

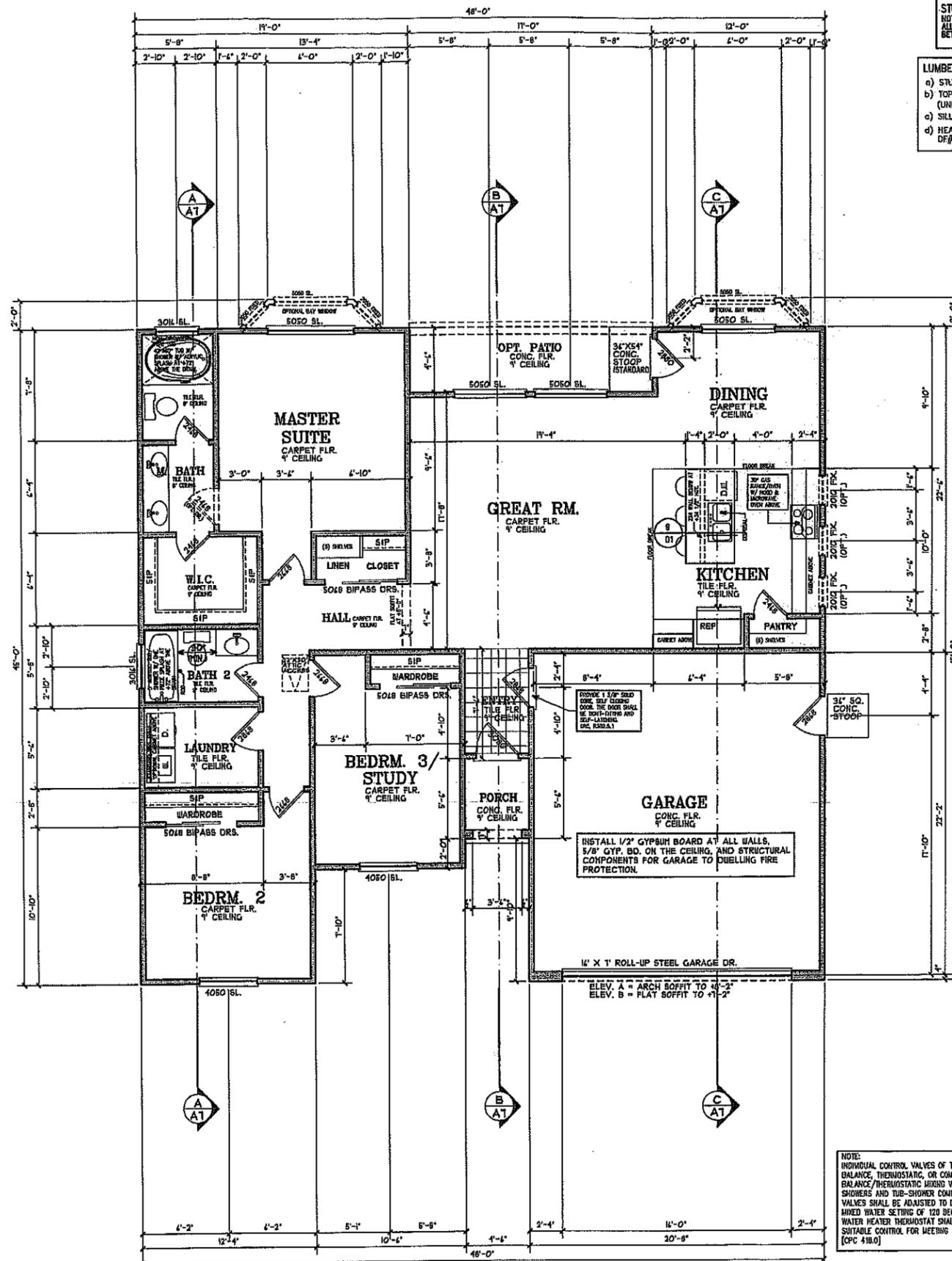
**NOTE:** "REGISTERED" COPIES OF THE CF-4R AND CF-4R FORMS SHALL BE SUBMITTED PRIOR TO FINAL INSPECTION, SIGNED BY CERTIFIED BY THE INSTALLER(S) FOR THE CF-4R FORM, AND THE HERS RATER, FOR THE FIELD VERIFICATION AND DIAGNOSTIC TESTING ON THE CF-4R FORM. [CPC SECTION 10-103(c) AND 10-103(d)(5)]

FLOOR AREA	
TOTAL LIVING AREA:	1470 SQ.FT.
GARAGE:	452 SQ.FT.
COVERED PORCH:	34 SQ.FT.
COVERED PATIO:	77 SQ.FT.
OPTIONAL BAY WINDOW AT MASTER SUITE:	16 SQ.FT.
OPTIONAL BAY WINDOW AT DINING:	16 SQ.FT.

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**PLAN NO. 1470** JOB NO. JB.1470  
 DRAWN BY: JONATHAN ANDERSON SHEET NO. A-2  
 SCALE: 1/4" = 1'-0"

FLOOR PLAN - A



**STUD REQUIREMENTS:**  
 NOTE: ALL STUDS TO BE 2x4 STD. GRADE OR BETTER @ 16" O.C. (U.N.O.)

**LUMBER: SIZE, GRADE, AND SPECIES:**  
 a) STUDS: DF #2 OR BETTER  
 b) TOP PLATES: DF STD. GR. OR BETTER (UNLESS OTHERWISE NOTED)  
 c) SILL PLATES: PRESSURE TREATED  
 d) HEADERS AND BEAMS: DF #2 OR BETTER (U.O.N.)

**NOTE:** INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE / THERMOSTATIC MIXING VALVE TYPE AT THE SHOWERS AND TUB / SHOWER COMBINATIONS. THE VALVES SHALL BE ADJUSTED TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120 DEGREES FAHRENHEIT AND THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED SUITABLE CONTROL FOR MEETING THIS PROVISION. [CPC 410.0]

**COMPLY WITH**  
 CRC 2013  
 TABLE R602.3(1)  
 FASTENER SCHEDULE

**2013 CALIFORNIA GREEN BUILDING STANDARDS:**  
 NOTE: REFER TO SHEET GB1 & GB2 FOR THE MANDATORY REQUIREMENTS FOR MEETING THE CALIFORNIA GREEN BUILDING STANDARDS, CHAPTER 4, RESIDENTIAL, MANDATORY FEATURES.

**NOTE:** A SHEET ROCK NAILING INSPECTION IS REQUIRED, PER 2013 CRC R109.1.4.1 & 2013 CRC 110.3.5.  
 SEE TABLE R702.3.5  
 GYPSUM BOARD NAILING SCHEDULE ON SHEET NS.1  
 SEE CRC TABLE R602.3(1) & TABLE R602.3(2) FOR NAILING SCHEDULE ON SHEET NS.1

**NOTE:** ALL FASTENERS AND CONNECTORS THAT ARE IN DIRECT CONTACT WITH PRESERVATIVE-TREATED WOOD SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. (2013 CRC R317.3.1)

**GLAZING:**  
 [CRC R308.4.5] HAZARDOUS LOCATIONS

5. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHUBS AND SHOWERS WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.

**NOTE:** 18" DEEP WINDOWS ABOVE A TUB & SHOWER LOCATION ARE NOT REQUIRED TO HAVE TEMPERED GLASS. THE SILL HEIGHT MEASURED VERTICALLY FROM THE STANDING SURFACE EXCEEDS 60".

**TANKLESS WATER HEATER REQUIREMENTS:**

1. WATER HEATERS LOCATED IN ATTICS SHALL BE PROVIDED WITH A 26 GAUGE SHEET METAL PAN WITH A MINIMUM LIP OF 2" AND A MINIMUM OF 1/4" FRAM EXTENDING TO THE EXTERIOR OF THE STRUCTURE. THE PAN SHALL EXTEND A MINIMUM OF 6" BEYOND THE APPLIANCE ON ALL SIDES [2013 CPC 608.4]

2. PROVIDE MINIMUM SEISMIC RESTRAINT FOR ALL WATER HEATERS. THE WATER HEATER IS REQUIRED TO BE STRAPPED AT THE UPPER AND LOWER 1/3 OF THE TANK. A MINIMUM OF 4" SHALL BE MAINTAINED BETWEEN THE STRAP AND THE WATER HEATER CONTROLS. [2013 CPC 608.2]

3. THE T & P RELIEF VALVE HAVING A FULL SIZED DRAIN OF GALV. STEEL OF HARD DRAWN COPPER TO THE OUTSIDE OF THE BUILDING WITH THE END OF THE PIPE NOT MORE THAN 2" OR LESS THAN 5" ABOVE THE GRADE, POINTING DOWNWARD. THE TERMINAL END BEING UNTHROTTLED. [2013 CPC 608.5]

**PLUMBING REQUIREMENTS:**

1. ALL SHOWER AND TUB/SHOWER VALVES MUST BE PRESSURE BALANCE AND/OR THERMOSTATIC MIXING TYPES. THE DEVICE IS REQUIRED TO LIMIT THE WATER TEMPERATURE TO A MAXIMUM OF 120 DEGREES. [2013 CPC]

2. PROVIDE NON-REMOVABLE TYPE BACKFLOW PREVENTION DEVICE REQUIRED ON ALL HOSE BIBS. [2013 CPC 603.4.5]

3. ALL EQUIPMENT IN THE PORTABLE WATER DELIVERY SYSTEM MUST MEET THE CALIFORNIA LEAD FREE REQUIREMENTS. THIS APPLIES TO ALL PIPING, FIXTURES AND FITTINGS. ALL OF THE ABOVE NOTED ITEMS ARE NOT PERMITTED TO EXCEED 0.25% LEAD CONTENT.

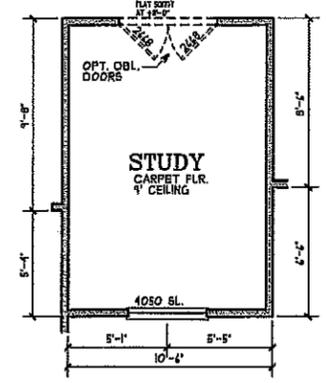
**NOTE:** WATER CLOSETS SHALL BE CAPABLE OF USING A MAXIMUM OF 1.28 GALLONS PER FLUSH. [CPC 403.2.1]

**VENTILATION FOR INDOOR AIR QUALITY:**  
 [2013 CALIFORNIA ENERGY CODE, SECTION 600.0]

g) ALL DWELLING UNITS SHALL MEET THE REQUIREMENTS OF ASHRAE STANDARD 62.2 VENTILATION AND ACCEPTABLE INDOOR QUALITY IN LOW RISE RESIDENTIAL BUILDINGS. WINDOW OPERATIONS IS NOT A PERMISSIBLE METHOD OF PROVIDING THE WHOLE-BUILDING VENTILATION AIRFLOW REQUIRED IN SECTION 4 OF THAT ASHRAE STANDARD 62.2. CONTINUOUS OPERATION OF CENTRAL FORCED AIR SYSTEM AIR HANDLERS USED IN CENTRAL FAH INTEGRATED VENTILATION SYSTEMS IS NOT A PERMISSIBLE METHOD OF PROVIDING THE WHOLE-BUILDING VENTILATION AIRFLOW REQUIRED IN SECTION 4 OF ASHRAE STANDARD 62.2. ADDITIONALLY, ALL DWELLING UNITS SHALL MEET THE FOLLOWING REQUIREMENTS:

1. FIELD VERIFICATION AND DIAGNOSTIC TESTING:  
 A. AIRFLOW PERFORMANCE: THE WHOLE-BUILDING VENTILATION AIRFLOW REQUIRED BY SECTION 4 OF ASHRAE STANDARD 62.2 SHALL BE CONFIRMED THROUGH FIELD VERIFICATION AND DIAGNOSTIC TESTING IN ACCORDANCE WITH THE APPLICABLE PROCEDURES SPECIFIED IN REFERENCE RESIDENTIAL APPENDIX RA3.7.

**NOTE:** BATHROOM EXHAUST FANS: [CRC R303.3.1]  
 EACH BATHROOM CONTAINING A BATHTUB, SHOWER, OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED FOR PURPOSES OF HUMIDITY CONTROL IN ACCORDANCE WITH THE CALIFORNIA MECHANICAL CODE, CHAPTER 4; AND THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4, DIVISION 4.5.



**NOTE:** INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE AT THE SHOWERS AND TUB-SHOWER COMBINATIONS. THE VALVES SHALL BE ADJUSTED TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120 DEGREES (F) AND THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED SUITABLE CONTROL FOR MEETING THIS PROVISION. [CPC 410.0]

DATE DRAIN: B-2014  
 REVISIONS:  
 DATE:  
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 DESIGNER SINCE 1985

- GENERAL NOTES:**
- WATER CLOSET COMPARTMENTS MUST HAVE 30" WIDTH AND 24" CLEAR IN FRONT OF THE WATER CLOSET. [2013 CRC 307.1]
  - THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER SPLASH ARE CONSTRUCTED OF MATERIALS NOT ADVERSELY AFFECTED BY WATER. INSTALL FIBER-GLASS, FIBER-MAT REINFORCED CEMENT OR GLASS MAT GYPSUM BACKERS. WATER RESISTANT GYPSUM BOARD IS NO LONGER PERMITTED TO BE USED IN THESE LOCATIONS. (2013 CRC R702.4.2)
  - THE DOOR BETWEEN THE GARAGE AND THE DWELLING IS REQUIRED TO HAVE (3) HINGES, TWO OF WHICH ARE TO BE SELF-CLOSING TYPE.
  - ALL SLEEPING ROOMS SHALL BE PROVIDED WITH AT LEAST ONE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE. WINDOWS SHALL HAVE A CLEAR OPENING OF 5.7 SQ. FT. AND MINIMUM OPENINGS OF 20" WIDE AND 24" HIGH (CLEAR). [CRC R310.1]
  - THE SILL HEIGHT OF WINDOWS IN ANY SLEEPING ROOM SHALL NOT EXCEED 44" FROM THE BOTTOM OF THE CLEAR OPENING. [2013 CRC 310.1]
  - SAFETY GLAZING SHALL BE APPROVED IN THE FOLLOWING APPLICATIONS:  
 A. SHOWER DOORS  
 B. WINDOWS LOCATED IN OR ADJACENT TO A DOOR, WITHIN A 24" ARC OF DOOR.  
 C. WINDOWS GREATER THAN 18" WIDE AND CLOSER THAN 18" TO THE FLOOR.  
 D. ALL PATIO AND SLIDING GLASS DOORS. [CRC R308.4.2]
  - SAFETY GLAZING ON DOORS OR WINDOWS SHALL BE LABELED AS SUCH FOR INSPECTION PURPOSES.
  - PROVIDE EXHAUST VENTILATION FOR THE COOKTOP TO THE EXTERIOR OF THE BUILDING.  
 A) PROVIDE APPROVED EXHAUST DUCT UNDER SLAB OR FLOOR FOR INDUCTION TYPE, (DOWN DRAFT) EXHAUST VENTS.  
 B) THE VERTICAL CLEARANCE ABOVE THE COOKTOP TO COMBUSTIBLES IS 30" UNPROTECTED OR 24" PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING LISTED ON THE UNIT.  
 C) BATHTUB AND SHOWER SPACES:  
 BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
  - THE MINIMUM WIDTH OF A SHOWER DOOR SHALL BE 22".
  - PROVIDE MANUFACTURER'S INSTALLATION INSTRUCTIONS AT JOB SITE FOR ALL CIRCULATING TYPE TUBS. (SEE CEC 608.7.4)
  - PROVIDE A 12"X12" TUB MOTOR ACCESS HATCH WHEN INSTALLING A CIRCULATING TYPE TUB.
  - PROVIDE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR MANUFACTURER'S FIREPLACES AT THE TIME OF THE FRAMING INSPECTION.
  - FLOOR OR POURED TYPE INSULATION SHALL ONLY BE INSTALLED IN ATTIC SPACES WHERE THE SLOPE OF THE CEILING DOES NOT EXCEED MORE THAN 2.5:12 PITCH.
  - OUTDOOR INTAKE OPENINGS: CRC R303.5. SHALL BE LOCATED A MINIMUM OF 10' FROM ANY HAZARDOUS OR NOXIOUS CONTAMINANT, SUCH AS VENTS, CHIMNEYS, PLUMBING VENTS, ETC. OR A MIN. OF 3' BELOW THE CONTAMINANT SOURCE.
  - ALL EQUIPMENT IN PORTABLE WATER DELIVERY SYSTEM MUST MEET THE CALIFORNIA LEAD FREE REQUIREMENTS. THIS APPLIES TO ALL PIPING, FIXTURES AND FITTINGS. ALL OF THE ABOVE NOTED ITEMS ARE NOT PERMITTED TO EXCEED 0.25% LEAD CONTENT.
- CALIFORNIA ENERGY NOTES:**
- THE BUILDER SHALL PROVIDE THE ORIGINAL OCCUPANT WITH A LIST OF THE HEATING, COOLING, WATER HEATING SYSTEMS AND CONSERVATION OR SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY.
  - A COMPLETED CF-4R FORM SHALL BE SUBMITTED PRIOR TO FINAL INSPECTION, SIGNED BY THE CERTIFIED HERS RATER, FOR FIELD VERIFICATION AND DIAGNOSTIC TESTING.
  - AFTER INSTALLING WATER HEATING SYSTEMS, FENESTRATION, AND HVAC EQUIPMENT, THE INSTALLER SHALL SUBMIT THE "REGISTERED" INSTALLATION CERTIFICATE (CF-4R FORM), COMPLETED AND SIGNED BY THE INSTALLER, LISTING THE EQUIPMENT INSTALLED, (MANUFACTURER, MODEL, AND EFFICIENCIES, U-VALUES AND SHGC-VALUES, ETC.) AND THAT IT MEETS OR EXCEEDS THE REQUIREMENTS OF THE ENERGY DOCUMENTATION. (SEE SECTION 10-103(a)(3)).
- NOTE:** "REGISTERED" COPIES OF THE CF-4R AND CF-4R FORMS SHALL BE SUBMITTED PRIOR TO FINAL INSPECTION, SIGNED BY CERTIFIED BY THE INSTALLER(S) FOR THE CF-4R FORM, AND THE HERS RATER, FOR THE FIELD VERIFICATION AND DIAGNOSTIC TESTING ON THE CF-4R FORM. [SEE SECTION 10-103(a) AND 10-103(a)(3)]

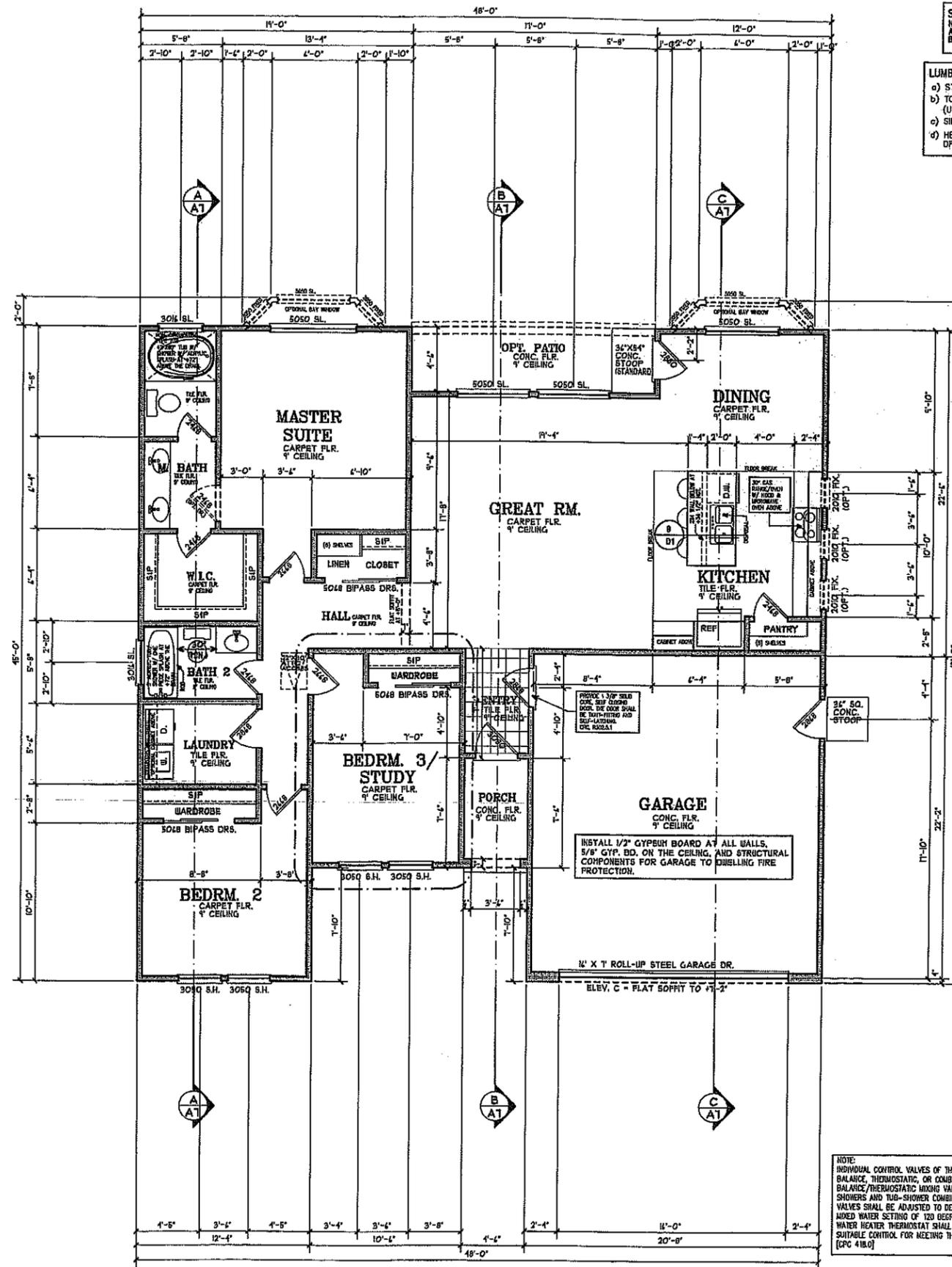
**FLOOR AREA**

TOTAL LIVING AREA:	1470 SQ.FT.
GARAGE:	462 SQ.FT.
COVERED PORCH:	25 SQ.FT.
COVERED PATIO:	77 SQ.FT.
OPTIONAL BAY WINDOW: AT MASTER SUITE	16 SQ.FT.
OPTIONAL BAY WINDOW: AT DINING	16 SQ.FT.

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 Clovis, Ca. 93619-8359  
 (559) 392-2706  
 Email: ron.pope1017@yahoo.com

**PLAN NO. 1470** JOB NO. JB:1410  
 DRAWN BY: RON POPE SHEET NO. JONATHAN ANDERSON  
 SCALE: 1/4" = 1'-0" **A2.1**

FLOOR PLAN - B



**STUD REQUIREMENTS:**  
 NOTE: ALL STUDS TO BE 2x4 STD. GRADE OR BETTER @ 16" O.C. (U.O.N.)

**LUMBER: SIZE, GRADE, AND SPECIES:**  
 a) STUDS: DF#2 OR BETTER  
 b) TOP PLATES: DF STD. GR. OR BETTER (UNLESS OTHERWISE NOTED)  
 c) SILL PLATES: PRESSURE TREATED  
 d) HEADERS AND BEAMS: DF#2 OR BETTER (U.O.N.)

**NOTE:** INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE / THERMOSTATIC MIXING VALVE TYPE AT THE SHOWERS AND TUB / SHOWER COMBINATIONS. THE VALVES SHALL BE ADJUSTED TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120 DEGREES FAHRENHEIT AND THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED SUITABLE CONTROL FOR MEETING THIS PROVISION. [CPC 418.0]

**COMPLY WITH**  
 CRC 2013  
 TABLE R602.3(1)  
 FASTENER SCHEDULE

**2013 CALIFORNIA GREEN BUILDING STANDARDS:**  
 NOTE: REFER TO SHEET GB.1 & GB.2 FOR THE MANDATORY REQUIREMENTS FOR MEETING THE CALIFORNIA GREEN BUILDING STANDARDS, CHAPTER 4, RESIDENTIAL MANDATORY FEATURES.

**NOTE:** A SHEET ROCK NAILING INSPECTION IS REQUIRED. PER 2013 CRC R702.3.5 & 2013 CRC 1103.1.1 & 2013 CRC 1103.5.5

SEE TABLE R702.3.5  
 GYPSUM BOARD NAILING SCHEDULE ON SHEET NS.1

SEE CRC TABLE R602.3(1) & TABLE R602.3(2)  
 FOR NAILING SCHEDULE ON SHEET NS.1

DATE DRAWN:  
 8-2014

REVISIONS:  
 DATE:  
 DATE:

DESIGNER  
 SINCE 1985

**GENERAL NOTES:**

- WATER CLOSET COMPARTMENTS MUST HAVE 30" WIDTH AND 2' CLEAR IN FRONT OF THE WATER CLOSET. [2013 CRC 307.1]
- THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER SPLASH ARE CONSTRUCTED OF MATERIALS NOT ADVERSELY AFFECTED BY WATER. INSTALL FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT OR GLASS MAT GYPSUM BACKERS. WATER RESISTANT GYPSUM BOARD IS NO LONGER PERMITTED TO BE USED IN THESE LOCATIONS. [2013 CRC R702.4.2]
- THE DOOR BETWEEN THE GARAGE AND THE DWELLING IS REQUIRED TO HAVE (3) HINGES, TWO OF WHICH ARE TO BE SELF-CLOSING TYPE.
- ALL SLEEPING ROOMS SHALL BE PROVIDED WITH AT LEAST ONE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE. WINDOWS SHALL HAVE A CLEAR OPENING OF 5.7 SQ. FT. AND MINIMUM OPENINGS OF 20" WIDE AND 24" HIGH (CLEAR). [CRC R310.1.1]
- THE SILL HEIGHT OF WINDOWS IN ANY SLEEPING ROOM SHALL NOT EXCEED 44" FROM THE BOTTOM OF THE CLEAR OPENING. [2013 CRC 310.1.1]
- SAFETY GLAZING SHALL BE APPROVED IN THE FOLLOWING APPLICATIONS:  
 A. SHOWER DOORS  
 B. WINDOWS LOCATED IN OR ADJACENT TO A DOOR, WITHIN A 24" ARC OF DOOR.  
 C. WINDOWS GREATER THAN 18" WIDE AND CLOSER THAN 18" TO THE FLOOR.  
 D. ALL PATIO AND SLIDING GLASS DOORS. [CRC R308.4.2]
- SAFETY GLAZING ON DOORS OR WINDOWS SHALL BE LABELED AS SUCH FOR INSPECTION PURPOSES.
- PROVIDE EXHAUST VENTILATION FOR THE COOKTOP TO THE EXTERIOR OF THE BUILDING.  
 A) PROVIDE APPROVED EXHAUST DUCT UNDER SLAB OR FLOOR FOR INDUCTION TYPE, (DOWN DRAFT) EXHAUST VENTS.  
 B) THE VERTICAL CLEARANCE ABOVE THE COOKTOP TO COMBUSTIBLES IS 30" UNPROTECTED OR 24" PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING LISTED ON THE UNIT.  
 C) BATHUB AND SHOWER SPACES.  
 BATHUB AND SHOWER FLOORS AND WALLS ABOVE BATHUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
- THE MINIMUM WIDTH OF A SHOWER DOOR SHALL BE 22".
- PROVIDE MANUFACTURER'S INSTALLATION INSTRUCTIONS AT JOB SITE FOR ALL CIRCULATING TYPE TUBS. (SEE CRC 603.7.4)
- PROVIDE A 12"x12" TUB MOTOR ACCESS HATCH WHEN INSTALLING A CIRCULATING TYPE TUB.
- PROVIDE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR MANUFACTURED FIREPLACES AT THE TIME OF THE FRAMING INSPECTION.
- BLOWN OR POURED TYPE INSULATION SHALL ONLY BE INSTALLED IN ATTIC SPACES WHERE THE SLOPE OF THE CEILING DOES NOT EXCEED MORE THAN 2.5:12 PITCH.
- OUTDOOR INTAKE OPENINGS: CRC R303.6 SHALL BE LOCATED A MINIMUM OF 10' FROM ANY HAZARDOUS OR NOXIOUS CONTAMINANT, SUCH AS VENTS, CHIMNEYS, FLUING VENTS, ETC. OR A MIN. OF 3' BELOW THE CONTAMINANT SOURCE.
- ALL EQUIPMENT IN POTABLE WATER DELIVERY SYSTEM MUST MEET THE CALIFORNIA AB1953 LEAD FREE REQUIREMENTS. THIS APPLIES TO ALL PIPING, FIXTURES AND FITTINGS. ALL OF THE ABOVE NOTED ITEMS ARE NOT PERMITTED TO EXCEED 0.25% LEAD CONTENT.

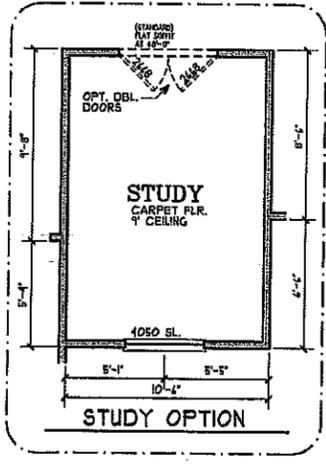
**VENTILATION FOR INDOOR AIR QUALITY:**  
 [2013 CALIFORNIA ENERGY CODE, SECTION 90.0]

a) ALL DWELLING UNITS SHALL MEET THE REQUIREMENTS OF ASHRAE STANDARD 62.2. VENTILATION AND ACCEPTABLE INDOOR QUALITY IN LOW RISE RESIDENTIAL BUILDINGS. WINDOW OPERATION IS NOT A PERMISSIBLE METHOD OF PROVIDING THE ROOM-BUILDING VENTILATION AIRFLOW REQUIRED IN SECTION 4 OF THAT ASHRAE STANDARD 62.2. CONTINUOUS OPERATION OF CENTRAL FORCED AIR SYSTEM AIR HANDLERS USED IN CENTRAL FAN INTEGRATED VENTILATION SYSTEMS IS NOT A PERMISSIBLE METHOD OF PROVIDING THE ROOM-BUILDING VENTILATION AIRFLOW REQUIRED IN SECTION 4 OF ASHRAE STANDARD 62.2. ADDITIONALLY, ALL DWELLING UNITS SHALL MEET THE FOLLOWING REQUIREMENTS:

- FIELD VERIFICATION AND DIAGNOSTIC TESTING:  
 A. AIRFLOW PERFORMANCE. THE ROOM-BUILDING VENTILATION AIRFLOW REQUIRED BY SECTION 4 OF ASHRAE STANDARD 62.2 SHALL BE CONFIRMED THROUGH FIELD VERIFICATION AND DIAGNOSTIC TESTING IN ACCORDANCE WITH THE APPLICABLE PROCEDURES SPECIFIED IN REFERENCE RESIDENTIAL APPENDIX RA3.7.

**NOTE:** BATHROOM EXHAUST FANS [CRC R303.1.1] EACH BATHROOM CONTAINING A BATHUB, SHOWER, OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED FOR PURPOSES OF HUMIDITY CONTROL IN ACCORDANCE WITH THE CALIFORNIA MECHANICAL CODE, CHAPTER 4, AND THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4, DIVISION 5.

**NOTE:** "REGISTERED" COPIES OF THE CF-6R AND CF-6R FORMS SHALL BE SUBMITTED PRIOR TO FINAL INSPECTION, SIGNED BY CERTIFIED BY THE INSTALLER(S) FOR THE CF-6R FORM, AND THE HERS RATER, FOR THE FIELD VERIFICATION AND DIAGNOSTIC TESTING ON THE CF-6R FORM. [SEE SECTION 10-103(a) AND 10-103(b)(5)]



**NOTE:** INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE / THERMOSTATIC MIXING VALVE TYPE AT THE SHOWERS AND TUB-SHOWER COMBINATIONS. THE VALVES SHALL BE ADJUSTED TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120 DEGREES (F) AND THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED SUITABLE CONTROL FOR MEETING THIS PROVISION. [CPC 418.0]

**FLOOR PLAN - C**

**FLOOR AREA**

TOTAL LIVING AREA:	1470 SQ.FT.
GARAGE:	452 SQ.FT.
COVERED PORCH:	34 SQ.FT.
COVERED PATIO:	77 SQ.FT.
OPTIONAL BAY WINDOW AT MASTER SUITE:	16 SQ.FT.
OPTIONAL BAY WINDOW AT DINING:	16 SQ.FT.

**RON POPE & ASSOCIATES**  
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 Clovis, Ca. 93619-8359  
 (559) 392-2706  
 Email: ron.pope1017@yahoo.com

**PLAN NO. 1470** JOB NO. JB-1470  
 DRAWN BY: JONATHAN ANDERSON SHEET NO. A2.2  
 SCALE: 1/4" = 1'-0"

\* MINIMUM SETBACK BETWEEN AC UNIT AND FENCE MUST BE 3'

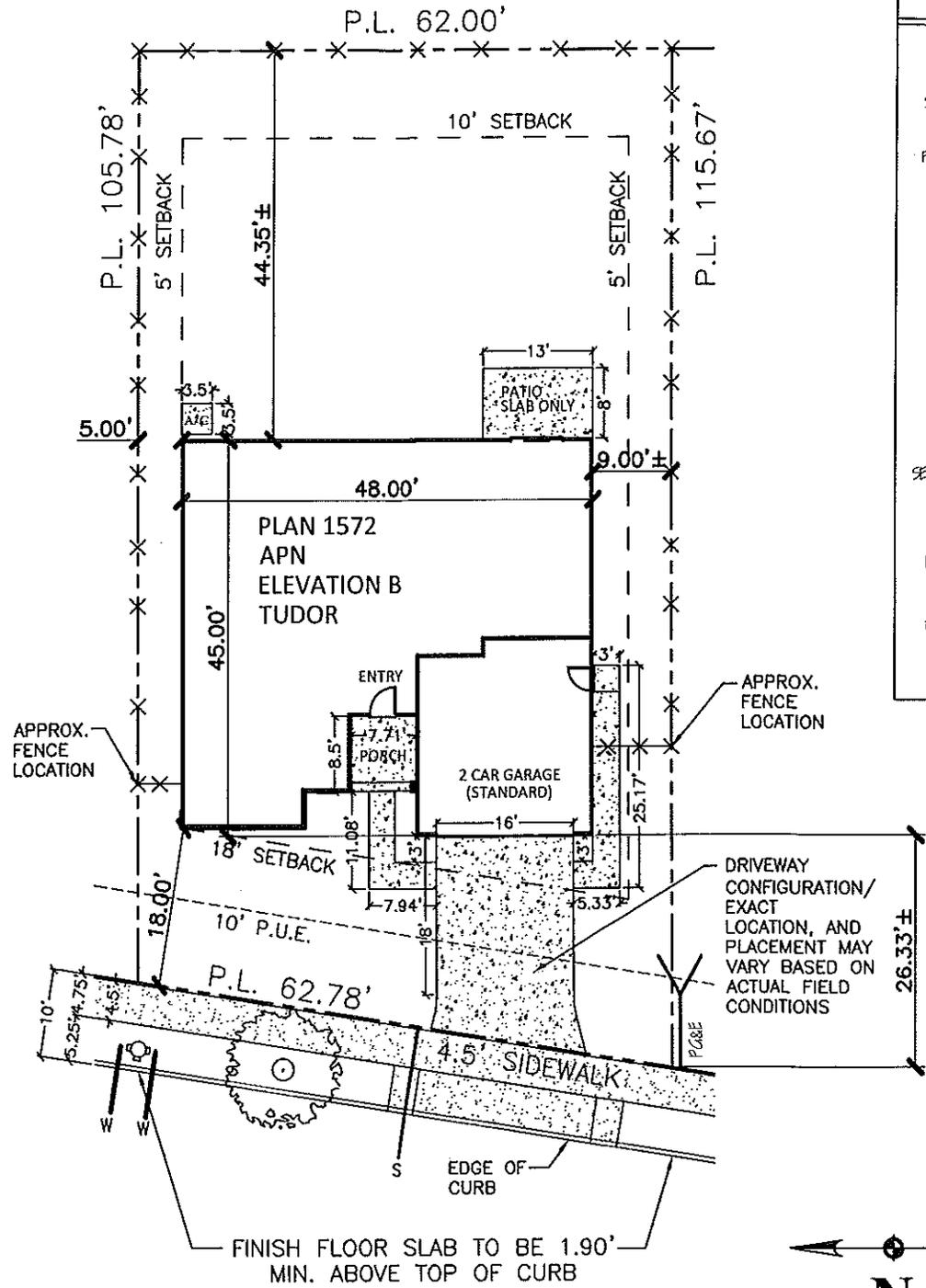
REAR AND SIDE YARD FENCES, IN SOME INSTANCES, WERE INSTALLED ON THE PROPERTY LINES BY OTHERS, FOR THE ADJACENT SUBDIVISIONS. WHERE THIS CONDITION OCCURRED, WCH LEMOORE GOLF LLC, LEFT THE OLD FENCING ON THE PROPERTY LINE, AND PROVIDED A PARALLEL NEW FENCE OFF THE PROPERTY LINE FOR THE BUYERS. NOTE THAT THIS CREATED A DOUBLED UP FENCE CONDITION AND AN ENCROACHMENT UP TO APPROXIMATELY 1' OF FENCE LINE ON THE PROPERTIES AFFECTED.

NOTE: MAILBOX FOR THIS LOT IS PROVIDED BY A COMMUNITY MAILBOX UNIT LOCATION PENDING

NOTE: EXACT LOCATION OF STREET TREES MAY VARY BASED ON ACTUAL FIELD CONDITIONS

**SYMBOL KEY**

- STREET LIGHT
- FIRE HYDRANT
- CABLE TV SPLICE BOX
- TELEPHONE SPLICE BOX
- POLE SPLICE BOX
- POLE 2'X5' SECONDARY BOX
- POLE 5'X5' PRIMARY BOX
- TRANSFORMER
- MAILBOX



DRAFT

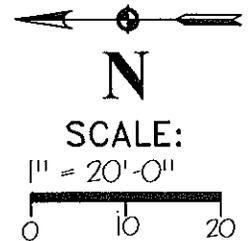
NOTE:  
FLAT WORK SCORE  
LINES WILL VARY  
DEPENDING ON ACTUAL  
FIELD CONDITIONS

**SITE PLAN**

PLACEMENT OF HOUSE, STREETLIGHTS, FIRE HYDRANTS, SIDEWALK, TRANSFORMERS, ETC., ARE SUBJECT TO CHANGE DUE TO SITE CONDITIONS. FINAL INFORMATION FOR CABLE, TELEPHONE, AND ELECTRIC UTILITIES, IS UNAVAILABLE AT THIS TIME. STREETLIGHTS MAY BE RELOCATED BASED ON FINAL DRAWINGS.

**GOLF AVENUE**

FAR LOT COVERAGE = 30%



LOT #	PLAN NO.	ELEVATION	PERMIT DESCRIPTION	1st FLOOR			A+B+C FOOTPRINT AREA (SF)	2nd FLOOR LIVING AREA (SF)	TOTAL LIVING AREA (SF)	TOTAL Bldg. Dept. VALUATION (SF)
				LIVING AREA (SF)	GARAGE AREA (SF)	COVERED PORCH/PATIO/ GARAGE SOFFIT AREA (SF)				
45	1572-1	B	2CAR, NO OPTIONS	1,572	441	66	2,079	1,572	2,079	

**WCH LEMOORE GOLF, LLC**

WATHEN CASTANOS HYBRID HOMES, INC.  
802 W. PINEDALE AVENUE, SUITE 104  
FRESNO CA, 93711  
(559) 432-8181

APPROVED BY: \_\_\_\_\_

**TRACT 752**

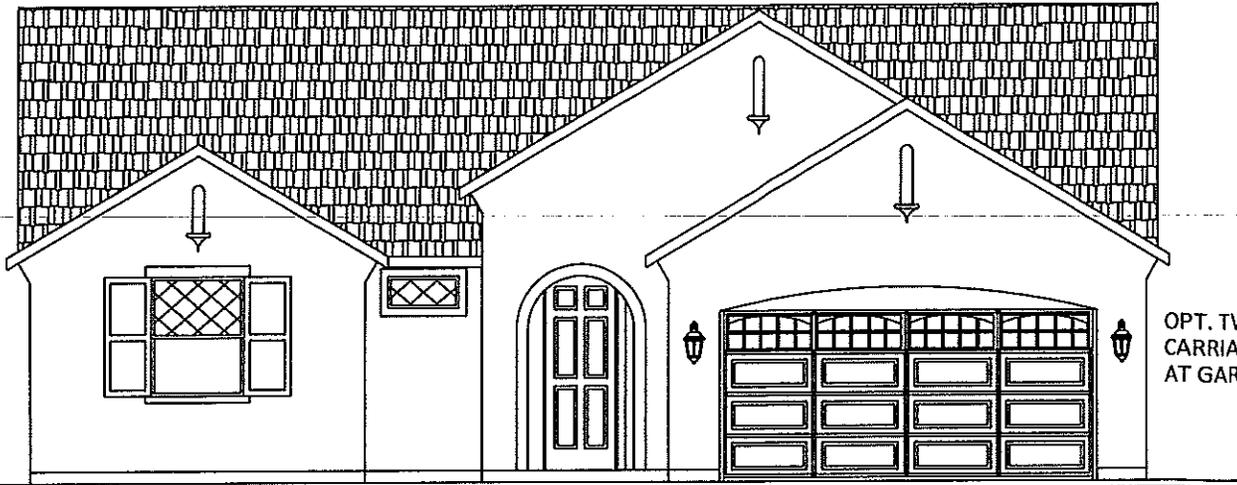
1280 GOLF AVENUE

**LOT 45**

PLAN NUMBER 1572 ELEVATION B DATE 1/30/2015

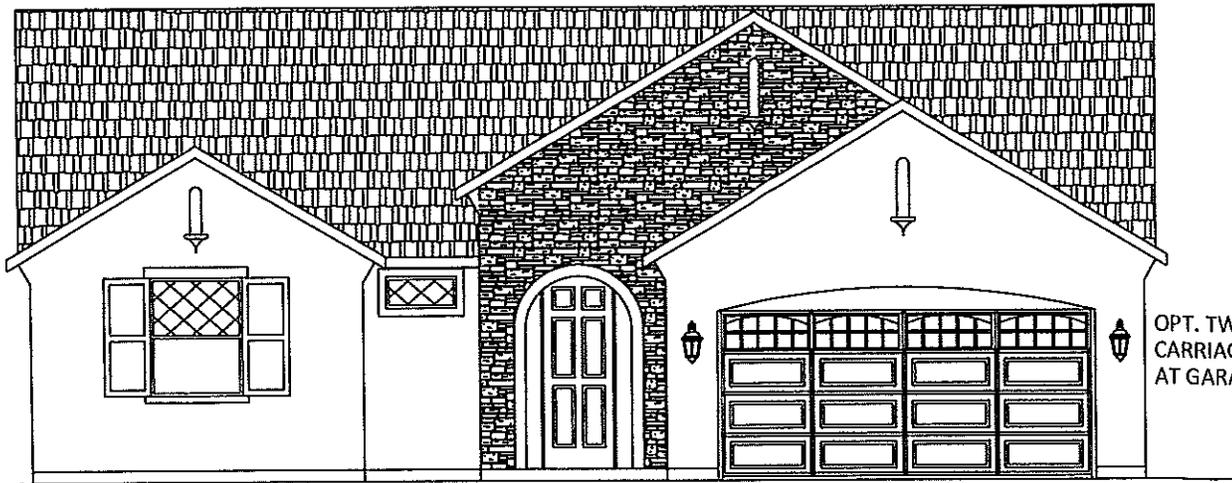
BUYER'S  
SIGNATURE \_\_\_\_\_

# EXTERIOR ELEVATION DIAGRAM PLAN 1572 A



OPT. TWO  
CARRIAGE LIGHTS  
AT GARAGE

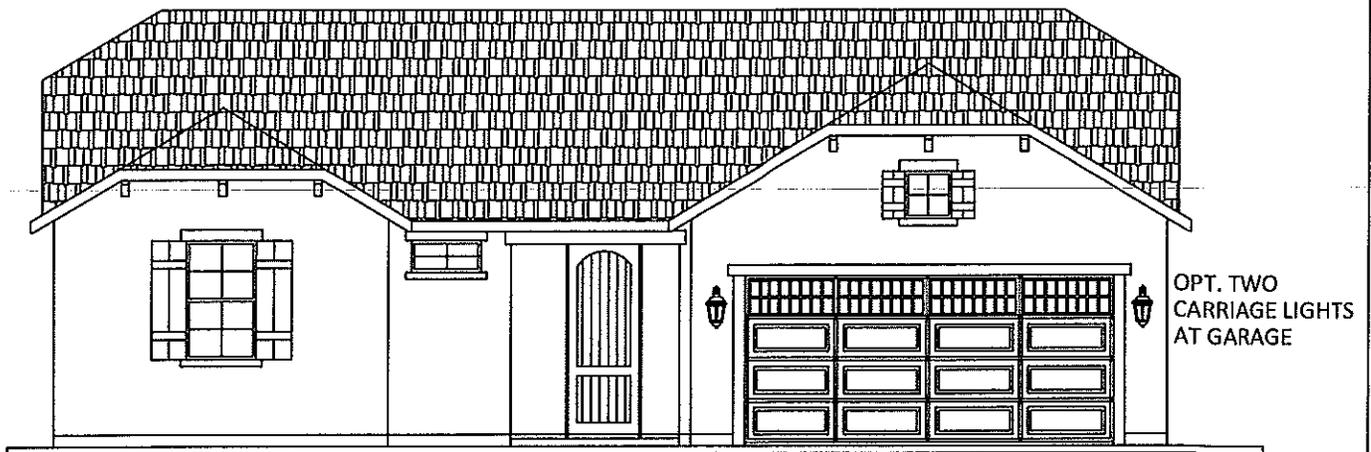
ELEVATION A



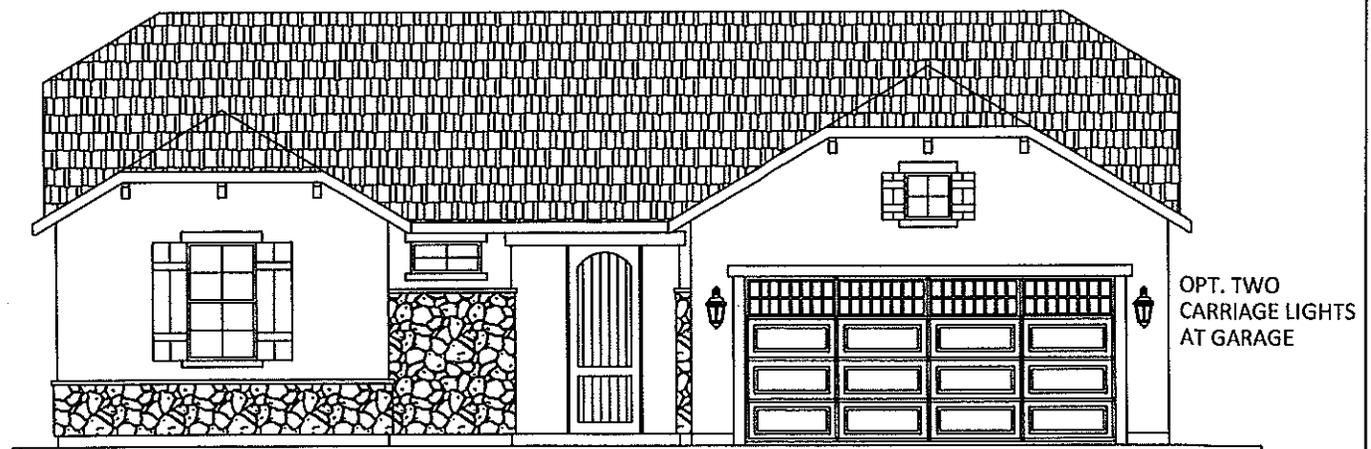
OPT. TWO  
CARRIAGE LIGHTS  
AT GARAGE

ELEVATION A  
W/ OPT. STONE

# EXTERIOR ELEVATION DIAGRAM PLAN 1572 B

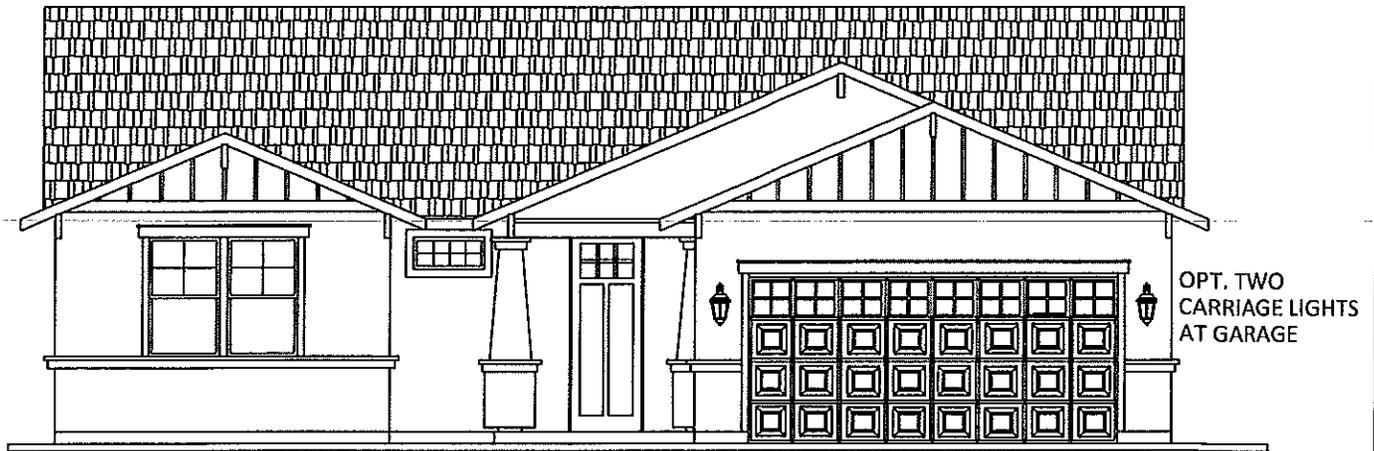


ELEVATION B

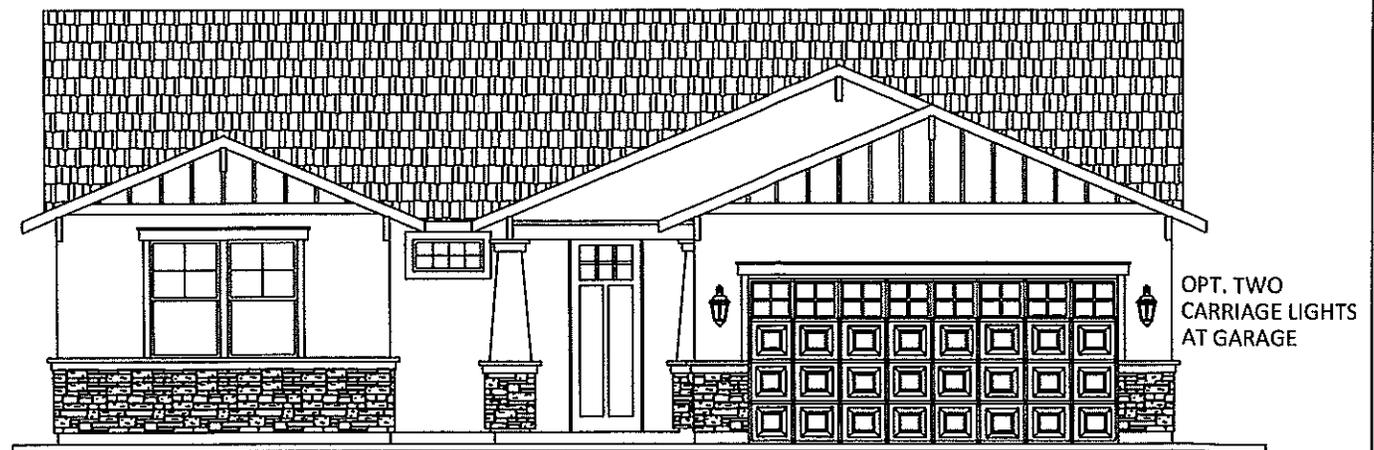


ELEVATION B  
W/ OPT. STONE

# EXTERIOR ELEVATION DIAGRAM PLAN 1572 C

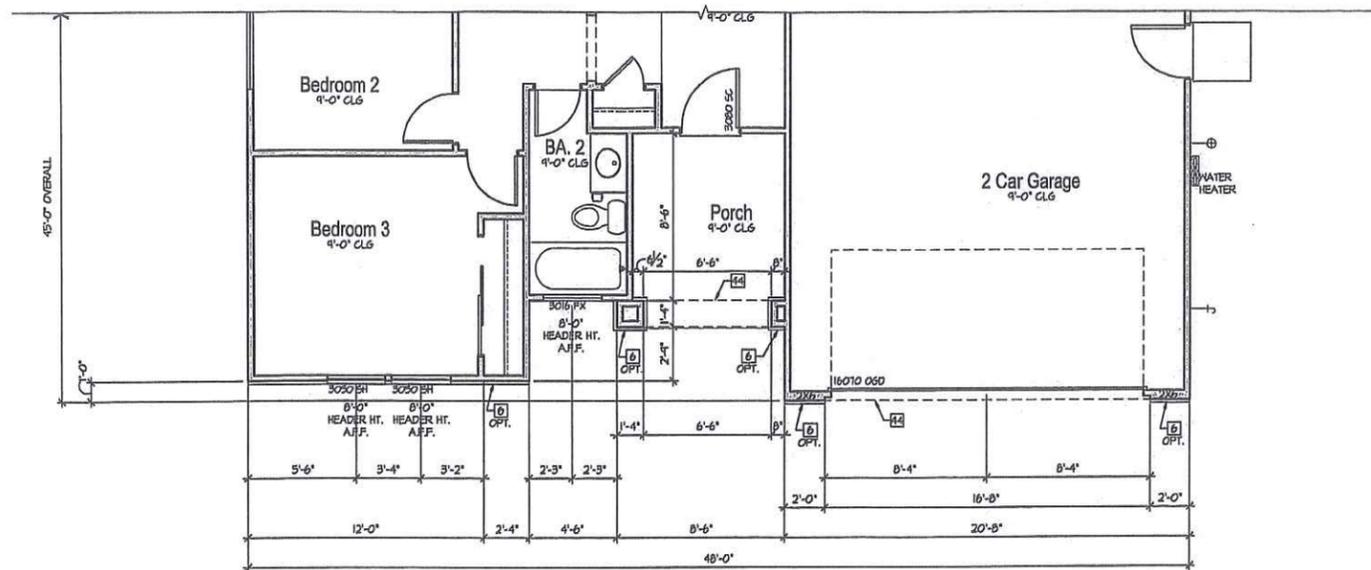


ELEVATION C



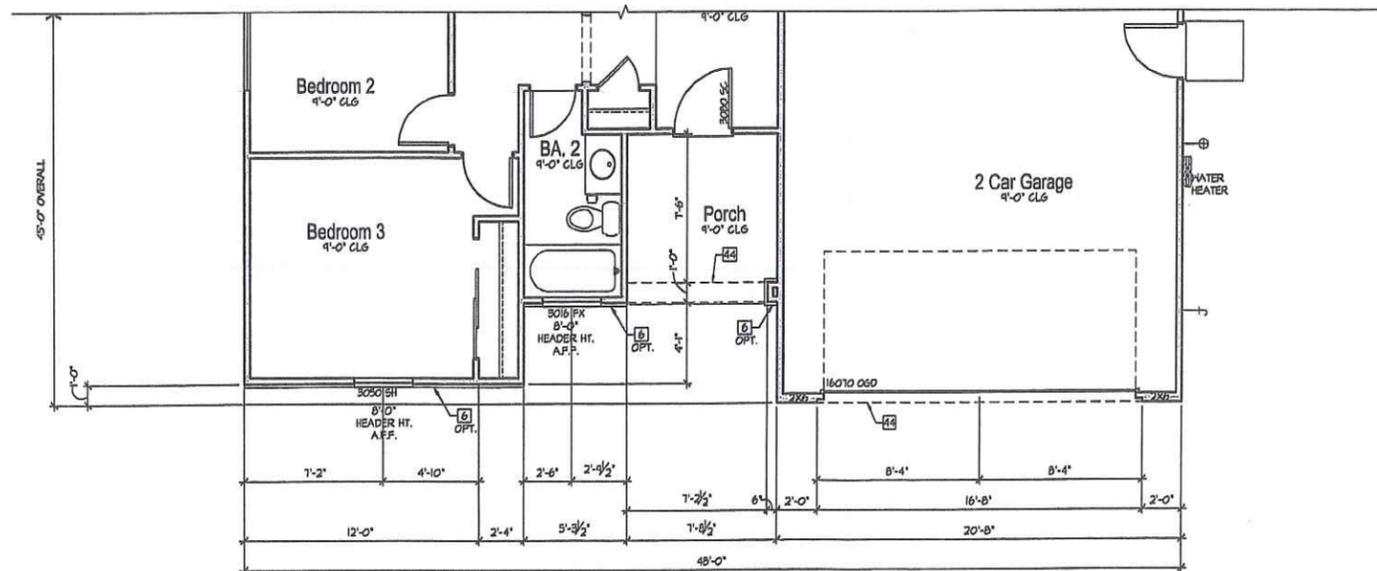
ELEVATION C  
W/ OPT. STONE





**Partial Main Floor Plan Elev.-C**

SCALE: 1/4"=1'-0"



**Partial Main Floor Plan Elev.-B**

SCALE: 1/4"=1'-0"

**Partial Floor Plans**

**FLOOR PLAN KEYNOTES:**

- THE FOLLOWING KEYNOTES REFER TO THE SYMBOLS AS SHOWN ON PLANS.
1. LINE OF FRAMING ABOVE
  2. LINE OF FRAMING BELOW
  3. LINE OF SOFFIT/RARCH ABOVE-HEIGHT AS NOTED ON INTERIOR/EXTERIOR ELEVATIONS
  4. 30"x30" ATTIC ACCESS - PROVIDE 30" HEADROOM AT ALL ACCESS LOCATIONS. A HULL LOCATED IN ATTIC SPACE (VERIFY LOCATION). THE PASSAGE WAY FROM ACCESS OPENING TO THE UNIT SHALL NOT EXCEED 20 FEET AS MEASURED ALONG THE CENTER LINE OF PASSAGEWAY. THE PASSAGEWAY SHALL BE UNOBSTRUCTED AND SHALL HAVE CONTINUOUS SOLID FLOORING NOT LESS THAN 24" IN WIDTH FROM THE ACCESS OPENING TO THE UNIT. REQUIRED DRYER VENT DUCT SHALL EXHAUST TO EXTERIOR WITH A MINIMUM OPENING OF 100 SQ. IN. MAKE-UP AIR OF 100 SQ. IN IS REQUIRED FOR ROOMS CONTAINING A DRYER AND MAY COME FROM OPENING ABOVE DOOR INTO THE HALLWAY. MAKE-UP AIR MAY NOT COME FROM OR EXHAUST TO THE OUTSIDE.
  5. OPTIONAL MASONRY VENEER-SEE GENERAL NOTES.
  6. WIRE SHELVES.
  7. 1-3/8" THICK S.C. DOOR W/CLOSURE, TIGHT FITTING GASKETS & SHEET.
  8. LINE OF OVERHEAD GARAGE DOOR IN OPEN POSITION.
  9. T & P RELIEF LINE TO BE FULL SIZE STEEL PIPE OR HARD DRAWN COPPER TUBING EXTENDING TO THE EXTERIOR OF THE BUILDING AND TERMINATING IN A DOWNWARD POSITION NOT MORE THAN TWO FEET NOR LESS THAN 6" ABOVE GRADE.
  10. APPROVD AIR-GAP FITTING AT DISHWASHER. PROVIDE A MIN. CONCRETE LANDING @ EA. EXT. DOOR PER CODE- SEE PLAN FOR SIZE.
  11. OPT BASE CABINETS.
  12. OPT UPPER CABINETS.
  13. STD. BASE CABINETS.
  14. STD. UPPER CABINETS.
  15. TEMPERED GLASS ENCLOSURE.
  16. GUARDWALL AT 42" AFF.
  17. STD. DESK, OPT. BASE CABINETS.
  18. STAIR LON HALL 42" ABOVE TOE TREAD.
  19. 2X FRAMED HALL @ STORAGE UNDER STAIRS, HALL TO BE CONSTRUCTED TO INTERSECT STAIRWAY STRINGER AT 3' TALL.
  20. PROFLO TUB PER BUILDER SPEC.
  21. LASCO HOLLOW FIBERGLASS SHOWER RECEPTOR WITH EDGE, SIZE AS NOTED.
  22. OPTIONAL GAS STUB.
  23. 2x6 LON HALL AT 142" AFF W/ MDF CAP.
  24. MINIMUM 14" L x 60" H x 40" T MECHANICAL PLATFORM CENTERED UNDER RIDGE (NO CAN LIGHTS TO BE PLACED IN THIS AREA).
  25. 24" UPPER CABINETS.
  26. PROVIDE 1/2" TYPE "X" GYPSUM BOARD CONTINUOUS ON GARAGE FACE OF HOUSE/ GARAGE COMMON WALLS. PROVIDE 1/2" TYPE "X" GYPSUM BOARD OVER RESILIENT CHANNELS @ 16" O.C. ON GARAGE CEILING AT HOUSE/GARAGE OVERLAP AS REQUIRED BY GOVERNING CODES.
  27. PROVIDE 1/2" TYPE "X" GYPSUM BOARD CONTINUOUS ON WALLS AT USABLE SPACE UNDER STAIRWAYS PROVIDE (2) LAYERS 1/2" TYPE "X" GYPSUM BOARD AT CEILING OF USABLE SPACE UNDER STAIRS.
  28. PROVIDE A MINIMUM 30"x30" WORKING PLATFORM IN FRONT OF THE FIREBOX SIDE OF THE UNIT AND IF THE FURNACE CONTROLS ARE NOT ACCESSIBLE FROM THIS SIDE OF THE UNIT A MINIMUM 24" WIDE PLATFORM SHALL BE PROVIDED FROM THE FIREBOX PLATFORM TO THE CONTROLS. A WORKING PLATFORM NEED NOT BE REQUIRED WHEN THE FIREBOX AND CONTROLS CAN BE ACCESSED DIRECTLY FROM THE ACCESS OPENING.
  29. EMERGENCY EGRESS, ONE SASH IN EACH SLEEPING AREA SHALL COMPLY WITH GOVERNING FIRE AND BUILDING CODES. EGRESS WINDOW SHALL HAVE A NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES AND THE MINIMUM NET OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. EGRESS WINDOWS SHALL HAVE A FINISHED SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
  30. ALL KNEE WALLS (WALLS THAT SEPARATE CONDITIONED SPACE FROM AN UNCONDITIONED SPACE ATTIC AREA) SHALL BE INSULATED TO A MIN. OF R-19 OR HIGHER.
  31. HOSE BIB
  32. TANKLESS WATER HEATER, RINNAI MODEL# R-7E
  33. AMBER SINK KITCHEN SINK PER BUILDER SPEC.
  34. BADGER GARBAGE DISPOSAL, 1/3 HP, PER BUILDER SPEC.
  35. DISHWASHER GE MODEL # 66LD4500WH
  36. WATER CLOSET PROFLO # PPS1400WH ROUND TANK # PPS412WH
  37. PROFLO SINK # PP20174
  38. LASCO TUB SHOWER (SIZE PER PLAN)
  39. WASHER DRYER
  40. WIRE SHELVES PER BUILDER.
  41. SLOPE GARAGE FLOOR 1/8" PER FOOT TOWARD GARAGE DOOR OPENING.
  42. LINE OF SOFFIT ABOVE REFER TO EXT. ELEVATIONS FOR HEIGHTS AND DETAILS.
  43. HALF HALL @ 34 1/2" A.F.F. W/ COUNTERTOP PER PLAN.
  44. MICROHOOD GE MODEL # JWH1500WH
  45. RANGE GE MODEL # JTP300WH
  46. FLAT STUD WALL CONST. @ REF.



ISSUE DATE:	NO-DAY-REV	REVISIONS

802 W. Pinedale Ave,  
Suite 104  
Fresno, CA 93711



**THE GREENS**  
Lemoore Ca.



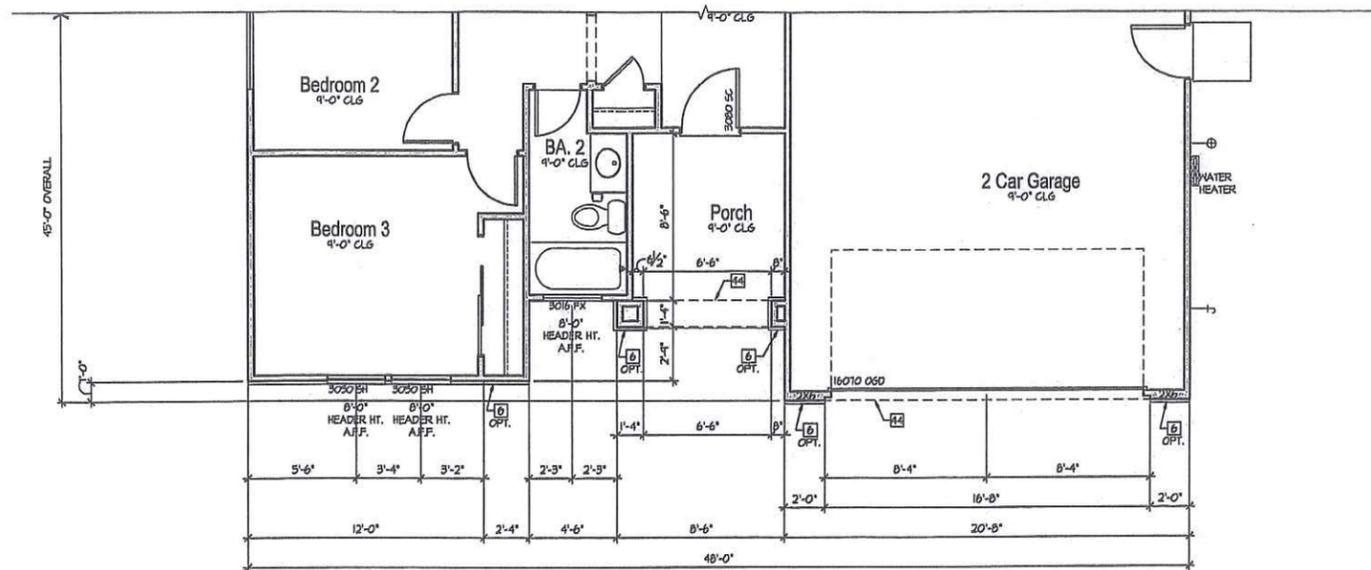
www.bsbdesign.com  
300 University Ave, Suite 220  
Sacramento, California 95825  
916 641 0000

JOB NO: 05514910 PROJ MGR: DB  
DRAWN: FC CHECKED: DB

PARTIAL FLOOR PLAN  
ELEVATIONS B & C

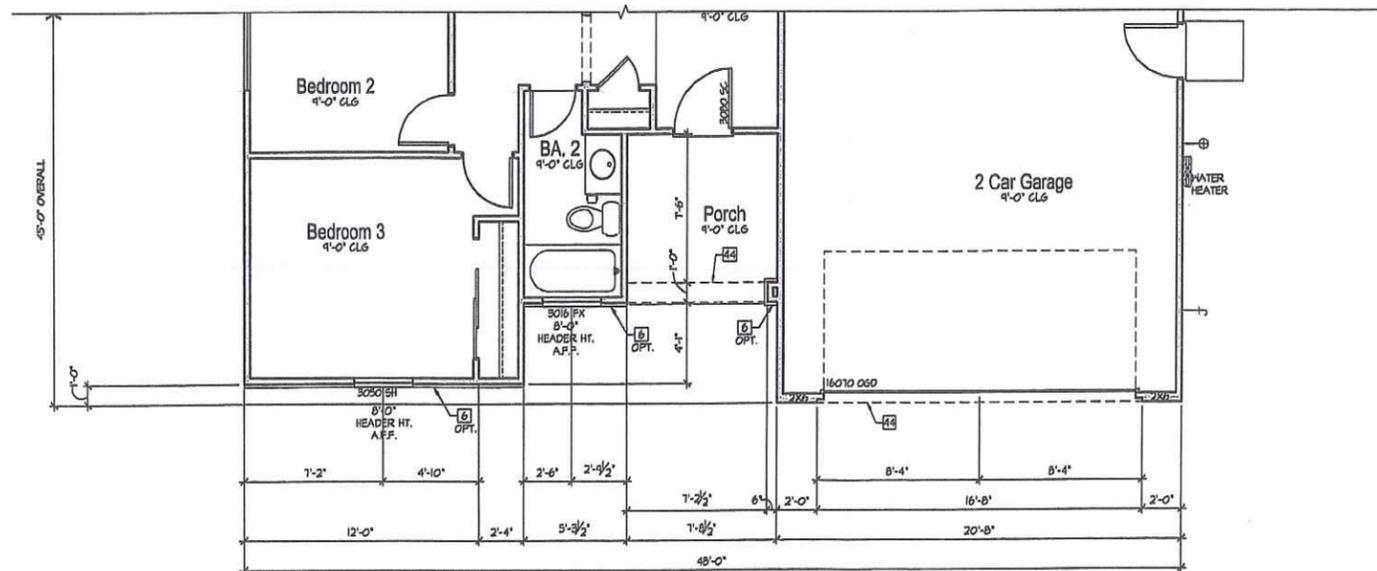
PLAN 1572  
**A1.2**





**Partial Main Floor Plan Elev.-C**

SCALE: 1/4"=1'-0"



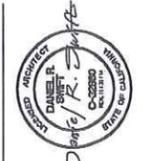
**Partial Main Floor Plan Elev.-B**

SCALE: 1/4"=1'-0"

**Partial Floor Plans**

**FLOOR PLAN KEYNOTES:**

- THE FOLLOWING KEYNOTES REFER TO THE SYMBOLS AS SHOWN ON PLANS.
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  2. LINE OF FRAMING BELOW
  3. LINE OF SOFFIT/RARCH ABOVE-HEIGHT AS NOTED ON INTERIOR/EXTERIOR ELEVATIONS
  4. 30"x30" ATTIC ACCESS - PROVIDE 30" HEADROOM AT ALL ACCESS LOCATIONS. A HULL LOCATED IN ATTIC SPACE (VERIFY LOCATION). THE PASSAGE WAY FROM ACCESS OPENING TO THE UNIT SHALL NOT EXCEED 20 FEET AS MEASURED ALONG THE CENTER LINE OF PASSAGEWAY. THE PASSAGEWAY SHALL BE UNOBSTRUCTED AND SHALL HAVE CONTINUOUS SOLID FLOORING NOT LESS THAN 24" IN WIDTH FROM THE ACCESS OPENING TO THE UNIT. REQUIRED DRYER VENT DUCT SHALL EXHAUST TO EXTERIOR WITH A MINIMUM OPENING OF 100 SQ. IN. MAKE-UP AIR OF 100 SQ. IN IS REQUIRED FOR ROOMS CONTAINING A DRYER AND MAY COME FROM OPENING ABOVE DOOR INTO THE HALLWAY. MAKE-UP AIR MAY NOT COME FROM OR EXHAUST TO THE OUTSIDE.
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  6. WIRE SHELVES.
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  11. OPT BASE CABINETS.
  12. OPT UPPER CABINETS.
  13. STD. BASE CABINETS.
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  16. GUARDWALL AT 42" AFF.
  17. STD. DESK, OPT. BASE CABINETS.
  18. STAIR LON HALL 42" ABOVE TOE TREAD.
  19. 2X FRAMED HALL @ STORAGE UNDER STAIRS. HALL TO BE CONSTRUCTED TO INTERSECT STAIRWAY STRINGER AT 3' TALL.
  20. PROFLO TUB PER BUILDER SPEC.
  21. LASCO HOLLOWED FIBERGLASS SHOWER RECEPTOR WITH EDGE. SIZE AS NOTED.
  22. OPTIONAL GAS STUB.
  23. 2x6 LON HALL AT 142" AFF W/ MDF CAP.
  24. MINIMUM 14" L x 60" H x 40" T MECHANICAL PLATFORM CENTERED UNDER RIDGE (NO CAN LIGHTS TO BE PLACED IN THIS AREA).
  25. 24" UPPER CABINETS.
  26. PROVIDE 1/2" TYPE "X" GYPSUM BOARD CONTINUOUS ON GARAGE FACE OF HOUSE/ GARAGE COMMON WALLS. PROVIDE 1/2" TYPE "X" GYPSUM BOARD OVER RESILIENT CHANNELS @ 16" O.C. ON GARAGE CEILING AT HOUSE/GARAGE OVERLAP AS REQUIRED BY GOVERNING CODES.
  27. PROVIDE 1/2" TYPE "X" GYPSUM BOARD CONTINUOUS ON WALLS AT USABLE SPACE UNDER STAIRWAYS PROVIDE (2) LAYERS 1/2" TYPE "X" GYPSUM BOARD AT CEILING OF USABLE SPACE UNDER STAIRS.
  28. PROVIDE A MINIMUM 30"x30" WORKING PLATFORM IN FRONT OF THE FIREBOX SIDE OF THE UNIT AND IF THE FURNACE CONTROLS ARE NOT ACCESSIBLE FROM THIS SIDE OF THE UNIT A MINIMUM 24" WIDE PLATFORM SHALL BE PROVIDED FROM THE FIREBOX PLATFORM TO THE CONTROLS. A WORKING PLATFORM NEED NOT BE REQUIRED WHEN THE FIREBOX AND CONTROLS CAN BE ACCESSED DIRECTLY FROM THE ACCESS OPENING.
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  31. HOSE BIB
  32. TANKLESS WATER HEATER, RINNAI MODEL# R-7E
  33. AMBER SINK KITCHEN SINK PER BUILDER SPEC.
  34. BADGER GARBAGE DISPOSAL, 1/3 HP, PER BUILDER SPEC.
  35. DISHWASHER GE MODEL # 66LD4500WH
  36. WATER CLOSET PROFLO # PPS1400WH ROUND TANK # PPS412WH
  37. PROFLO SINK # PP20174
  38. LASCO TUB SHOWER (SIZE PER PLAN)
  39. WASHER DRYER
  40. WIRE SHELVES PER BUILDER.
  41. SLOPE GARAGE FLOOR 1/8" PER FOOT TOWARD GARAGE DOOR OPENING.
  42. LINE OF SOFFIT ABOVE REFER TO EXT. ELEVATIONS FOR HEIGHTS AND DETAILS.
  43. HALF HALL @ 34 1/2" A.F.F. W/ COUNTERTOP PER PLAN.
  44. MICROHOOD GE MODEL # JWH1500WH
  45. RANGE GE MODEL # JPS300WH
  46. FLAT STUD WALL CONST. @ REF.



ISSUE DATE:	NO-DAY-REV	REVISIONS

802 W. Pinedale Ave,  
Suite 104  
Fresno, CA 93711



**THE GREENS**  
Lemoore Ca.



www.bsbdesign.com  
300 University Ave, Suite 220  
Sacramento, California 95825  
916 641 0000

JOB NO: 05514610 PROJ MGR: DB  
DRAWN: FC CHECKED: DB  
PARTIAL FLOOR PLAN  
ELEVATIONS B & C

PLAN 1572  
**A1.2**

\* MINIMUM SETBACK BETWEEN AC UNIT AND FENCE MUST BE 3'

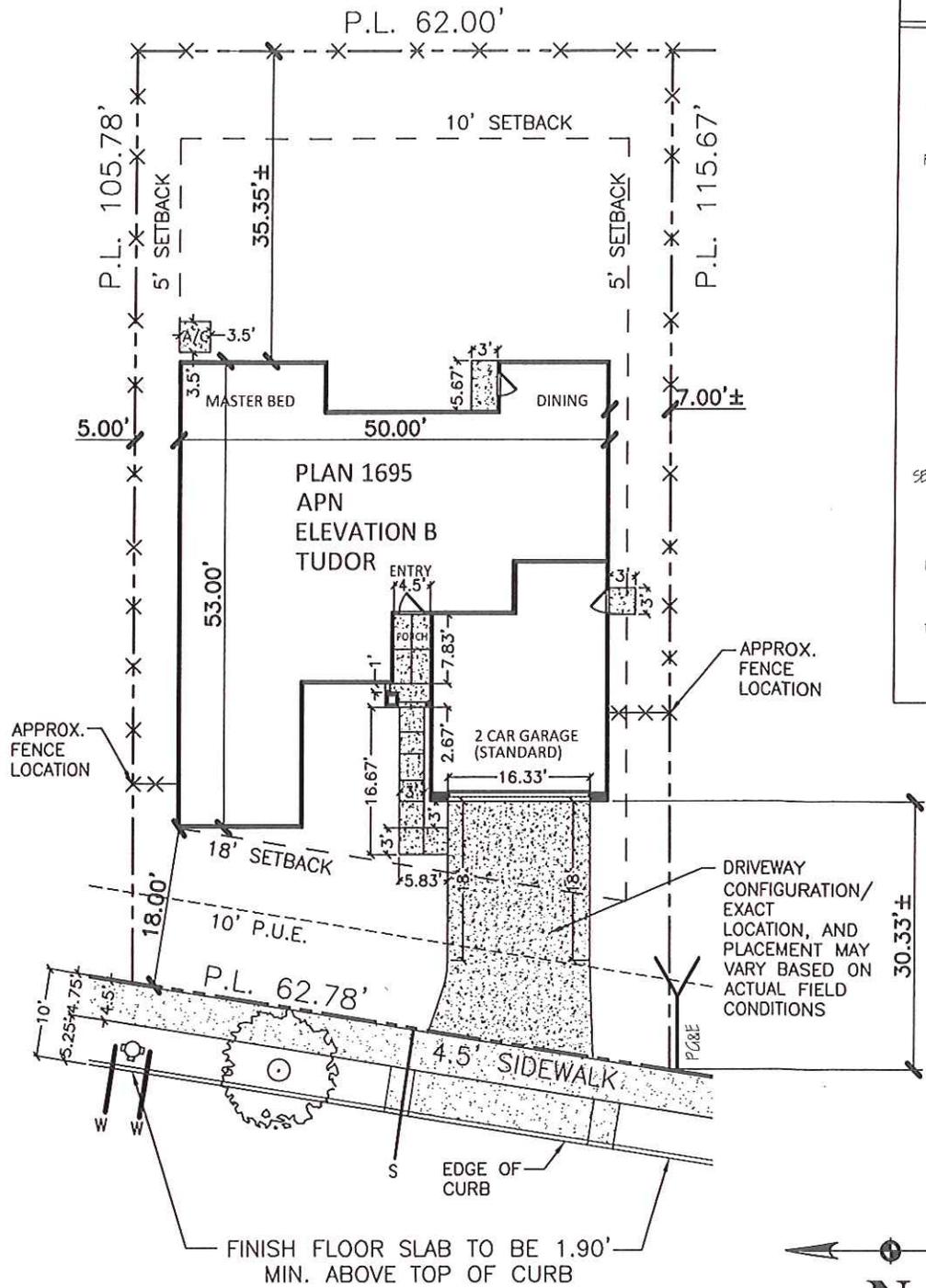
REAR AND SIDE YARD FENCES, IN SOME INSTANCES, WERE INSTALLED ON THE PROPERTY LINES BY OTHERS, FOR THE ADJACENT SUBDIVISIONS. WHERE THIS CONDITION OCCURRED, WCH LEMOORE GOLF LLC, LEFT THE OLD FENCING ON THE PROPERTY LINE, AND PROVIDED A PARALLEL NEW FENCE OFF THE PROPERTY LINE FOR THE BUYERS. NOTE THAT THIS CREATED A DOUBLED UP FENCE CONDITION AND AN ENCROACHMENT UP TO APPROXIMATELY 1' OF FENCE LINE ON THE PROPERTIES AFFECTED.

NOTE: MAILBOX FOR THIS LOT IS PROVIDED BY A COMMUNITY MAILBOX UNIT LOCATION PENDING

NOTE: EXACT LOCATION OF STREET TREES MAY VARY BASED ON ACTUAL FIELD CONDITIONS

**SYMBOL KEY**

- STREET LIGHT
- FIRE HYDRANT
- CABLE TV SPLICE BOX
- TELEPHONE SPLICE BOX
- PG&E SPLICE BOX
- PG&E 2'x3' SECONDARY BOX
- PG&E 3'x5' PRIMARY BOX
- TRANSFORMER
- MAILBOX



DRAFT

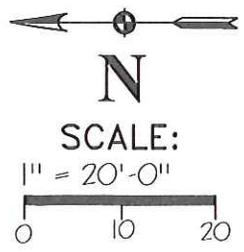
NOTE: FLAT WORK SCORE LINES WILL VARY DEPENDING ON ACTUAL FIELD CONDITIONS

**SITE PLAN**

PLACEMENT OF HOUSE, STREETLIGHTS, FIRE HYDRANTS, SIDEWALK, TRANSFORMERS, ETC., ARE SUBJECT TO CHANGE DUE TO SITE CONDITIONS. FINAL INFORMATION FOR CABLE, TELEPHONE, AND ELECTRIC UTILITIES, IS UNAVAILABLE AT THIS TIME. STREETLIGHTS MAY BE RELOCATED BASED ON FINAL DRAWINGS.

**GOLF AVENUE**

FAR LOT COVERAGE = 32%



LOT #	PLAN NO.	ELEVATION	PERMIT DESCRIPTION	A 1st FLOOR LIVING AREA (SF)	B GARAGE AREA (SF)	C COVERED PORCH/PATIO/ GARAGE SOFFIT AREA (SF)	D A+B+C FOOTPRINT AREA (SF)	E 2nd FLOOR LIVING AREA (SF)	F A+E TOTAL LIVING AREA (SF)	G D+E TOTAL Bldg. Dept. VALUATION (SF)
45	1695-1	B	2CAR, NO OPTIONS	1,695	482	50	2,227		1,695	2,227

**WCH LEMOORE GOLF, LLC**  
 WATHEN CASTANOS HYBRID HOMES, INC.  
 802 W. PINEDALE AVENUE, SUITE 104  
 FRESNO CA, 93711  
 (559) 432-8181

**TRACT 752**  
 1280 GOLF AVENUE  
**LOT 45**  
 PLAN NUMBER 1695 ELEVATION B DATE 1/30/2015  
 BUYER'S SIGNATURE \_\_\_\_\_

APPROVED BY: \_\_\_\_\_

# ELEVATION A

## PLAN 1695



ELEVATION A



ELEVATION A  
W/ OPT. STONE



ELEVATION A  
W/ OPT. FRONT COURTYARD



ELEVATION A  
W/ OPT. FRONT COURTYARD & OPT. STONE

# EXTERIOR ELEVATION DIAGRAM PLAN 1695 C



ELEVATION C  
W/ OPT. FRONT COURTYARD



ELEVATION C  
W/ OPT. FRONT COURTYARD & OPT. STONE

# EXTERIOR ELEVATION DIAGRAM PLAN 1695 C



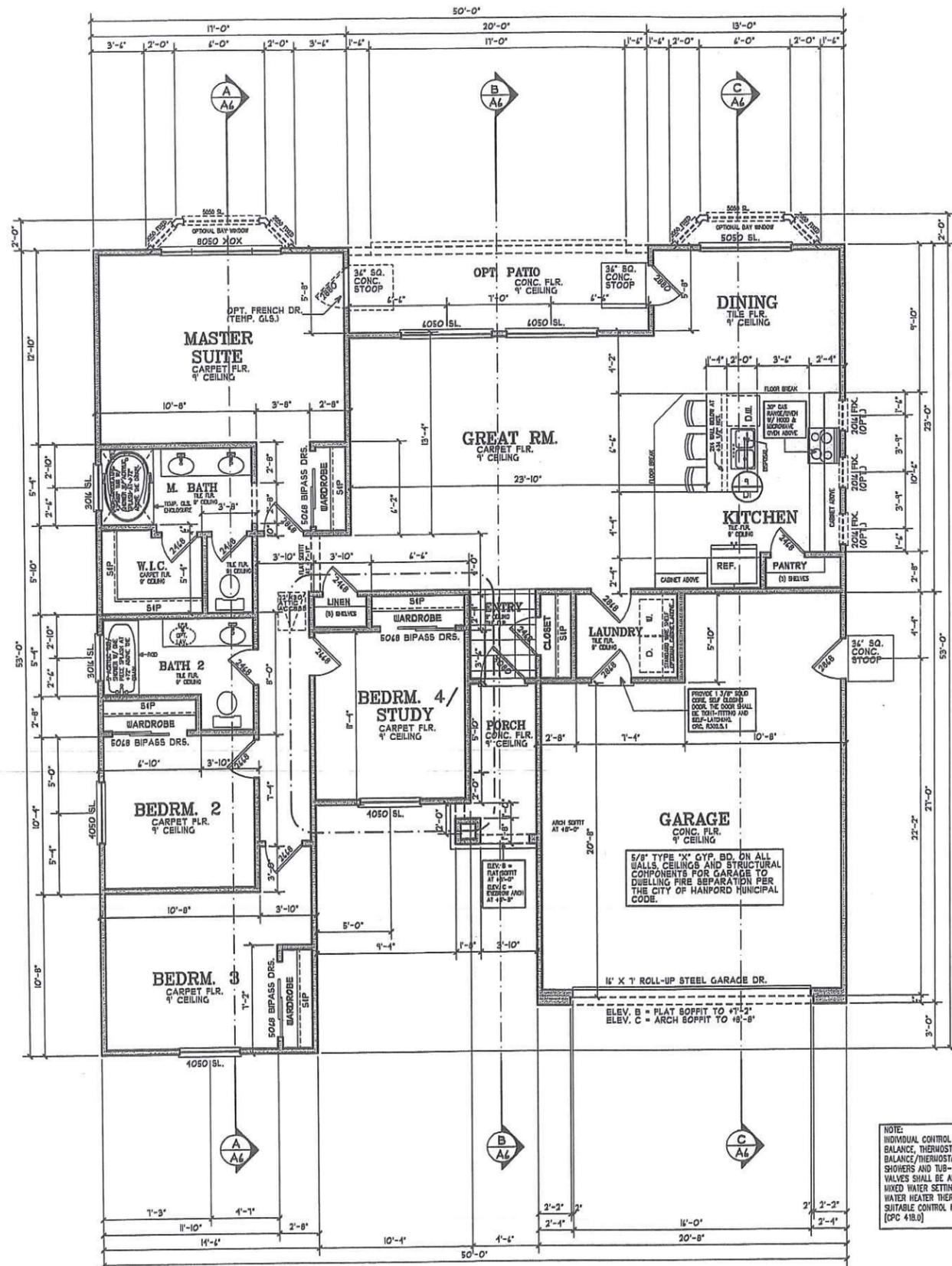
OPT. CARRIAGE  
LIGHTS AT  
GARAGE

ELEVATION C



OPT. CARRIAGE  
LIGHTS AT  
GARAGE

ELEVATION C  
W/ OPT. STONE



**STUD REQUIREMENTS:**  
 NOTE:  
 ALL STUDS TO BE 2x4 STD. GRADE OR BETTER @ 16" O.C. (U.O.N.)

**LUMBER: SIZE, GRADE, AND SPECIES:**  
 a) STUDS: DF#2 OR BETTER  
 b) TOP PLATES: DF STD. GR. OR BETTER (UNLESS OTHERWISE NOTED)  
 c) SILL PLATES: PRESSURE TREATED  
 d) HEADERS AND BEAMS: DF#2 OR BETTER (U.O.N.)

**NOTE:**  
 INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE / THERMOSTATIC MIXING VALVE TYPE AT THE SHOWERS AND TUB / SHOWER COMBINATIONS. THE VALVES SHALL BE ADJUSTED TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120 DEGREES FAHRENHEIT AND THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED SUITABLE CONTROL FOR MEETING THIS PROVISION. [CPC 418.0]

**COMPLY WITH**  
 CRC 2013  
 TABLE R602.3(1)  
 FASTENER SCHEDULE

**2013 CALIFORNIA GREEN BUILDING STANDARDS:**  
 NOTE:  
 REFER TO SHEET GR.1 & GR.2 FOR THE MANDATORY REQUIREMENTS FOR MEETING THE CALIFORNIA GREEN BUILDING STANDARDS, CHAPTER 4, RESIDENTIAL MANDATORY FEATURES.  
 SEE TABLE R702.3.5  
 GYPSUM BOARD NAILING SCHEDULE ON SHEET NS.1  
 SEE CRC TABLE R602.3(1) & TABLE R602.3(2) FOR NAILING SCHEDULE ON SHEET NS.1

**NOTE:**  
 ALL FASTENERS AND CONNECTORS THAT ARE IN DIRECT CONTACT WITH PRESERVATIVE-TREATED WOOD SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. (2013 CRC R317.1)

**GLAZING:**  
 [CRC R308.4.5] HAZARDOUS LOCATIONS  
 5. GLAZING IN ENCLOSURES FOR WALLS FACING HOT TUBS, WHIRPOOLS, SAUNAS, STEAM ROOMS, BATHUBS AND SHOWERS WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE  
 NOTE:  
 18" DEEP WINDOWS ABOVE A TUB & SHOWER LOCATION ARE NOT REQUIRED TO HAVE TEMPERED GLASS. THE SILL HEIGHT MEASURED VERTICALLY FROM THE STANDING SURFACE EXCEEDS 60".

**TANKLESS WATER HEATER REQUIREMENTS:**  
 1. WATER HEATERS LOCATED IN ATTICS SHALL BE PROVIDED WITH A 26 GAUGE SHEET METAL PAN WITH A MINIMUM LIP OF 2" AND A MINIMUM OF 3/4" DRAIN EXTENDING TO THE EXTERIOR OF THE STRUCTURE. THE PAN SHALL EXTEND A MINIMUM OF 6" BEYOND THE APPLIANCE ON ALL SIDES [2013 CPC 508.4]  
 2. PROVIDE MINIMUM 5050C RESTRAINT FOR ALL WATER HEATERS. THE WATER HEATER IS REQUIRED TO BE STRAPPED AT THE UPPER AND LOWER 1/3 OF THE TANK. A MINIMUM OF 4" SHALL BE MAINTAINED BETWEEN THE STRAP AND THE WATER HEATER CONTROLS. [2013 CPC 508.2]  
 3. THE T & P RELIEF VALVE HAVING A FULL SIZED DRAIN OF GALV. STEEL OF HARD DRAWN COPPER TO THE OUTSIDE OF THE BUILDING WITH THE END OF THE PIPE NOT MORE THAN 2" OR LESS THAN 6" ABOVE THE GRADE. POINTING DOWNWARD, THE TERMINAL END BEING UNTHREADED. [2013 CPC 608.5]

**PLUMBING REQUIREMENTS:**  
 1. ALL SHOWER AND TUB/SHOWER VALVES MUST BE PRESSURE BALANCE AND/OR THERMOSTATIC MIXING TYPES. THE DEVICE IS REQUIRED TO LIMIT THE WATER TEMPERATURE TO A MAXIMUM OF 120 DEGREES. [2013 CPC 603.4]  
 2. PROVIDE NON-REMOVABLE TYPE BACKFLOW PREVENTION DEVICE REQUIRED ON ALL HOSE BIBS. [2013 CPC 603.4.4]  
 3. ALL EQUIPMENT IN THE POTABLE WATER DELIVERY SYSTEM MUST MEET THE CALIFORNIA LEAD FREE REQUIREMENTS. THIS APPLIES TO ALL PIPING, FIXTURES AND FITTINGS. ALL OF THE ABOVE NOTED ITEMS ARE NOT PERMITTED TO EXCEED 0.25% LEAD CONTENT.

**NOTE:**  
 WATER CLOSETS SHALL BE CAPABLE OF USING A MAXIMUM OF 1.28 GALLONS PER FLUSH. [CPC 403.2.1]

**VENTILATION FOR INDOOR AIR QUALITY:**  
 [2013 CALIFORNIA ENERGY CODE, SECTION 150.0]  
 0) ALL DWELLING UNITS SHALL MEET THE REQUIREMENTS OF ASHRAE STANDARD 62.2, VENTILATION AND ACCEPTABLE INDOOR QUALITY IN LOW RISE RESIDENTIAL BUILDINGS. WINDOW OPERATION IS NOT A PERMISSIBLE METHOD OF PROVIDING THE WHOLE-BUILDING VENTILATION AIRFLOW REQUIRED IN SECTION 4 OF THAT ASHRAE STANDARD 62.2. CONTINUOUS OPERATION OF CENTRAL FORCED AIR SYSTEM AIR HANDLERS USED IN CENTRAL FAN INTEGRATED VENTILATION SYSTEMS IS NOT A PERMISSIBLE METHOD OF PROVIDING THE WHOLE-BUILDING VENTILATION AIRFLOW REQUIRED IN SECTION 4 OF ASHRAE STANDARD 62.2. ADDITIONALLY, ALL DWELLING UNITS SHALL MEET THE FOLLOWING REQUIREMENTS:  
 1. FIELD VERIFICATION AND DIAGNOSTIC TESTING:  
 A. AIRFLOW PERFORMANCE: THE WHOLE-BUILDING VENTILATION AIRFLOW REQUIRED BY SECTION 4 OF ASHRAE STANDARD 62.2 SHALL BE CONFIRMED THROUGH FIELD VERIFICATION AND DIAGNOSTIC TESTING IN ACCORDANCE WITH THE APPLICABLE PROCEDURES SPECIFIED IN REFERENCE RESIDENTIAL APPENDIX RA3.7.

**NOTE:**  
 BATHROOM EXHAUST FANS. [CRC R303.1.1]  
 EACH BATHROOM CONTAINING A BATHUB, SHOWER, OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED FOR PURPOSES OF HUMIDITY CONTROL IN ACCORDANCE WITH THE CALIFORNIA MECHANICAL CODE, CHAPTER 4; AND THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4, DIVISION 4.5.

**FLOOR AREA**

TOTAL LIVING AREA:	1695 SQ.FT.
2 CAR GARAGE:	482 SQ.FT.
COVERED PORCH:	50 SQ.FT.
OPTIONAL PATIO:	113 SQ.FT.
OPTIONAL BAY WINDOW (MASTER SUITE):	16 SQ.FT.
OPTIONAL BAY WINDOW (DINING):	16 SQ.FT.

DATE DRAWN:  
 8-2014  
 REVISIONS:  
 DATE:  
 DATE:  
 DATE:  
 DESIGNER  
 SINCE 1985

- GENERAL NOTES:**
1. WATER CLOSET COMPARTMENTS MUST HAVE 30" WIDTH AND 24" CLEAR IN FRONT OF THE WATER CLOSET. [2013 CRC 307.1]
  2. THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER SPLASH ARE CONSTRUCTED OF MATERIALS NOT ADVERSELY AFFECTED BY WATER. INSTALL FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT OR GLASS MAT GYPSUM BACKERS. WATER RESISTANT GYPSUM BOARD IS NO LONGER PERMITTED TO BE USED IN THESE LOCATIONS. [2013 CRC R702.4.2]
  3. THE DOOR BETWEEN THE GARAGE AND THE DWELLING IS REQUIRED TO HAVE (3) HINGES, TWO OF WHICH ARE TO BE SELF-CLOSING TYPE.
  4. ALL SLEEPING ROOMS SHALL BE PROVIDED WITH AT LEAST ONE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE. WINDOWS SHALL HAVE A CLEAR OPENING OF 5.7 SQ. FT. AND MINIMUM OPENNESS OF 20" WIDE AND 24" HIGH (CLEAR). [CRC R310.1]
  5. THE SILL HEIGHT OF WINDOWS IN ANY SLEEPING ROOM SHALL NOT EXCEED 44" FROM THE BOTTOM OF THE CLEAR OPENING. [2013 CRC 310.1]
  6. SAFETY GLAZING SHALL BE APPROVED IN THE FOLLOWING APPLICATIONS:  
 A. SHOWER DOORS  
 B. WINDOWS LOCATED IN OR ADJACENT TO A DOOR, WITHIN A 24" ARC OF DOOR.  
 C. WINDOWS GREATER THAN 18" WIDE AND CLOSER THAN 18" TO THE FLOOR.  
 D. ALL PATIO AND SLIDING GLASS DOORS. [CRC R308.4.2]
  7. SAFETY GLAZING ON DOORS OR WINDOWS SHALL BE LABELED AS SUCH FOR INSPECTION PURPOSES.
  8. PROVIDE EXHAUST VENTILATION FOR THE COOKTOP TO THE EXTERIOR OF THE BUILDING.  
 A) PROVIDE APPROVED EXHAUST DUCT UNDER SLAB OR FLOOR FOR INDUCTION TYPE, (DOWN DRAFT) EXHAUST VENTS.  
 B) THE VERTICAL CLEARANCE ABOVE THE COOKTOP TO COMBUSTIBLES IS 30" UNPROTECTED OR 24" PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING LISTED ON THE UNIT.
  9. BATHUB AND SHOWER SPACES:  
 BATHUB AND SHOWER FLOORS AND WALLS ABOVE BATHUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
  10. THE MINIMUM WIDTH OF A SHOWER DOOR SHALL BE 22".
  11. PROVIDE MANUFACTURER'S INSTALLATION INSTRUCTIONS AT JOB SITE FOR ALL CIRCULATING TYPE TUBS. (SEE CEC 680.74)
  12. PROVIDE A 12"x12" TUB MOTOR ACCESS HATCH WHEN INSTALLING A CIRCULATING TYPE TUB.
  13. PROVIDE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR MANUFACTURED FIREPLACES AT THE TIME OF THE FRAMING INSPECTION.
  14. BLOWN OR POURED TYPE INSULATION SHALL ONLY BE INSTALLED IN ATTIC SPACES WHERE THE SLOPE OF THE CEILING DOES NOT EXCEED MORE THAN 2.5:12 PITCH.
  15. OUTDOOR INTAKE OPENINGS: CRC R303.5; SHALL BE LOCATED A MINIMUM OF 10' FROM ANY HAZARDOUS OR NOXIOUS CONTAMINANT, SUCH AS VENTS, CHIMNEYS, PLUMBING VENTS, ETC. OR A MIN. OF 3' BELOW THE CONTAMINANT SOURCE.
  16. ALL EQUIPMENT IN POTABLE WATER DELIVERY SYSTEM MUST MEET THE CALIFORNIA LEAD FREE REQUIREMENTS. THIS APPLIES TO ALL PIPING, FIXTURES AND FITTINGS. ALL OF THE ABOVE NOTED ITEMS ARE NOT PERMITTED TO EXCEED 0.25% LEAD CONTENT.
- CALIFORNIA ENERGY NOTES:**
1. THE BUILDER SHALL PROVIDE THE ORIGINAL OCCUPANT WITH A LIST OF THE HEATING, COOLING, WATER HEATING SYSTEMS AND CONSERVATION OR SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY.
  2. A COMPLETED CF-4R FORM SHALL BE SUBMITTED PRIOR TO FINAL INSPECTION, SIGNED BY THE CERTIFIED HERS RATER, FOR FIELD VERIFICATION AND DIAGNOSTIC TESTING.
  3. AFTER INSTALLING WATER HEATING SYSTEMS, FENESTRATION, AND HVAC EQUIPMENT, THE INSTALLER SHALL SUBMIT THE "REGISTERED" INSTALLATION CERTIFICATE (CF-6R FORM), COMPLETED AND SIGNED BY THE INSTALLER, LISTING THE EQUIPMENT INSTALLED, (MANUFACTURER, MODEL, AND EFFICIENCIES, U-VALUES AND SHOC-VALUES, ETC.) AND THAT IT MEETS OR EXCEEDS THE REQUIREMENTS OF THE ENERGY DOCUMENTATION. (CEES SECTION 10-103(c)(3)).
- NOTE:**  
 "REGISTERED" COPIES OF THE CF-6R AND CF-4R FORMS SHALL BE SUBMITTED PRIOR TO FINAL INSPECTION, SIGNED BY THE CERTIFIED HERS RATER(S) FOR THE CF-6R FORM, AND THE HERS RATER, FOR THE FIELD VERIFICATION AND DIAGNOSTIC TESTING ON THE CF-4R FORM. [SEE SECTION 10-103(c) AND 10-103(c)(5)]

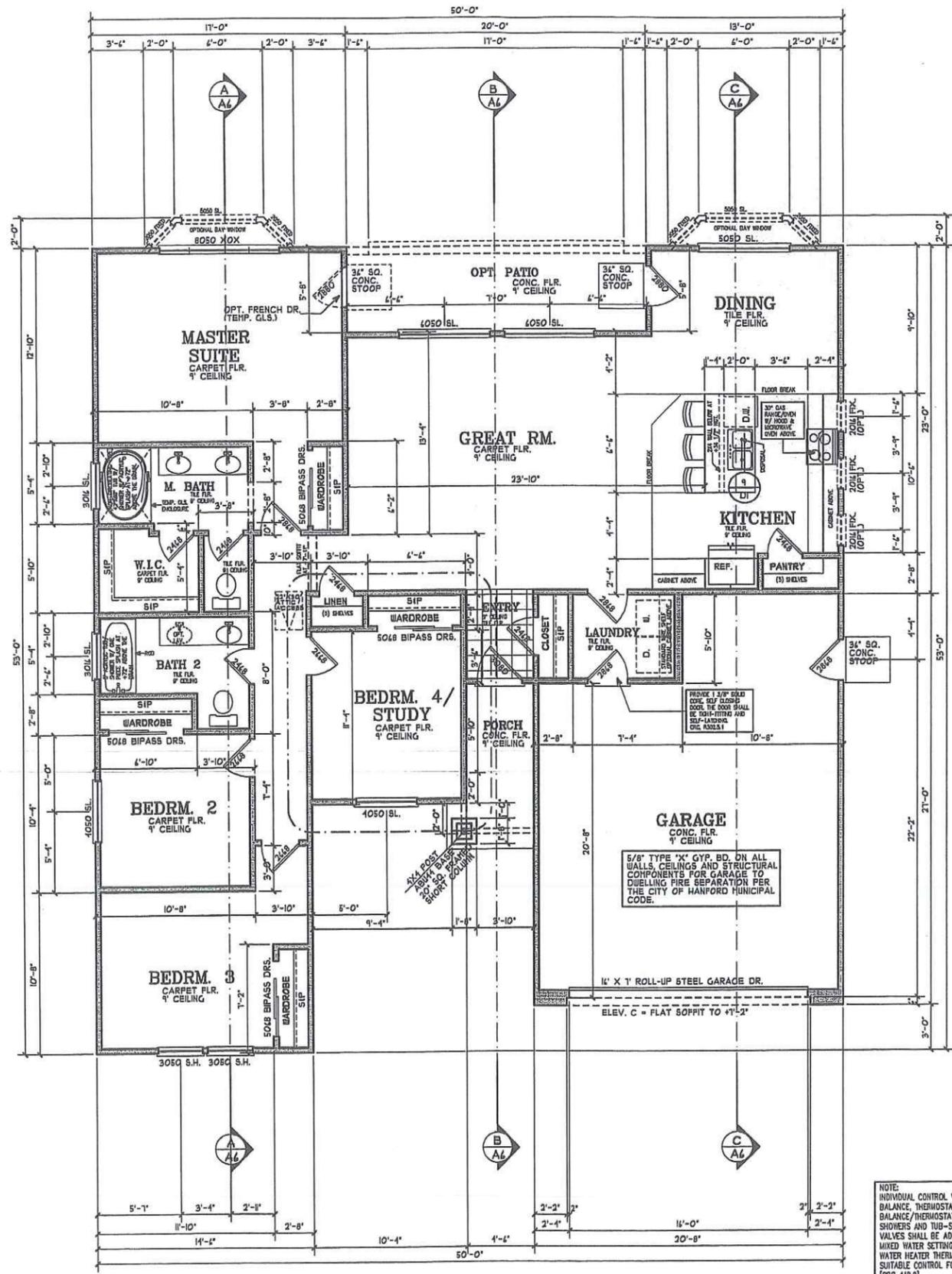
**NOTE:**  
 INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE AT THE SHOWERS AND TUB-SHOWER COMBINATIONS. THE VALVES SHALL BE ADJUSTED TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120 DEGREES (F) AND THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED SUITABLE CONTROL FOR MEETING THIS PROVISION. [CPC 418.0]

**NOTE:**  
 THIS STANDARD PLAN WILL HAVE A PHOTO VOLTAGE SYSTEM INSTALLED AT THE TIME OF CONSTRUCTION.

FLOOR PLAN - A & B

**RON POPE & ASSOCIATES**  
 468 W. Kenosha Ave.  
 Clovis, Ca. 93619-8359  
 (559) 392-2706  
 Email: ron.pope1017@yahoo.com

PLAN NO. 1695 JOB NO. JB:1695  
 DRAWN BY: RON POPE SHEET NO. JONATHAN ANDERSON A-2  
 SCALE: 1/4" = 1'-0"



**STUD REQUIREMENTS:**  
 NOTE:  
 ALL STUDS TO BE 2X4 STD. GRADE OR BETTER @ 16" O.C. (U.O.N.)

**LUMBER: SIZE, GRADE, AND SPECIES:**  
 a) STUDS: DF#2 OR BETTER  
 b) TOP PLATES: DF STD. GR. OR BETTER (UNLESS OTHERWISE NOTED)  
 c) SILL PLATES: PRESSURE TREATED  
 d) HEADERS AND BEAMS: DF#2 OR BETTER (U.O.N.)

**NOTE:**  
 INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE / THERMOSTATIC MIXING VALVE TYPE AT THE SHOWERS AND TUB / SHOWER COMBINATIONS. THE VALVES SHALL BE ADJUSTED TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120 DEGREES FAHRENHEIT AND THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED SUITABLE CONTROL FOR MEETING THIS PROVISION. [CPC 418.0]

**COMPLY WITH**  
 CRC 2013  
 TABLE R602.3(1)  
 FASTENER SCHEDULE

**2013 CALIFORNIA GREEN BUILDING STANDARDS:**  
 NOTE:  
 REFER TO SHEET GR.1 & GR.2 FOR THE MANDATORY REQUIREMENTS FOR MEETING THE CALIFORNIA GREEN BUILDING STANDARDS, CHAPTER 4, RESIDENTIAL MANDATORY FEATURES.

**NOTE:**  
 A SHEET ROCK NAILING INSPECTION IS REQUIRED. PER 2013 CRC R109.1.4.1 & 2010 CRC 110.3.5.  
 SEE TABLE R702.3.5  
 GYPSUM BOARD NAILING SCHEDULE ON SHEET NS.1  
 SEE CRC TABLE R602.3(1) & TABLE R602.3(2) FOR NAILING SCHEDULE ON SHEET NS.1

**NOTE:**  
 ALL FASTENERS AND CONNECTORS THAT ARE IN DIRECT CONTACT WITH PRESERVATIVE-TREATED WOOD SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. (2013 CRC R317.3.1)

**GLAZING:**  
 [CRC R308.4.5] HAZARDOUS LOCATIONS  
 5. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE  
 NOTE:  
 18" DEEP WINDOWS ABOVE A TUB & SHOWER LOCATION ARE NOT REQUIRED TO HAVE TAPERED GLASS. THE SILL HEIGHT MEASURED VERTICALLY FROM THE STANDING SURFACE EXCEEDS 60".

**TANKLESS WATER HEATER REQUIREMENTS:**  
 1. WATER HEATERS LOCATED IN ATTICS SHALL BE PROVIDED WITH A 26 GAUGE SHEET METAL PAN WITH A MINIMUM LIP OF 2" AND A MINIMUM OF 3/4" DRAIN EXTENDING TO THE EXTERIOR OF THE STRUCTURE. THE PAN SHALL EXTEND A MINIMUM OF 6" BEYOND THE APPLIANCE ON ALL SIDES [2013 CPC 508.4]  
 2. PROVIDE MINIMUM SEISMIC RESTRAINT FOR ALL WATER HEATERS. THE WATER HEATER IS REQUIRED TO BE STRAPPED AT THE UPPER AND LOWER 1/3 OF THE TANK. A MINIMUM OF 4" SHALL BE MAINTAINED BETWEEN THE STRAP AND THE WATER HEATER CONTROLS. [2013 CPC 508.2]  
 3. THE T & P RELIEF VALVE HAVING A FULL SIZED DRAIN OF GALV. STEEL OF HARD DRAWN COPPER TO THE OUTSIDE OF THE BUILDING WITH THE END OF THE PIPE NOT MORE THAN 2" OR LESS THAN 4" ABOVE THE GRADE, POINTING DOWNWARD, THE TERMINAL END BEING UNTHREADED. [2013 CPC 618.5]

**PLUMBING REQUIREMENTS:**  
 1. ALL SHOWER AND TUB/SHOWER VALVES MUST BE PRESSURE BALANCE AND/OR THERMOSTATIC MIXING TYPES. THE DEVICE IS REQUIRED TO LIMIT THE WATER TEMPERATURE TO A MAXIMUM OF 120 DEGREES. [2013 CPC]  
 2. PROVIDE NON-REMOVABLE TYPE BACKFLOW PREVENTION DEVICE REQUIRED ON ALL HOSE BIBS. [2013 CPC 603.4.6]  
 3. ALL EQUIPMENT IN THE POTABLE WATER DELIVERY SYSTEM MUST MEET THE CALIFORNIA GREEN LEAD FREE REQUIREMENTS. THIS APPLIES TO ALL PIPING, FIXTURES AND FITTINGS. ALL OF THE ABOVE NOTED ITEMS ARE NOT PERMITTED TO EXCEED 0.25% LEAD CONTENT.

**NOTE:**  
 WATER CLOSETS SHALL BE CAPABLE OF USING A MAXIMUM OF 1.28 GALLONS PER FLUSH. [CPC 403.2.1]

**VENTILATION FOR INDOOR AIR QUALITY:**  
 [2013 CALIFORNIA ENERGY CODE, SECTION 150.0]

o) ALL DWELLING UNITS SHALL MEET THE REQUIREMENTS OF ASHRAE STANDARD 62.2 VENTILATION AND ACCEPTABLE INDOOR QUALITY IN LOW RISE RESIDENTIAL BUILDINGS. WINDOW OPERATION IS NOT A FEASIBLE METHOD OF PROVIDING THE WHOLE-BUILDING VENTILATION AIRFLOW REQUIRED IN SECTION 4 OF THAT ASHRAE STANDARD 62.2. CONTINUOUS OPERATION OF CENTRAL FORCED AIR SYSTEM AIR HANDLERS USED IN CENTRAL FAN INTEGRATED VENTILATION SYSTEMS IS NOT A FEASIBLE METHOD OF PROVIDING THE WHOLE-BUILDING VENTILATION AIRFLOW REQUIRED IN SECTION 4 OF ASHRAE STANDARD 62.2. ADDITIONALLY, ALL DWELLING UNITS SHALL MEET THE FOLLOWING REQUIREMENTS:  
 1. FIELD VERIFICATION AND DIAGNOSTIC TESTING:  
 A. AIRFLOW PERFORMANCE. THE WHOLE-BUILDING VENTILATION AIRFLOW REQUIRED BY SECTION 4 OF ASHRAE STANDARD 62.2 SHALL BE CONFIRMED THROUGH FIELD VERIFICATION AND DIAGNOSTIC TESTING IN ACCORDANCE WITH THE APPLICABLE PROCEDURES SPECIFIED IN REFERENCE RESIDENTIAL APPENDIX RA3.7.

**NOTE:**  
 BATHROOM EXHAUST FANS: [CRC R303.3.1]  
 EACH BATHROOM CONTAINING A BATHTUB, SHOWER, OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED FOR PURPOSES OF HUMIDITY CONTROL IN ACCORDANCE WITH THE CALIFORNIA MECHANICAL CODE, CHAPTER 4, AND THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4, DIVISION 4.5.

**NOTE:**  
 THIS STANDARD PLAN WILL HAVE A PHOTO VOLTIC SYSTEM INSTALLED AT THE TIME OF CONSTRUCTION.

**NOTE:**  
 INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE AT THE SHOWERS AND TUB-SHOWER COMBINATIONS. THE VALVES SHALL BE ADJUSTED TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120 DEGREES (F) AND THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED SUITABLE CONTROL FOR MEETING THIS PROVISION. [CPC 418.0]

**FLOOR PLAN - C**

FLOOR AREA	
TOTAL LIVING AREA:	1695 SQ.FT.
2 CAR GARAGE:	482 SQ.FT.
COVERED PORCH:	45 SQ.FT.
OPTIONAL PATIO:	113 SQ.FT.
OPTIONAL BAY WINDOW (MASTER SUITE):	16 SQ.FT.
OPTIONAL BAY WINDOW (DINING):	16 SQ.FT.

DATE DRAWN:  
 8-2014  
 REVISIONS:  
 DATE:  
 DATE:  
 DATE:



**GENERAL NOTES:**

- WATER CLOSET COMPARTMENTS MUST HAVE 30" WIDTH AND 24" CLEAR IN FRONT OF THE WATER CLOSET. [2013 CRC 307.1]
  - THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER SPLASH ARE CONSTRUCTED OF MATERIALS NOT ADVERSELY AFFECTED BY WATER. INSTALL FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT OR GLASS MAT GYPSUM BACKERS. WATER RESISTANT GYPSUM BOARD IS NO LONGER PERMITTED TO BE USED IN THESE LOCATIONS. [2013 CRC R702.4.2]
  - THE DOOR BETWEEN THE GARAGE AND THE DWELLING IS REQUIRED TO HAVE (3) HINGES, TWO OF WHICH ARE TO BE SELF-CLOSING TYPE.
  - ALL SLEEPING ROOMS SHALL BE PROVIDED WITH AT LEAST ONE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE AND RESCUE. WINDOWS SHALL HAVE A CLEAR OPENING OF 5.7 SQ. FT. AND MINIMUM OPENINGS OF 20" WIDE AND 24" HIGH (CLEAR). [CRC R310.1]
  - THE SILL HEIGHT OF WINDOWS IN ANY SLEEPING ROOM SHALL NOT EXCEED 44" FROM THE BOTTOM OF THE CLEAR OPENING. [2013 CRC 310.1]
  - SAFETY GLAZING SHALL BE APPROVED IN THE FOLLOWING APPLICATIONS:  
 A. SHOWER DOORS  
 B. WINDOWS LOCATED IN OR ADJACENT TO A DOOR, WITHIN A 24" ARC OF DOOR.  
 C. WINDOWS GREATER THAN 18" WIDE AND CLOSER THAN 18" TO THE FLOOR.  
 D. ALL PATIO AND SLIDING GLASS DOORS. [CRC R308.4.2]
  - SAFETY GLAZING ON DOORS OR WINDOWS SHALL BE LABELED AS SUCH FOR INSPECTION PURPOSES.
  - PROVIDE EXHAUST VENTILATION FOR THE COOKTOP TO THE EXTERIOR OF THE BUILDING.  
 A) PROVIDE APPROVED EXHAUST DUCT UNDER SLAB OR FLOOR FOR INDUCTION TYPE, (DOWN DRAFT) EXHAUST VENTS.  
 B) THE VERTICAL CLEARANCE ABOVE THE COOKTOP TO COMBUSTIBLES IS 30" UNPROTECTED OR 24" PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING LISTED ON THE UNIT.
  - BATHTUB AND SHOWER SPACES:  
 BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
  - THE MINIMUM WIDTH OF A SHOWER DOOR SHALL BE 22".
  - PROVIDE MANUFACTURER'S INSTALLATION INSTRUCTIONS AT JOB SITE FOR ALL CIRCULATING TYPE TUBS. (SEE CRC 603.4)
  - PROVIDE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR MANUFACTURED FIREPLACES AT THE TIME OF THE FRAMING INSPECTION.
  - BLOWN OR POURED TYPE INSULATION SHALL ONLY BE INSTALLED IN ATTIC SPACES WHERE THE SLOPE OF THE CEILING DOES NOT EXCEED MORE THAN 2.5:12 PITCH.
  - OUTDOOR INTAKE OPENINGS: CRC R303.5, SHALL BE LOCATED A MINIMUM OF 10' FROM ANY HAZARDOUS OR NOXIOUS CONTAMINANT, SUCH AS VENTS, CHIMNEYS, PLUMBING VENTS, ETC. OR A MIN. OF 3' BELOW THE CONTAMINANT SOURCE.
  - ALL EQUIPMENT IN POTABLE WATER DELIVERY SYSTEM MUST MEET THE CALIFORNIA GREEN LEAD FREE REQUIREMENTS. THIS APPLIES TO ALL PIPING, FIXTURES AND FITTINGS. ALL OF THE ABOVE NOTED ITEMS ARE NOT PERMITTED TO EXCEED 0.25% LEAD CONTENT.
- CALIFORNIA ENERGY NOTES:**
- THE BUILDER SHALL PROVIDE THE ORIGINAL OCCUPANT WITH A LIST OF THE HEATING, COOLING, WATER HEATING SYSTEMS AND CONSERVATION OR SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY.
  - A COMPLETED CF-4R FORM SHALL BE SUBMITTED PRIOR TO FINAL INSPECTION, SIGNED BY THE CERTIFIED HERS RATER, FOR FIELD VERIFICATION AND DIAGNOSTIC TESTING.
  - AFTER INSTALLING WATER HEATING SYSTEMS, FENESTRATION, AND HVAC EQUIPMENT, THE INSTALLER SHALL SUBMIT THE "REGISTERED" INSTALLATION CERTIFICATE (CF-6R FORM), COMPLETED AND SIGNED BY THE INSTALLER, LISTING THE EQUIPMENT INSTALLED, (MANUFACTURER, MODEL, AND EFFICIENCIES, U-VALUES AND SHGC-VALUES, ETC.) AND THAT IT MEETS OR EXCEEDS THE REQUIREMENTS OF THE ENERGY DOCUMENTATION. (SEE SECTION 10-103(a)(3)).
- NOTE:**  
 "REGISTERED" COPIES OF THE CF-6R AND CF-4R FORMS SHALL BE SUBMITTED PRIOR TO FINAL INSPECTION, SIGNED BY THE CERTIFIED HERS RATER, FOR THE FIELD VERIFICATION AND DIAGNOSTIC TESTING OF THE CF-4R FORM. [CES SECTION 10-103(a) AND 10-103(a)(5)]

**RON POPE & ASSOCIATES**  
 468 W. Kemoaha Ave.  
 Clovis, Ca. 93619-8359  
 (559) 392-2706  
 Email: ron.pope1017@yahoo.com

**PLAN NO. 1695** JOB NO: JB:16495  
 DRAWN BY: RON POPE SHEET NO:  
 JONATHAN ANDERSON  
 SCALE: 1/4" = 1'-0" **A2.1**

\* MINIMUM SETBACK BETWEEN AC UNIT AND FENCE MUST BE 3'

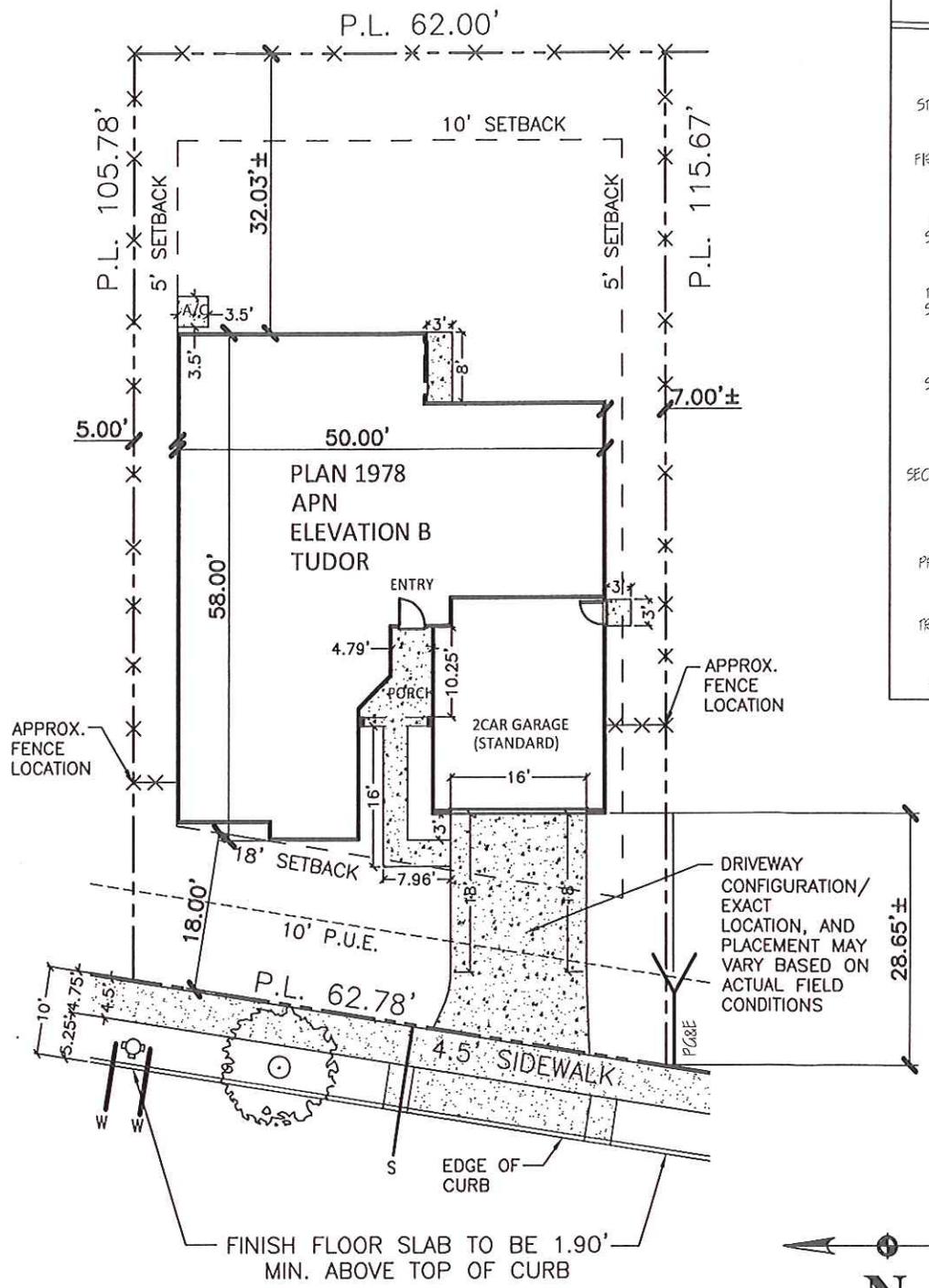
REAR AND SIDE YARD FENCES, IN SOME INSTANCES, WERE INSTALLED ON THE PROPERTY LINES BY OTHERS, FOR THE ADJACENT SUBDIVISIONS. WHERE THIS CONDITION OCCURRED, WCH LEMOORE GOLF LLC, LEFT THE OLD FENCING ON THE PROPERTY LINE, AND PROVIDED A PARALLEL NEW FENCE OFF THE PROPERTY LINE FOR THE BUYERS. NOTE THAT THIS CREATED A DOUBLED UP FENCE CONDITION AND AN ENCROACHMENT UP TO APPROXIMATELY 1' OF FENCE LINE ON THE PROPERTIES AFFECTED.

NOTE: MAILBOX FOR THIS LOT IS PROVIDED BY A COMMUNITY MAILBOX UNIT LOCATION PENDING

NOTE: EXACT LOCATION OF STREET TREES MAY VARY BASED ON ACTUAL FIELD CONDITIONS

**SYMBOL KEY**

-  STREET LIGHT
-  FIRE HYDRANT
-  CABLE TV SPLICE BOX
-  TELEPHONE SPLICE BOX
-  P&E SPLICE BOX
-  P&E 2'x5' SECONDARY BOX
-  P&E 5'x5' PRIMARY BOX
-  TRANSFORMER
-  MAILBOX



DRAFT

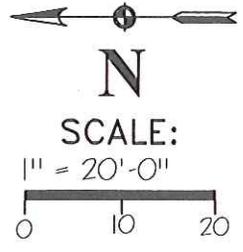
NOTE: FLAT WORK SCORE LINES WILL VARY DEPENDING ON ACTUAL FIELD CONDITIONS

**SITE PLAN**

PLACEMENT OF HOUSE, STREETLIGHTS, FIRE HYDRANTS, SIDEWALK, TRANSFORMERS, ETC., ARE SUBJECT TO CHANGE DUE TO SITE CONDITIONS. FINAL INFORMATION FOR CABLE, TELEPHONE, AND ELECTRIC UTILITIES, IS UNAVAILABLE AT THIS TIME. STREETLIGHTS MAY BE RELOCATED BASED ON FINAL DRAWINGS.

**GOLF AVENUE**

FAR LOT COVERAGE= 37%



LOT #	PLAN NO.	ELEVATION	PERMIT DESCRIPTION	A	B	C	D	E	F	G
				1st FLOOR LIVING AREA (SF)	GARAGE AREA (SF)	COVERED PORCH/PATIO/ GARAGE SOFFIT AREA (SF)	A+B+C FOOTPRINT AREA (SF)	2nd FLOOR LIVING AREA (SF)	A+E TOTAL LIVING AREA (SF)	D+E TOTAL Bldg. Dept. VALUATION (SF)
45	1978-1	B	2CAR, NO OPTIONS	1,978	492	69	2,539		1,978	2,539

**WCH LEMOORE GOLF, LLC**  
 WATHEN CASTANOS HYBRID HOMES, INC.  
 802 W. PINEDALE AVENUE, SUITE 104  
 FRESNO CA, 93711  
 (559) 432-8181

**TRACT 752**  
 1280 GOLF AVENUE  
**LOT 45**  
 PLAN NUMBER 1978 ELEVATION B DATE 1/28/2015  
 BUYER'S SIGNATURE \_\_\_\_\_

APPROVED BY: \_\_\_\_\_

# EXTERIOR ELEVATION DIAGRAM PLAN 1978 A



# EXTERIOR ELEVATION DIAGRAM PLAN 1978 B



OPT. TWO  
CARRIAGE LIGHTS  
AT GARAGE

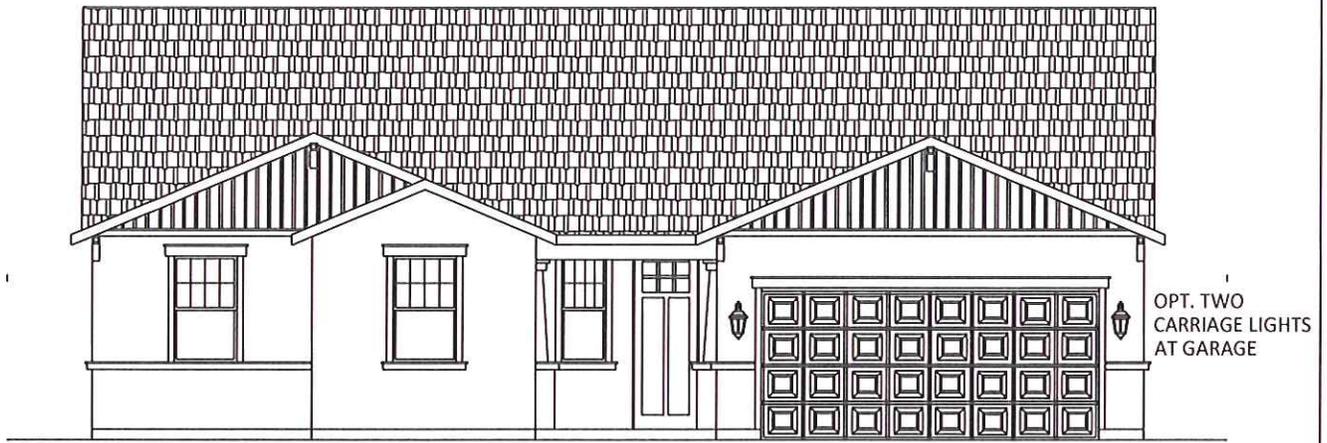
ELEVATION B



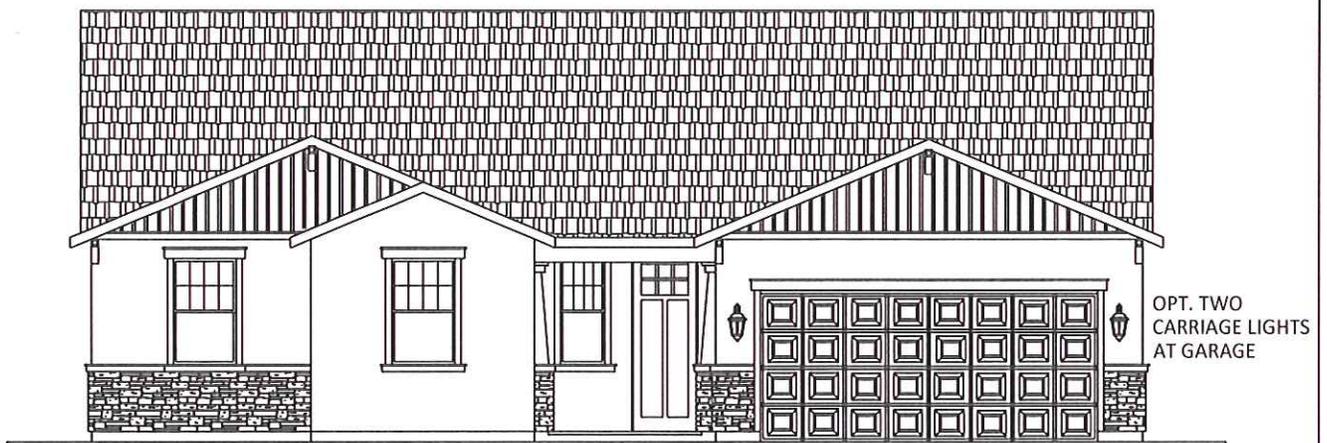
OPT. TWO  
CARRIAGE LIGHTS  
AT GARAGE

ELEVATION B  
W/ OPT STONE

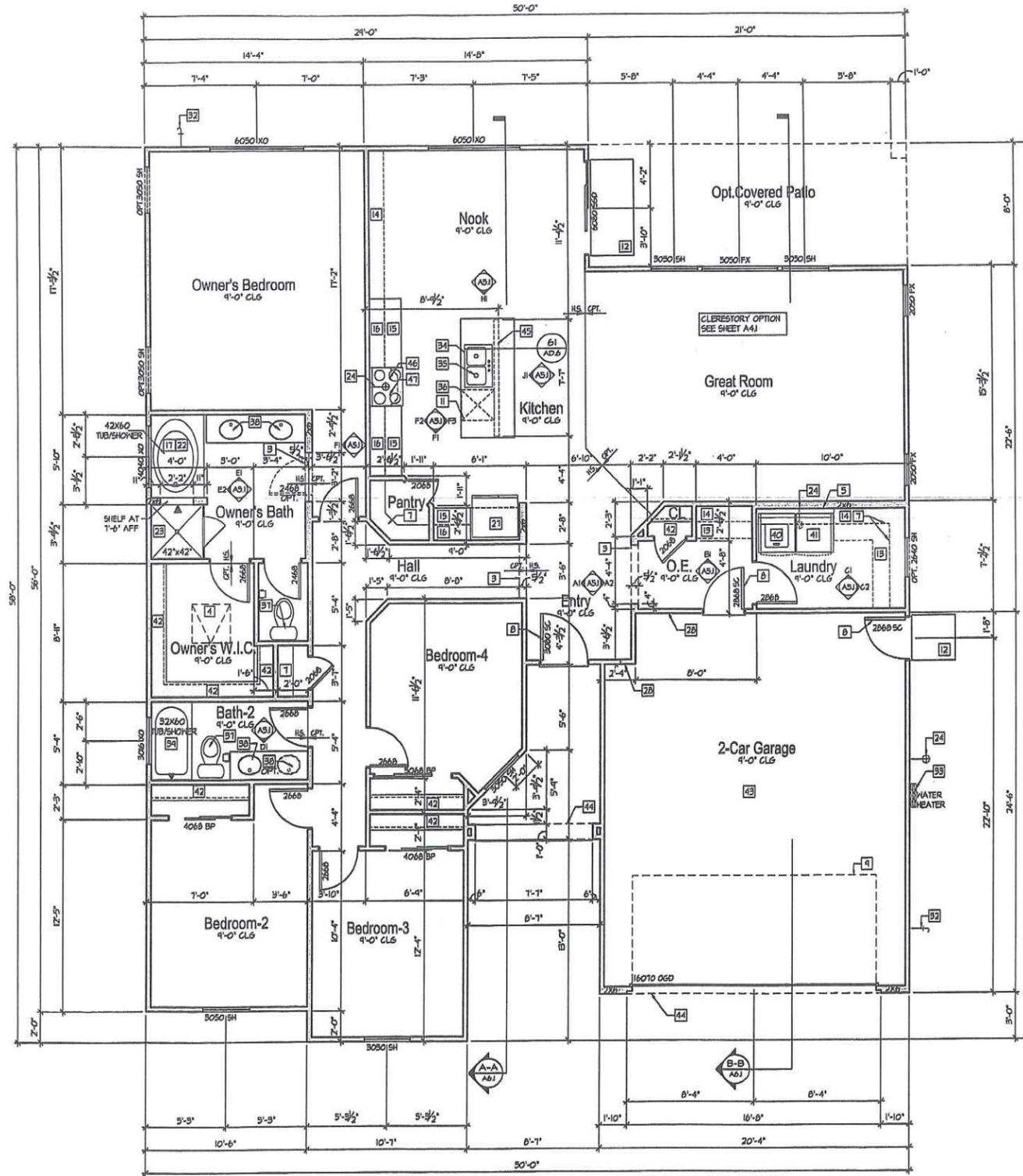
# EXTERIOR ELEVATION DIAGRAM PLAN 1978 C



ELEVATION C



ELEVATION C  
W/ OPT STONE



**Main Floor Plan**

SCALE: 1/4"=1'-0" (22/32) 1/8"=1'-0" (1/16)

**Elevation - A - Cottage**

**FLOOR PLAN KEYNOTES:**

- 1. THE FOLLOWING KEYNOTES REFER TO THE SYMBOLS AS SHOWN ON PLANS.
- 2. LINE OF FRAMING ABOVE
- 3. LINE OF SOFFIT/ARCH ABOVE HEIGHT AS NOTED ON INTERIOR/EXTERIOR ELEVATIONS
- 4. 30"x30" ATTIC ACCESS - PROVIDE 30" HEADROOM AT ALL ACCESS LOCATIONS. ALL LOCATED IN ATTIC SPACE (VERIFY LOCATION). THE PASSAGE WAY FROM ACCESS OPENING TO THE UNIT SHALL NOT EXCEED 20 FEET AS MEASURED ALONG THE CENTER LINE OF PASSAGEWAY. THE PASSAGEWAY SHALL BE UNOBSTRUCTED AND SHALL HAVE CONTINUOUS SOLID FLOORING NOT LESS THAN 24" IN WIDTH FROM THE ACCESS OPENING TO THE UNIT. REQUIRED DRYER VENT DUCT SHALL EXHAUST TO EXTERIOR WITH A MINIMUM OPENING OF 100 SQ. IN. MAKE-UP AIR OF 100 SQ. IN IS REQUIRED FOR ROOMS CONTAINING A DRYER AND MAY COME FROM OPENING ABOVE DOOR INTO THE HALLWAY. MAKE-UP AIR MAY NOT COME FROM OR EXHAUST TO THE OUTSIDE.
- 5. OPTIONAL MASONRY VENEER-SEE GENERAL NOTES.
- 6. WIRE SHELVES.
- 7. 1-3/8" THICK 5/8" DOOR CLOSURE, TIGHT FITTING GASKETS & SHEET.
- 8. LINE OF OVERHEAD GARAGE DOOR IN OPEN POSITION.
- 9. T & P RELIEF LINE TO BE FULL SIZE STEEL PIPE OR HARD DRAWN COPPER TUBING EXTENDING TO THE EXTERIOR OF THE BUILDING AND TERMINATING IN A DOWNWARD POSITION NOT MORE THAN TWO FEET NOR LESS THAN 6" ABOVE GRADE. APPLY TO AIR-GAP FITTING AT DISHWASHER.
- 10. PROVIDE A MIN. CONCRETE LANDING @ EA. EXT. DOOR PER CODE-SEE PLAN FOR SIZE.
- 11. OPT. BASE CABINETS.
- 12. OPT. UPPER CABINETS.
- 13. STD. BASE CABINETS.
- 14. STD. UPPER CABINETS.
- 15. TEMPERED GLASS ENCLOSURE.
- 16. GUARDWALL AT 42" AFF.
- 17. STD. DESK, OPT. BASE CABINETS.
- 18. 2X STAIR LWN HALL, 42" ABOVE TOE TREAD.
- 19. 2X FRAMED WALL @ STORAGE UNDER STAIRS. WALL TO BE CONSTRUCTED TO INTERSECT STAIRWAY STRINGER AT 3" TALL.
- 20. PROFILE TO TUB PER BUILDER SPEC.
- 21. LASCO HOLLOWED FIBERGLASS SHOWER RECEPTOR WITH EDGE, SIZE AS NOTED.
- 22. OPTIONAL GAS STUB.
- 23. 2x6 LWN HALL AT 42" AFF W/ MDF CAP.
- 24. MINIMUM 144" L x 60" W x 40" T MECHANICAL PLATFORM CENTERED UNDER RIDGE (NO CAN LIGHTS TO BE PLACED IN THIS AREA).
- 25. 24" UPPER CABINETS.
- 26. PROVIDE 1/2" TYPE 'X' GYPSUM BOARD CONTINUOUS ON GARAGE FACE OF HOUSE/ GARAGE COMMON HALLS. PROVIDE 1/2" TYPE 'X' GYPSUM BOARD OVER RESILIENT CHANNELS @ 18" O.C. ON GARAGE CEILING AT HOUSE/GARAGE OVERLAP AS REQUIRED BY GOVERNING CODES.
- 27. PROVIDE 1/2" TYPE 'X' GYPSUM BOARD CONTINUOUS ON HALLS AT USABLE SPACE UNDER STAIRWAYS PROVIDE (2) LAYERS.
- 28. 1/2" TYPE 'X' GYPSUM BOARD AT CEILING OF USABLE SPACE UNDER STAIRS.
- 29. PROVIDE A MINIMUM 30"x30" WORKING PLATFORM IN FRONT OF THE FIREBOX SIDE OF THE UNIT AND IF THE FURNACE CONTROLS ARE NOT ACCESSIBLE FROM THIS SIDE OF THE UNIT A MINIMUM 24" WIDE PLATFORM SHALL BE PROVIDED FROM THE FIREBOX PLATFORM TO THE CONTROLS. A WORKING PLATFORM NEED NOT BE REQUIRED WHEN THE FIREBOX AND CONTROLS CAN BE ACCESSED DIRECTLY FROM THE ACCESS OPENING.
- 30. EMERGENCY EGRESS, ONE SASH IN EACH SLEEPING AREA SHALL COMPLY WITH GOVERNING FIRE AND BUILDING CODES. EGRESS WINDOW SHALL HAVE A NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES AND THE MINIMUM NET OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. EGRESS WINDOWS SHALL HAVE A FINISHED SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
- 31. ALL KNEE WALLS (WALLS THAT SEPARATE CONDITIONED SPACE FROM AN UNCONDITIONED SPACE ATTIC AREA) SHALL BE INSULATED TO A MIN. OF R-11 OR HIGHER.
- 32. HOSE BIB
- 33. TANKLESS WATER HEATER, RINNAI MODEL R-7SE
- 34. AMERISINK KITCHEN SINK PER BUILDER SPEC.
- 35. BADGER GARBAGE DISPOSAL, 1/3 HP, PER BUILDER SPEC.
- 36. DISHWASHER GE MODEL # S6LD45000M
- 37. WATER CLOSET PROFILE # PF4000H ROUND TANK # PF41214G.
- 38. PROFILE SINK # PF20114
- 39. LASCO TUB SHOWER (SIZE PER PLAN)
- 40. WASHER
- 41. DRYER
- 42. WIRE SHELVES PER BUILDER.
- 43. SLOPE GARAGE FLOOR 1/8" PER FOOT TOWARD GARAGE DOOR OPENING.
- 44. LINE OF SOFFIT ABOVE (REFER TO EXT. ELEVATIONS FOR HEIGHTS AND DETAILS).
- 45. HALF HALL + 34 1/2" AFF. W/ COUNTERTOP PER PLAN.
- 46. MICROHOOD GE MODEL # JWH1300M
- 47. RANGE GE MODEL # JF300M
- 48. FLAT STUD WALL CONST. @ REF.



ISSUE DATE:	MO-DA-YEAR	REVISIONS

802 W. Pinedale Ave,  
Suite 104  
Fresno, CA 93711



**THE GREENS**  
Lemoore Ca.

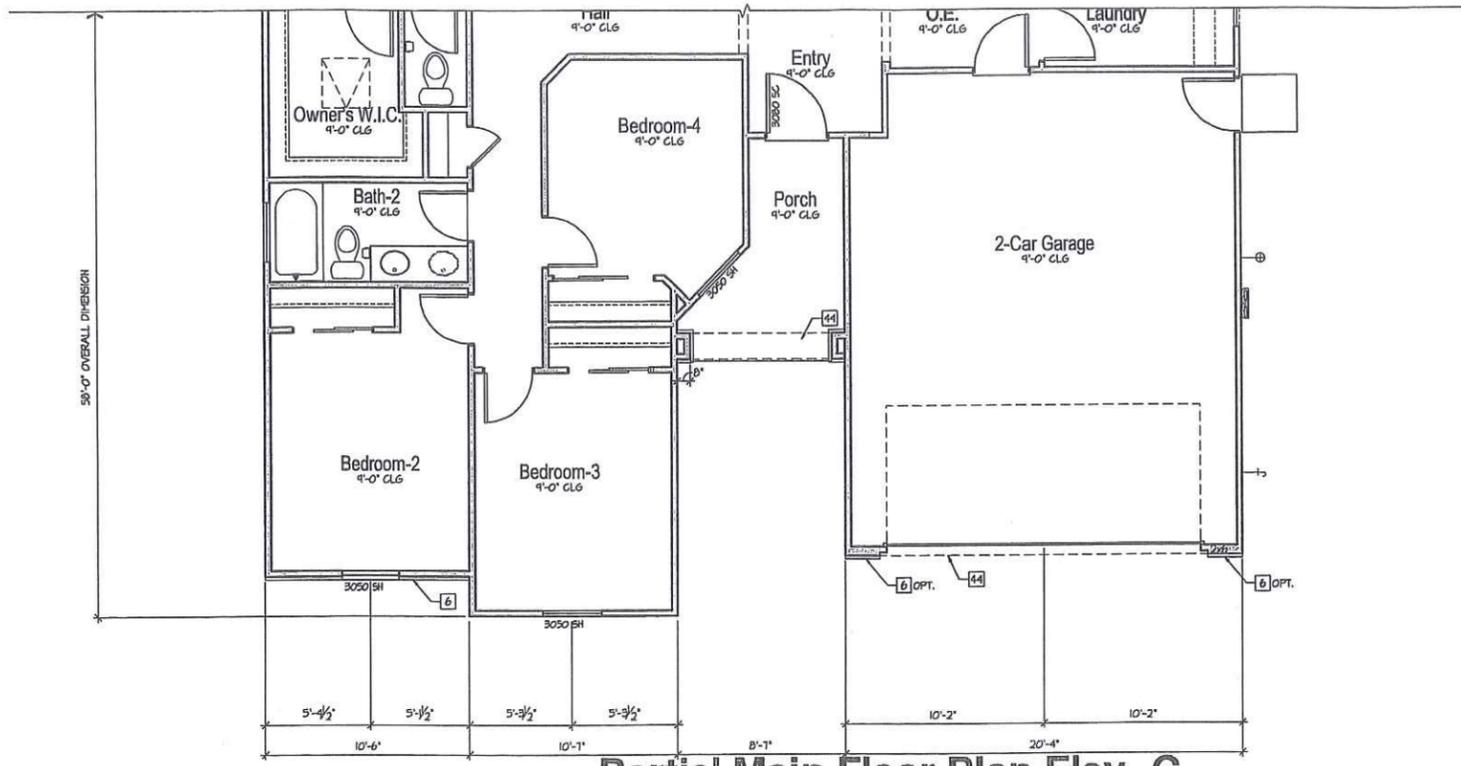


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916 641 9000

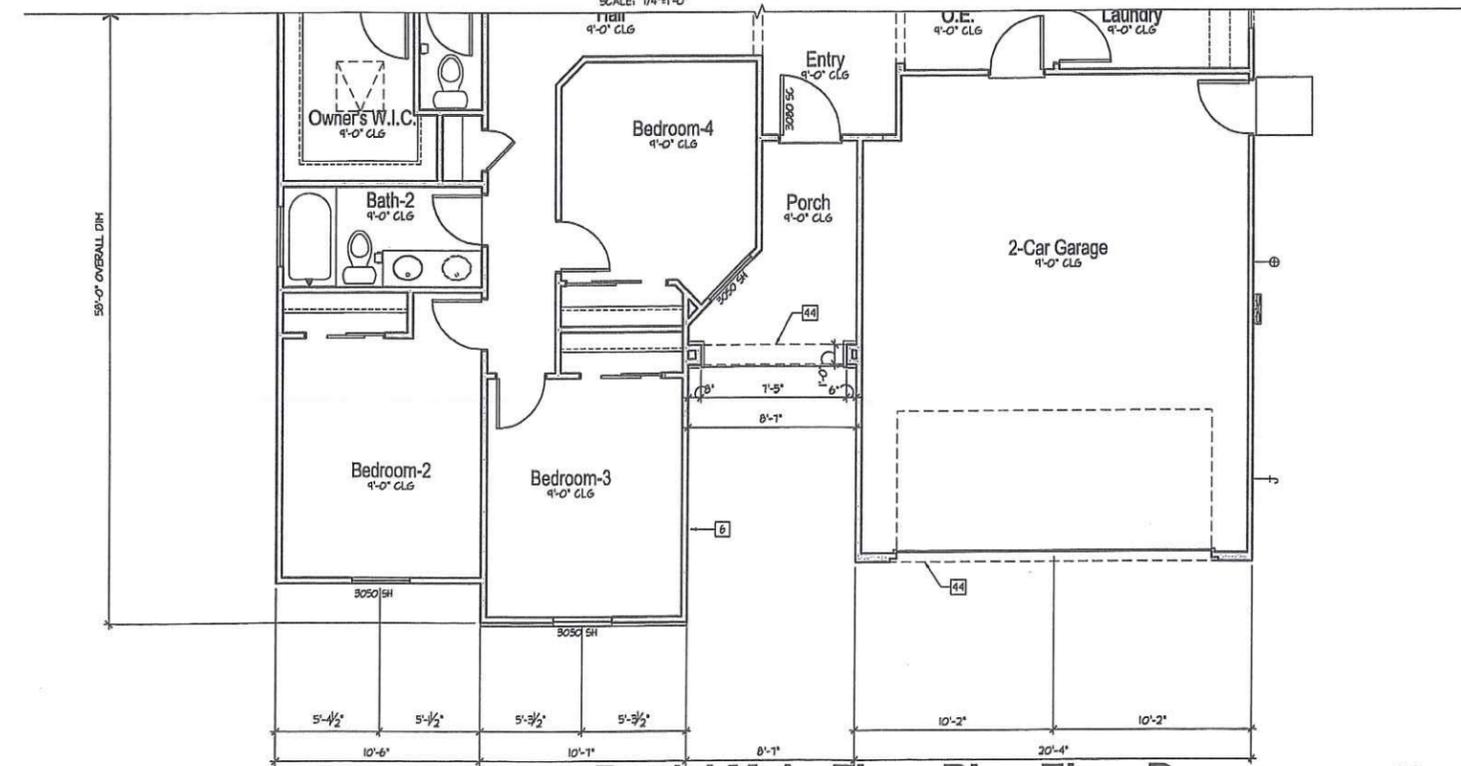
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DRAWN: FC CHECKED: BB

MAIN FLOOR PLAN

Plan 1978  
**A1.1A**



**Partial Main Floor Plan Elev.-C**



**Partial Main Floor Plan Elev.-B**

**FLOOR PLAN KEYNOTES:**

- THE FOLLOWING KEYNOTES REFER TO THE SYMBOLS AS SHOWN ON PLANS:
- LINE OF FRAMING ABOVE
  - LINE OF FRAMING BELOW
  - LINE OF SOFFIT/ARCH ABOVE-HEIGHT AS NOTED ON INTERIOR/EXTERIOR ELEVATIONS
  - 30"x30" ATTIC ACCESS - PROVIDE 30" HEADROOM AT ALL ACCESS LOCATIONS. JAIL LOCATED IN ATTIC SPACE VERIFY LOCATION. THE PASSAGE WAY FROM ACCESS OPENING TO THE UNIT SHALL NOT EXCEED 20 FEET AS MEASURED ALONG THE CENTER LINE OF PASSAGEWAY. THE PASSAGEWAY SHALL BE UNOBSTRUCTED AND SHALL HAVE CONTINUOUS SOLID FLOORING NOT LESS THAN 2" IN WIDTH FROM THE ACCESS OPENING TO THE UNIT. REQUIRED DRYER VENT DUCT SHALL EXHAUST TO EXTERIOR WITH A MINIMUM OPENING OF 100 SQ. IN. MAKE-UP AIR OF 100 SQ. IN IS REQUIRED FOR ROOMS CONTAINING A DRYER AND MAY COME FROM OPENING ABOVE DOOR INTO THE HALLWAY. MAKE-UP AIR MAY NOT COME FROM OR EXHAUST TO THE OUTSIDE.
  - OPTIONAL MASONRY VENEER-SEE GENERAL NOTES.
  - WIRE SHELVES.
  - 1-3/8" THICK S.G. DOOR CLOSURE, TIGHT FITTING GASKETS & SNEEP.
  - LINE OF OVERHEAD GARAGE DOOR IN OPEN POSITION.
  - 1" & 1/2" RELIEF LINE TO BE FULL SIZE STEEL PIPE OR HARD DRAWN COPPER TUBING EXTENDING TO THE EXTERIOR OF THE BUILDING AND TERMINATING IN A DOWNWARD POSITION NOT MORE THAN TWO FEET NOR LESS THAN 6" ABOVE GRADE.
  - APPROV'D AIR-GAP FITTING AT DISHWASHER.
  - PROVIDE A MIN. CONCRETE LANDING AREA. EXT. DOOR PER CODE- SEE PLAN FOR SIZE.
  - OPT. BASE CABINETS.
  - OPT. UPPER CABINETS.
  - STD. BASE CABINETS.
  - STD. UPPER CABINETS.
  - TEMPERED GLASS ENCLOSURE.
  - GUARDWALL AT 42" AFF.
  - STD. DECK, OPT. BASE CABINETS.
  - STAIR LON WALL 42" ABOVE TOE TREAD.
  - 2X FRAMED WALL & STORAGE UNDER STAIRS. WALL TO BE CONSTRUCTED TO INTERSECT STAIRWAY STRINGER AT 3" TALL.
  - PROFLO TUB PER BUILDER SPEC.
  - LASCO HOLED FIBERGLASS SHOWER RECEPTOR WITH EDGE, SIZE AS NOTED.
  - OPTIONAL GAS STUB.
  - 2x6 LON WALL AT +42" AFF W/ MID CAP.
  - MINIMUM 14" L x 60" W x 40" T MECHANICAL PLATFORM CENTERED UNDER RIDGE (NO CAN LIGHTS TO BE PLACED IN THIS AREA).
  - 24" UPPER CABINETS.
  - PROVIDE 1/2" TYPE "X" GYPSUM BOARD CONTINUOUS ON GARAGE FACE OF HOUSE/ GARAGE COMMON HALLS. PROVIDE 1/2" TYPE "X" GYPSUM BOARD OVER RESILIENT CHANNELS @ 16" O.C. ON GARAGE CEILING AT HOUSE/GARAGE OVERLAP AS REQUIRED BY GOVERNING CODES. PROVIDE 1/2" TYPE "X" GYPSUM BOARD CONTINUOUS ON WALLS AT USABLE SPACE UNDER STAIRWAYS PROVIDE (2) LAYERS 1/2" TYPE "X" GYPSUM BOARD AT CEILING OF USABLE SPACE UNDER STAIRS.
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  - ALL KNEE WALLS (WALLS THAT SEPARATE CONDITIONED SPACE FROM AN UNCONDITIONED SPACE ATTIC AREA) SHALL BE INSULATED TO A MIN. OF R-14 OR HIGHER.
  - NOSE BIB
  - TANKLESS WATER HEATER, RINNAI MODEL# R-TSE
  - AHERSINK KITCHEN SINK PER BUILDER SPEC.
  - BANDER GARBAGE DISPOSAL 1/3 HP, PER BUILDER SPEC.
  - DISHWASHER GE MODEL # G6LD4500N0H
  - WATER CLOSET PROFLO # PF4400NH ROUND TANK & FFR41212N0H.
  - PROFLO SINK # PF20174
  - LASCO TUB SHOWER (SIZE PER PLAN)
  - WASHER
  - DRYER
  - WIRE SHELVES PER BUILDER.
  - SLOPE GARAGE FLOOR 1/8" PER FOOT TOWARD GARAGE DOOR OPENING.
  - LINE OF SOFFIT ABOVE (REFER TO EXT. ELEVATIONS FOR HEIGHTS AND DETAILS. HALF WALL @ 54 1/2" AFF. W/ COUNTERTOP PER PLAN.
  - MICROWOOD GE MODEL # JWH1300H0H
  - RANGE GE MODEL # JTP300H0H
  - PLAT STD WALL CONST. @ REF.



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**THE GREENS**  
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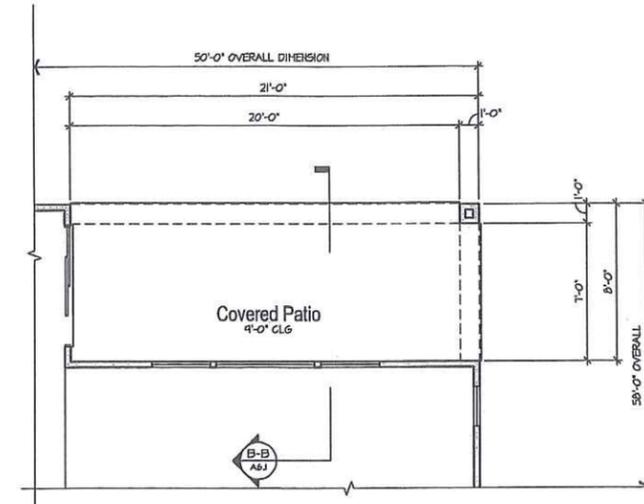


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300 University Ave, Suite 220  
Sacramento, California 95825  
916 941 0990

JOB NO: 6551010 PROJ MGR: BB  
DRAWN: FC CHECKED: BB  
PARTIAL FLOOR PLANS

Plan 1978  
**A1.2**

**Partial Floor Plans**



**Optional Covered Patio  
Partial Floor Plan**

SCALE: 1/4"=1'-0" (22x34) 1/8"=1'-0" (11x17)

**FLOOR PLAN NOTES:**

• SEE FLOOR PLAN SHEETS FOR ADDITIONAL INFORMATION

**ELECTRICAL NOTES:**

• SEE ELECTRICAL PLAN SHEETS FOR ADDITIONAL INFORMATION

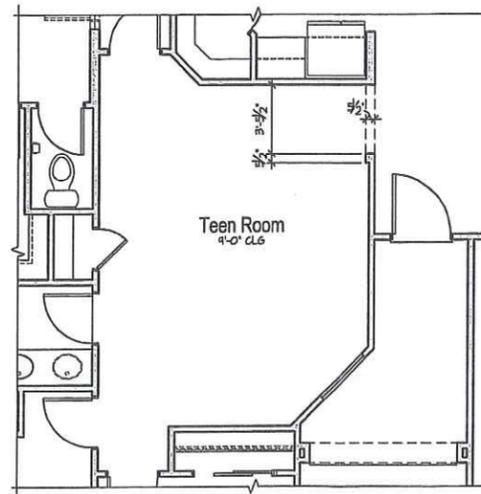
**ELEVATION NOTES:**

• SEE ELEVATION SHEETS FOR ADDITIONAL INFORMATION



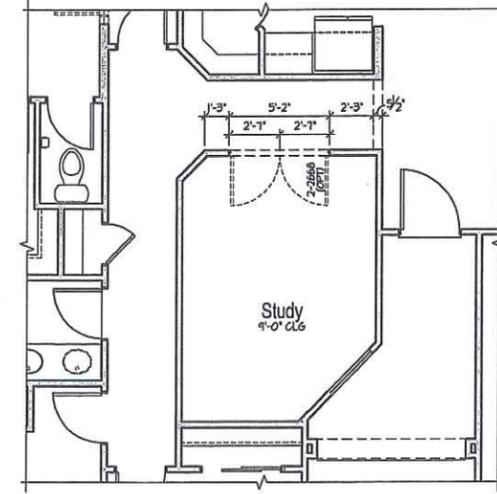
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Fresno, CA 93711



**Optional Teen ILO Bedroom 4  
Partial Floor Plan**

SCALE: 1/4"=1'-0" (22x34) 1/8"=1'-0" (11x17)



**Optional Study ILO Bedroom 4  
Partial Floor Plan**

SCALE: 1/4"=1'-0" (22x34) 1/8"=1'-0" (11x17)

**THE GREENS**  
Lemoore Ca.



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Sacramento, California 95825  
916 941 0000

JOB NO: 5514910 PROJ MOR: BB  
DRAWN: FC CHECKED: BB  
OPTIONAL FLOOR PLANS

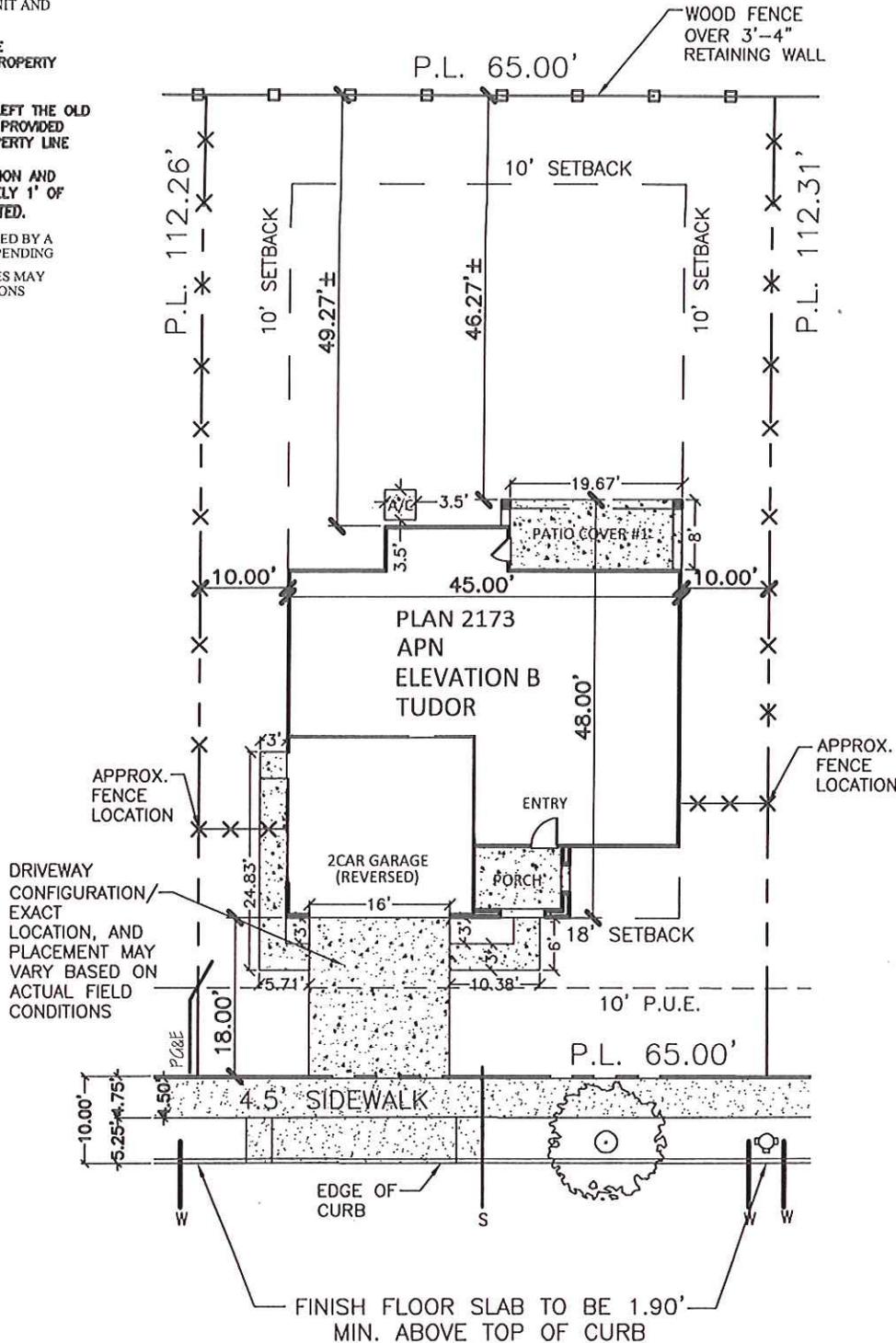
Plan 1978  
**A4.1**

\* MINIMUM SETBACK BETWEEN AC UNIT AND FENCE MUST BE 3'

REAR AND SIDE YARD FENCES, IN SOME INSTANCES, WERE INSTALLED ON THE PROPERTY LINES BY OTHERS, FOR THE ADJACENT SUBDIVISIONS. WHERE THIS CONDITION OCCURRED, WCH LEMOORE GOLF, LLC LEFT THE OLD FENCING ON THE PROPERTY LINE, AND PROVIDED A PARALLEL NEW FENCE OFF THE PROPERTY LINE FOR THE BUYERS. NOTE THAT THIS CREATED A DOUBLED UP FENCE CONDITION AND AN ENCROACHMENT UP TO APPROXIMATELY 1' OF FENCE LINE ON THE PROPERTIES AFFECTED.

NOTE: MAILBOX FOR THIS LOT IS PROVIDED BY A COMMUNITY MAILBOX UNIT LOCATION PENDING

NOTE: EXACT LOCATION OF STREET TREES MAY VARY BASED ON ACTUAL FIELD CONDITIONS



**SYMBOL KEY**

- STREET LIGHT
- FIRE HYDRANT
- CABLE TV SPLICE BOX
- TELEPHONE SPLICE BOX
- POLE SPLICE BOX
- POLE 2'x5' SECONDARY BOX
- POLE 5'x5' PRIMARY BOX
- TRANSFORMER
- MAILBOX

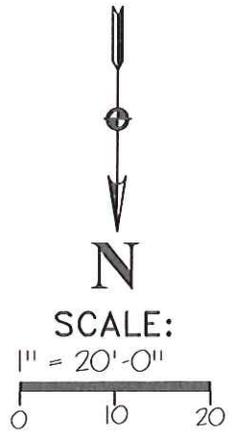
NOTE: FLAT WORK SCORE LINES WILL VARY DEPENDING ON ACTUAL FIELD CONDITIONS

**SITE PLAN**

PLACEMENT OF HOUSE, STREETLIGHTS, FIRE HYDRANTS, SIDEWALK, TRANSFORMERS, ETC., ARE SUBJECT TO CHANGE DUE TO SITE CONDITIONS. FINAL INFORMATION FOR CABLE, TELEPHONE, AND ELECTRIC UTILITIES, IS UNAVAILABLE AT THIS TIME. STREETLIGHTS MAY BE RELOCATED BASED ON FINAL DRAWINGS.

**CADDIE LOOP**

FAR LOT COVERAGE= 26%



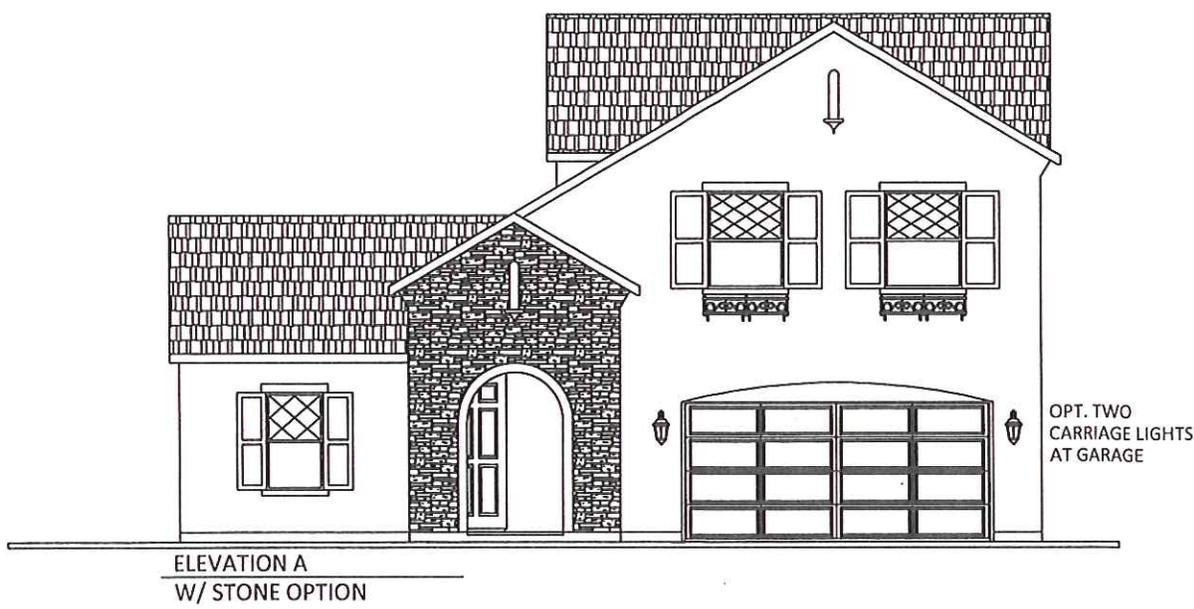
LOT #	PLAN NO.	ELEVATION	PERMIT DESCRIPTION	1st FLOOR LIVING AREA (SF)	GARAGE AREA (SF)	COVERED PORCH/PATIO/ GARAGE SOFFIT AREA (SF)	A+B+C FOOTPRINT AREA (SF)	2nd FLOOR LIVING AREA (SF)	A+E TOTAL LIVING AREA (SF)	D+E TOTAL Bldg. Dept. VALUATION (SF)
67	2173-2	B	PATIO COVER #1	1,246	439	248	1,933	938	2,184	2,871

**WCH LEMOORE GOLF, LLC**  
 WATHEN CASTANOS HYBRID HOMES, INC.  
 802 W. PINEDALE AVENUE, SUITE 104  
 FRESNO CA, 93711  
 (559) 432-8181

APPROVED BY: \_\_\_\_\_

**TRACT 752**  
 1277 CADDIE LOOP  
**LOT 67**  
 PLAN NUMBER 2173 ELEVATION B DATE 12/16/2014  
 BUYER'S SIGNATURE \_\_\_\_\_

**EXTERIOR  
ELEVATION DIAGRAM  
PLAN 2173 A**



# EXTERIOR ELEVATION DIAGRAM PLAN 2173 B



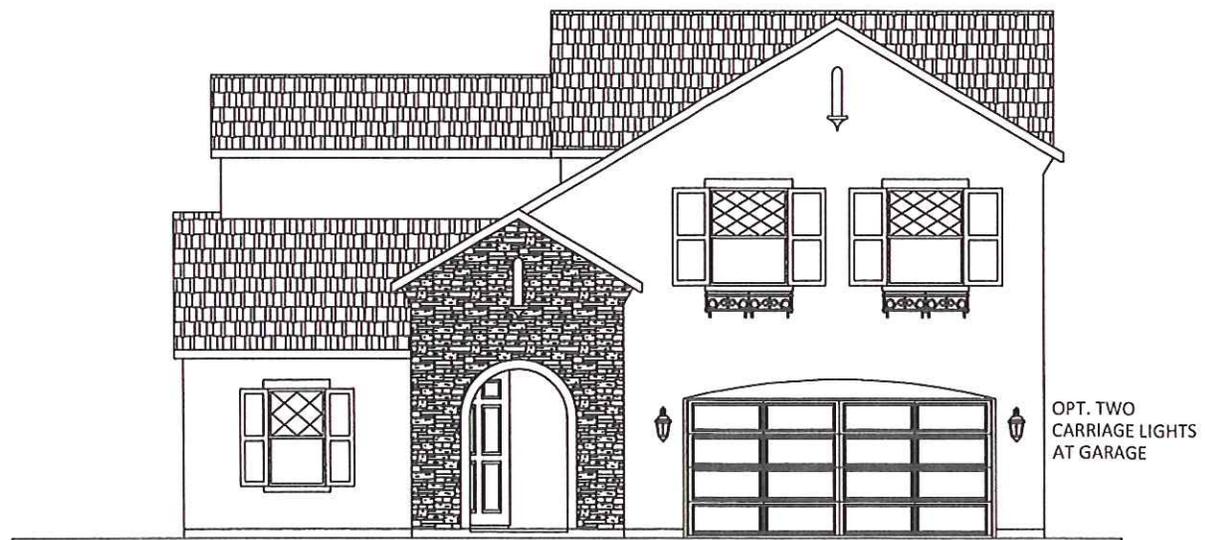
# EXTERIOR ELEVATION DIAGRAM PLAN 2173 C



# EXTERIOR ELEVATION DIAGRAM PLAN 2173 A

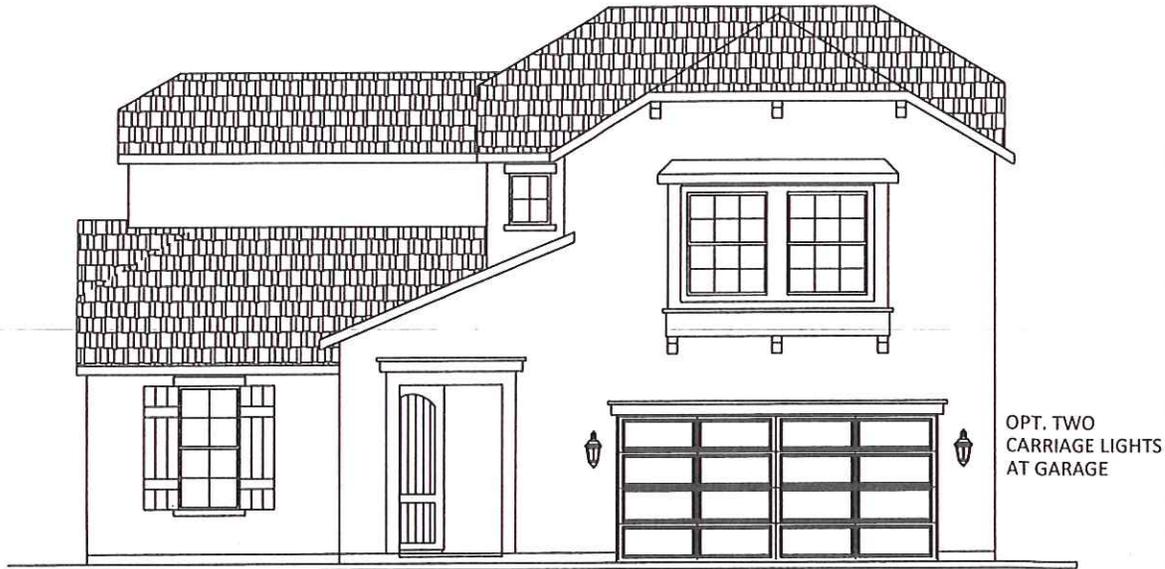


ELEVATION A  
W/ OPT. BONUS ROOM OR BEDROOM 6

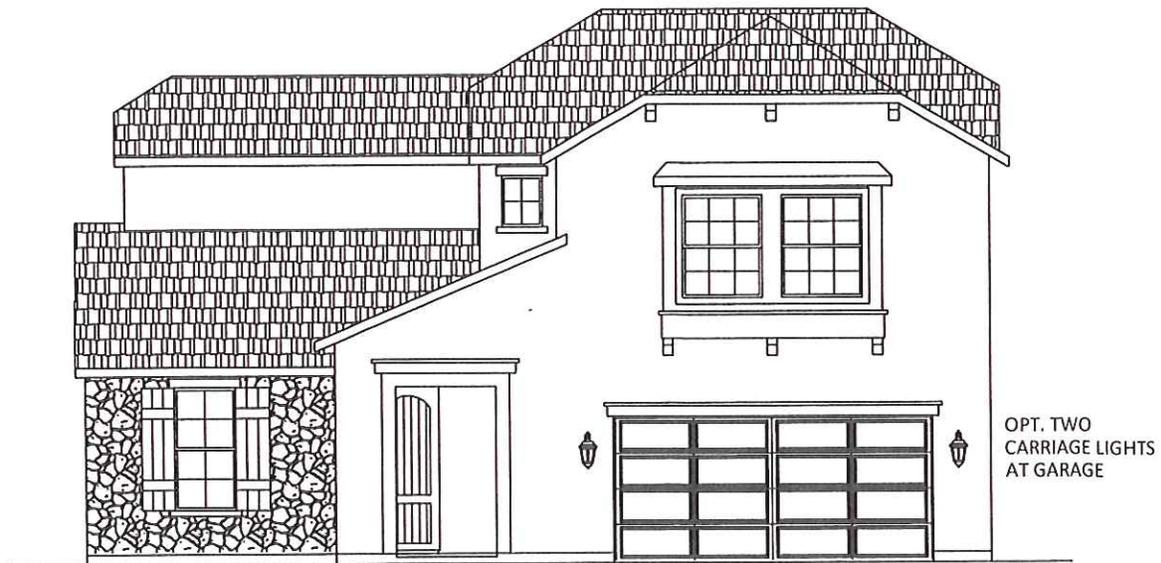


ELEVATION A  
W/ STONE OPT, BONUS RM OR BEDROOM 6

# EXTERIOR ELEVATION DIAGRAM PLAN 2173 B



ELEVATION B  
W/ OPT. BONUS ROOM OR BEDROOM 6



ELEVATION B  
W/ STONE OPT, BONUS RM OR BEDROOM 6

# EXTERIOR ELEVATION DIAGRAM PLAN 2173 C



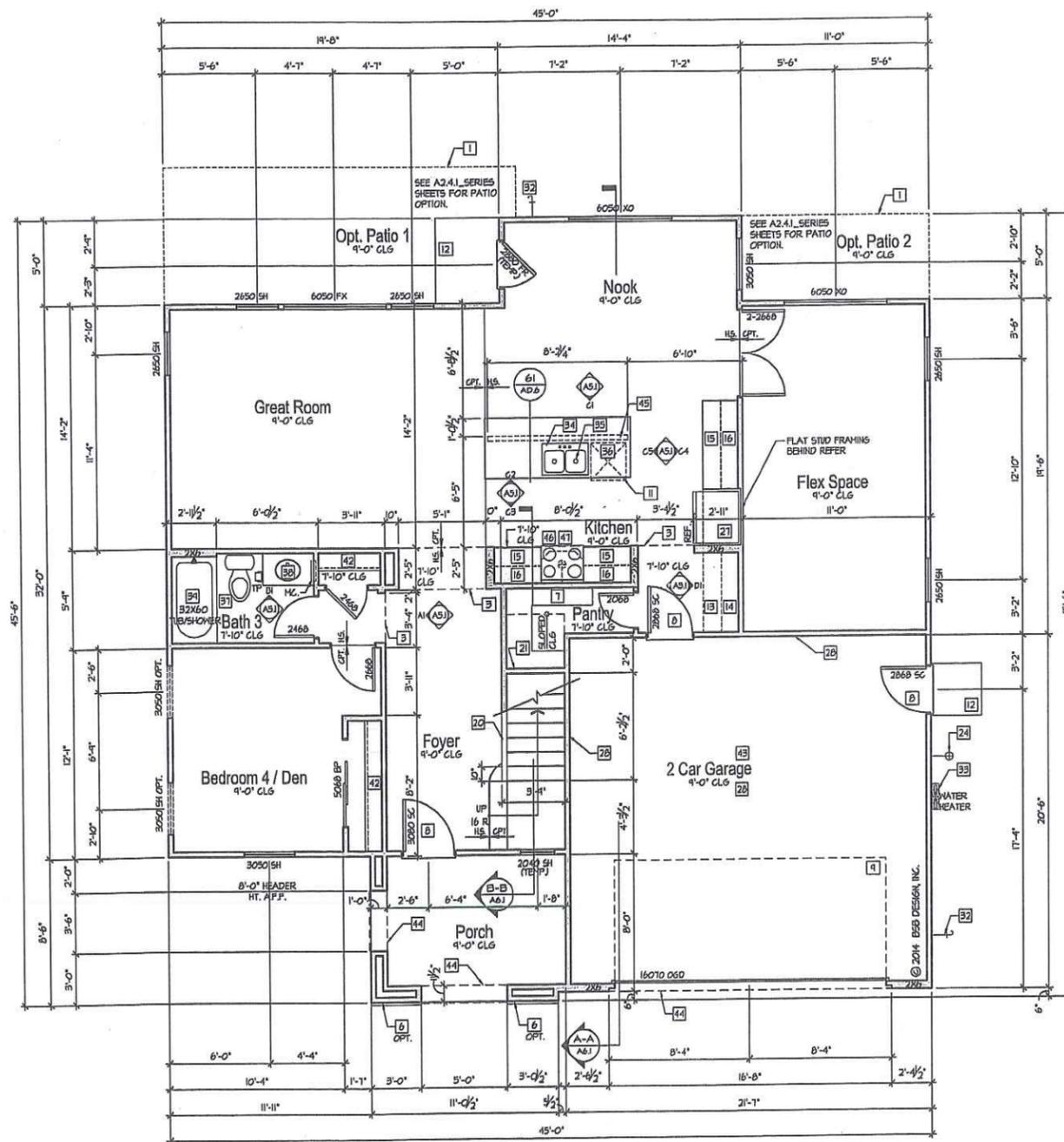
OPT. TWO  
CARRIAGE LIGHTS  
AT GARAGE

ELEVATION C  
W/OPT. BONUS RM OR BEDROOM 6



OPT. TWO  
CARRIAGE LIGHTS  
AT GARAGE

ELEVATION C  
W/ STONE OPT, BONUS RM OR BEDROOM 6



**Main Floor Plan**

SCALE: 1/4"=1'-0"

**Elevation - A**

**FLOOR PLAN KEYNOTES:**

- THE FOLLOWING KEYNOTES REFER TO THE SYMBOLS AS SHOWN ON CLAS.
- LINE OF FRAMING ABOVE
  - LINE OF FRAMING BELOW
  - LINE OF SOFFIT/ARCH ABOVE-HEIGHT AS NOTED ON INTERIOR/EXTERIOR ELEVATIONS
  - 30"x30" ATTIC ACCESS - PROVIDE 30" HEADROOM AT ALL ACCESS LOCATIONS. A.H.U. LOCATED IN ATTIC SPACE (VERIFY LOCATION). THE PASSAGE WAY FROM ACCESS OPENING TO THE UNIT SHALL NOT EXCEED 20 FEET AS MEASURED ALONG THE CENTER LINE OF PASSAGEWAY. THE PASSAGEWAY SHALL BE UNOBSTRUCTED AND SHALL HAVE CONTINUOUS SOLID FLOORING NOT LESS THAN 2" IN WIDTH FROM THE ACCESS OPENING TO THE UNIT.
  - REQUIRED DRYER VENT DUCT SHALL EXHAUST TO EXTERIOR WITH A MINIMUM OPENING OF 100 SQ. IN. MAKE-UP AIR OF 100 SQ. IN IS REQUIRED FOR ROOMS CONTAINING A DRYER AND MAY COME FROM OPENING ABOVE DOOR INTO THE HALLWAY. MAKE-UP AIR MAY NOT COME FROM OR EXHAUST TO THE OUTSIDE.
  - OPTIONAL MASONRY VENEER-SEE GENERAL NOTES.
  - WIRE SHELVES
  - 1-3/4" TRICK S.G. DOOR CLOSURE, TIGHT FITTING GASKETS & SWEEP.
  - LINE OF OVERHEAD GARAGE DOOR IN OPEN POSITION.
  - 4" F RELIEF LINE TO BE FULL SIZE STEEL PIPE OR HARD DRAWN COPPER TUBING EXTENDING TO THE EXTERIOR OF THE BUILDING AND TERMINATING IN A DOWNWARD POSITION NOT MORE THAN TWO FEET BELOW GRADE.
  - APPROV AIR-GAP FITTING AT DISHWASHER.
  - PROVIDE A MIN. CONCRETE LANDING DEA. EXT. DOOR PER CODE- SEE PLAN FOR SIZE.
  - OPT. BASE CABINETS
  - OPT. UPPER CABINETS
  - STD. BASE CABINETS
  - STD. UPPER CABINETS
  - TEMPERED GLASS ENCLOSURE
  - GUARDHALL AT 4" AFF.
  - STD. DESK, OPT. BASE CABINETS
  - STAIR LON WALL, 42" ABOVE TIE TREAD.
  - 2X FRAMED WALL @ STORAGE UNDER STAIRS. WALL TO BE CONSTRUCTED TO INTERSECT STAIRWAY STRINGER AT 3" TALL.
  - PROFLO TUB. PER BUILDER SPEC.
  - LASCO MOLDED FIBERGLASS SHOWER RECEPTOR WITH EDGE, SIZE AS NOTED.
  - OPTIONAL GAS STOVE
  - 2x6 LON WALL AT 42" AFF W/ MDF CAP.
  - MINIMUM 144" L x 60" W x 40" T MECHANICAL PLATFORM CENTERED UNDER RIDGE (NO CAN LIGHTS TO BE PLACED IN THIS AREA).
  - 24" UPPER CABINETS
  - PROVIDE 5/8" TYPE "X" GYPSUM BOARD CONTINUOUS ON GARAGE FACE OF HOUSE/ GARAGE COMMON WALLS. PROVIDE 5/8" TYPE "X" GYPSUM BOARD OVER RESILIENT CHANNELS @ 16" O.C. ON GARAGE CEILING AT HOUSE/GARAGE OVERLAP AS REQUIRED BY GOVERNING CODES.
  - PROVIDE 5/8" TYPE "X" GYPSUM BOARD CONTINUOUS ON WALLS AT USABLE SPACE UNDER STAIRWAYS. PROVIDE (2) LAYERS 5/8" TYPE "X" GYPSUM BOARD AT CEILING OF USABLE SPACE UNDER STAIRS.
  - PROVIDE A MINIMUM 30"x30" WORKING PLATFORM IN FRONT OF THE FIREBOX SIDE OF THE UNIT AND IF THE FIREBOX CONTROLS ARE NOT ACCESSIBLE FROM THIS SIDE OF THE UNIT A MINIMUM 24" WIDE PLATFORM SHALL BE PROVIDED FROM THE FIREBOX PLATFORM TO THE CONTROLS. A WORKING PLATFORM NEED NOT BE REQUIRED WHEN THE FIREBOX AND CONTROLS CAN BE ACCESSED DIRECTLY FROM THE ACCESS OPENING.
  - EMERGENCY EGRESS. ONE SASH IN EACH SLEEPING AREA SHALL COMPLY WITH GOVERNING FIRE AND BUILDING CODES. EGRESS WINDOW SHALL HAVE A NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES AND THE MINIMUM NET OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. EGRESS WINDOWS SHALL HAVE A FINISHED SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
  - ALL KNEE WALLS (WALLS THAT SEPARATE CONDITIONED SPACE FROM AN UNCONDITIONED SPACE ATTIC AREA) SHALL BE INSULATED TO A MIN. OF R-15 OR HIGHER.
  - HOSE BIB
  - TANKLESS WATER HEATER, RINNAI MODEL # R-7SE
  - AMERISINK KITCHEN SINK PER BUILDER SPEC.
  - BADGER GARBAGE DISPOSAL, 1/3 HP. PER BUILDER SPEC.
  - DISHWASHER GE MODEL # G6LD4500INM
  - WATER CLOSET PROFLO # PF9400WH ROUND, TANK # PF9412WHC.
  - PROFLO SINK # PF20174
  - LASCO TUB SHOWER (SIZE PER PLAN)
  - WASHER
  - DRYER
  - WIRE SHELVES PER BUILDER.
  - SLOPE GARAGE FLOOR 1/8" PER FOOT TOWARD GARAGE DOOR OPENING.
  - LINE OF SOFFIT ABOVE (REFER TO EXT. ELEVATIONS FOR HEIGHTS AND DETAILS).
  - HALF WALL @ 34 1/2" AFF. W/ COUNTERTOP PER PLAN.
  - MICROWOOD GE MODEL # JWH1300WHM
  - RANGE GE MODEL # JTP30NWH
  - FLAT STUD WALL CONST. @ REF.



ISSUE DATE: MO-DA-YEAR

NO.	REVISIONS

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Suite 104  
Fresno, CA 93711



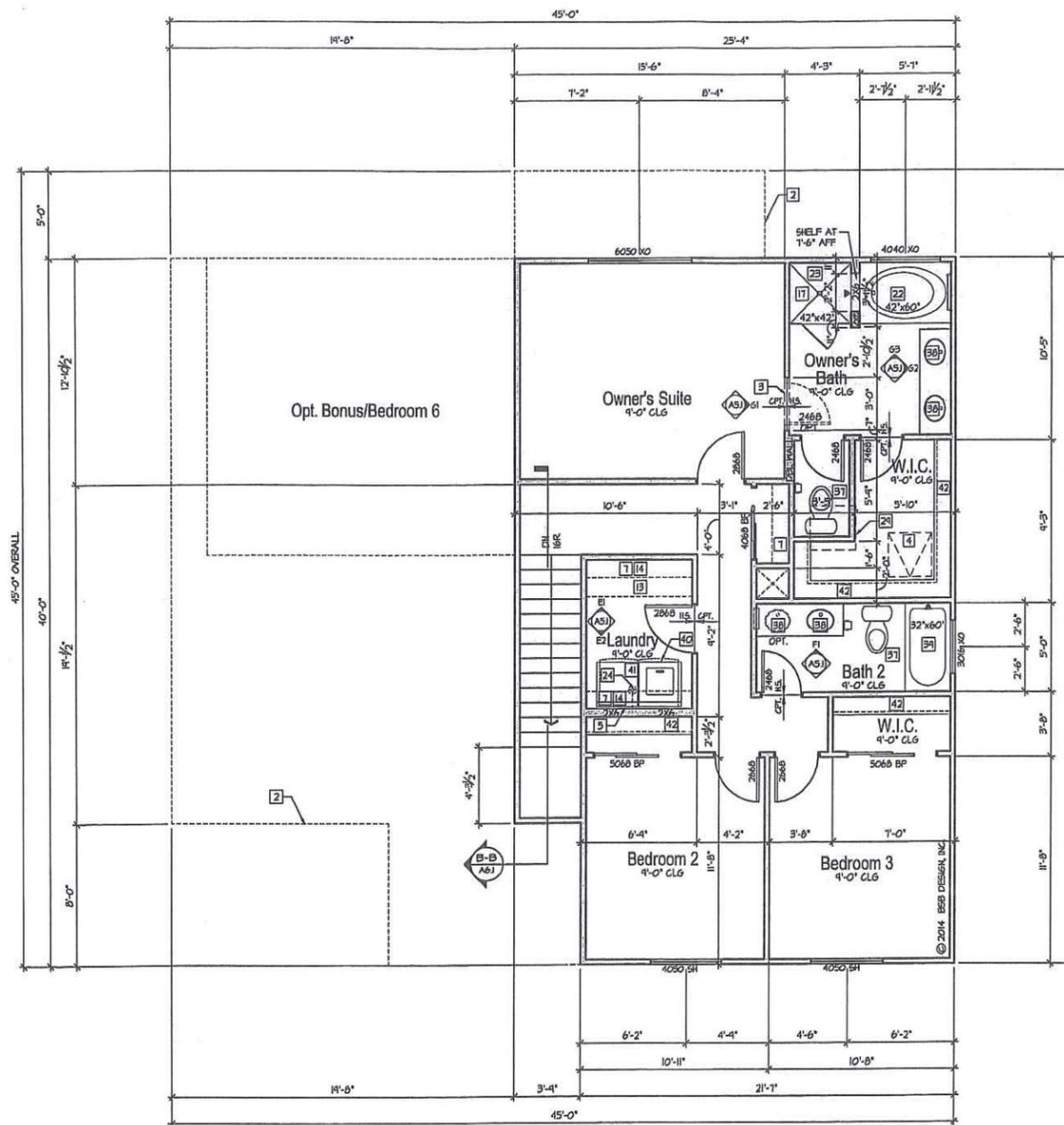
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Sacramento, California 95825  
916.441.0500

JOB NO: 05514018 PROJ NR: 00  
DRAWN: FC CHECKED: 00  
MAIN FLOOR PLAN  
ELEVATION A

PLAN 2173  
**A1.1A**



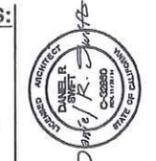
**Upper Floor Plan**

SCALE: 1/4"=1'-0"

**Elevation - A**

**FLOOR PLAN KEYNOTES:**

- THE FOLLOWING KEYNOTES REFER TO THE SYMBOLS AS SHOWN ON PLANS.
- LINE OF FRAMING ABOVE
  - LINE OF SOFFIT/ARCH ABOVE HEIGHT AS NOTED ON INTERIOR/EXTERIOR ELEVATIONS
  - 30"x30" ATTIC ACCESS - PROVIDE 30" HEADROOM AT ALL ACCESS LOCATIONS. AHU, LOCATED IN ATTIC SPACE VERIFY LOCATION. THE PASSAGE WAY FROM ACCESS OPENING TO THE UNIT SHALL NOT EXCEED 20 FEET AS MEASURED ALONG THE CENTER LINE OF PASSAGEWAY. THE PASSAGEWAY SHALL BE UNOBSTRUCTED AND SHALL HAVE CONTINUOUS SOLID FLOORING NOT LESS THAN 24" IN WIDTH FROM THE ACCESS OPENING TO THE UNIT.
  - REQUIRED DRYER VENT DUCT SHALL EXHAUST TO EXTERIOR WITH A MINIMUM OPENING OF 100 SQ. IN. MAKE-UP AIR OF 100 SQ. IN IS REQUIRED FOR ROOMS CONTAINING A DRYER AND MAY COME FROM OPENING ABOVE DOOR INTO THE HALLWAY. MAKE-UP AIR MAY NOT COME FROM OR EXHAUST TO THE OUTSIDE.
  - OPTIONAL MASONRY VENEER-SEE GENERAL NOTES.
  - WIRE SHELVES.
  - 1-3/8" THICK S.G. DOOR ENCLOSURE, TIGHT FITTING GASKETS & SWEEP.
  - LINE OF OVERHEAD GARAGE DOOR IN OPEN POSITION.
  - 4" P RELIEF LINE TO BE FULL SIZE STEEL PIPE OR HARD DRAWN COPPER TUBING EXTENDING TO THE EXTERIOR OF THE BUILDING AND TERMINATING IN A DOWNWARD POSITION NOT MORE THAN TWO FEET NOR LESS THAN 6" ABOVE GRADE.
  - APPROXD AIR-GAP FITTING AT DISHWASHER.
  - PROVIDE A MIN. CONCRETE LANDING WEA. EXT. DOOR PER CODE-SEE PLAN FOR SIZE.
  - OPT. BASE CABINETS.
  - OPT. UPPER CABINETS.
  - STD. BASE CABINETS.
  - STD. UPPER CABINETS.
  - TEMPERED GLASS ENCLOSURE.
  - GUARDWALL AT 42" AFF.
  - STD. DESK, OPT. BASE CABINETS.
  - STAIR LOW WALL, 42" ABOVE TIE TREAD.
  - 2X FRAMED WALL & STORAGE UNDER STAIRS. WALL TO BE CONSTRUCTED TO INTERSECT STAIRWAY STRINGER AT 3' TALL.
  - PROFLO TUB. PER BUILDER SPEC.
  - LASCO HOLLOW FIBERGLASS SHOWER RECEPTOR WITH EDGE. SIZE AS NOTED.
  - OPTIONAL GAS STOVE.
  - 2x6 LOW WALL AT 42" AFF. W/ MDF CAP.
  - MINIMUM 144" L x 60" W x 40" T MECHANICAL PLATFORM CENTERED UNDER RIDGE (NO CAN LIGHTS TO BE PLACED IN THIS AREA).
  - 24" UPPER CABINETS.
  - PROVIDE 5/8" TYPE "X" GYPSUM BOARD CONTINUOUS ON GARAGE FACE OF HOUSE/ GARAGE COMMON HALLS. PROVIDE 3/4" TYPE "X" GYPSUM BOARD OVER RESILIENT CHANNELS @ 16" O.C. ON GARAGE CEILING AT HOUSE/GARAGE OVERLAP AS REQUIRED BY GOVERNING CODES.
  - PROVIDE 5/8" TYPE "X" GYPSUM BOARD CONTINUOUS ON HALLS AT USABLE SPACE UNDER STAIRWAYS PROVIDE (2) LAYERS 5/8" TYPE "X" GYPSUM BOARD AT CEILING OF USABLE SPACE UNDER STAIRS.
  - PROVIDE A MINIMUM 30"x30" WORKING PLATFORM IN FRONT OF THE FIREBOX SIDE OF THE UNIT AND IF THE FIREBOX CONTROLS ARE NOT ACCESSIBLE FROM THIS SIDE OF THE UNIT A MINIMUM 24" WIDE PLATFORM SHALL BE PROVIDED FROM THE FIREBOX PLATFORM TO THE CONTROLS. A WORKING PLATFORM NEED NOT BE REQUIRED WHEN THE FIREBOX AND CONTROLS CAN BE ACCESSED DIRECTLY FROM THE ACCESS OPENING.
  - EMERGENCY EGRESS ONE EGRESS IN EACH SLEEPING AREA SHALL COMPLY WITH GOVERNING FIRE AND BUILDING CODES. EGRESS WINDOW SHALL HAVE A NET CLEAR OPENABLE AREA OF 57 SQUARE FEET. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES AND THE MINIMUM NET OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. EGRESS WINDOWS SHALL HAVE A FINISHED SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
  - ALL KNEE WALLS (WALLS THAT SEPARATE CONDITIONED SPACE FROM AN UNCONDITIONED SPACE ATTIC AREA) SHALL BE INSULATED TO A MIN. OF R-19 OR HIGHER.
  - HOSE BIB
  - TANKLESS WATER HEATER. RINNAI MODEL# R-TSE
  - AWERISINK KITCHEN SINK PER BUILDER SPEC.
  - DISPOSER GARBAGE DISPOSAL. 1/3 HP. PER BUILDER SPEC.
  - DISHWASHER GE MODEL # 66LD45001W
  - WATER CLOSET PROFLO # PF94001H ROUND. TANK # PF9421W.
  - PROFLO SINK # PF30174
  - LASCO TUB SHOWER (SIZE PER PLAN)
  - WASHER
  - DRYER
  - WIRE SHELVES PER BUILDER
  - SLOPE GARAGE FLOOR 1/8" PER FOOT TOWARD GARAGE DOOR OPENING.
  - LINE OF SOFFIT ABOVE (REFER TO EXT. ELEVATIONS FOR HEIGHTS AND DETAILS.
  - HALF WALL, 34 1/2" AFF. W/ COUNTERTOP PER PLAN.
  - MICROMOOD GE MODEL # JN1130D1111
  - RANGE GE MODEL # JTP301111
  - FLAT STD WALL CONST. @ REF.



REVISIONS	ISSUE DATE: MO-DA-YEAR

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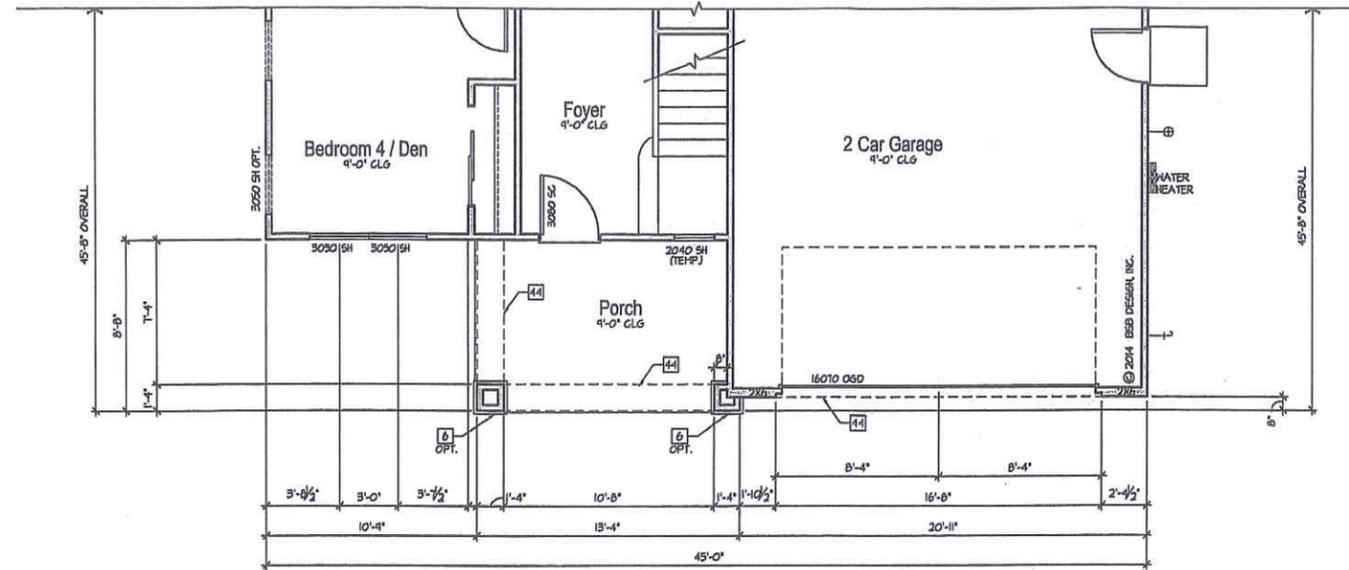
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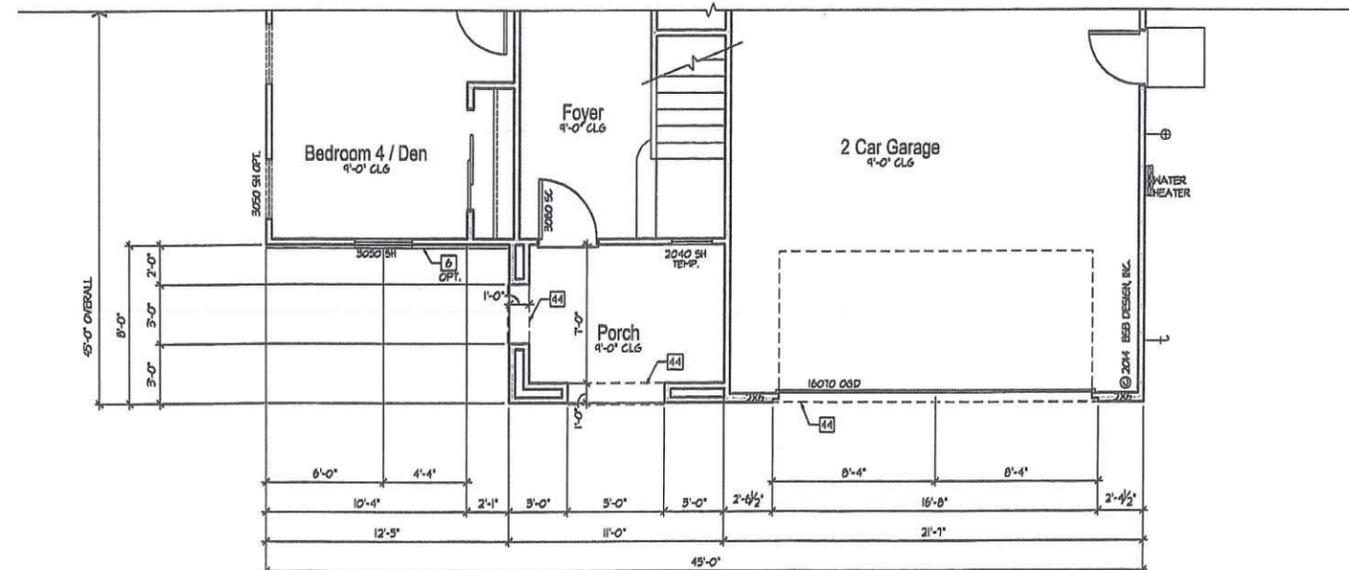
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DRAWN: FC CHECKED: 00  
UPPER FLOOR PLAN  
ELEVATION A

PLAN 2173  
**A2.1A**



**Partial Main Floor Plan Elev.-C**

SCALE: 1/4"=1'-0"



**Partial Main Floor Plan Elev.-B**

SCALE: 1/4"=1'-0"

**Partial Floor Plans**

**FLOOR PLAN KEYNOTES:**

- THE FOLLOWING KEYNOTES REFER TO THE SYMBOLS AS SHOWN ON PLANS:
- LINE OF FRAMING ABOVE
  - LINE OF FRAMING BELOW
  - LINE OF SOFFIT/ARCH ABOVE-HEIGHT AS NOTED OR INTERIOR/EXTERIOR ELEVATIONS
  - 30"x30" ATTIC ACCESS - PROVIDE 30" HEADROOM AT ALL ACCESS LOCATIONS. A.H.U. LOCATED IN ATTIC SPACE (VERIFY LOCATION). THE PASSAGE WAY FROM ACCESS OPENING TO THE UNIT SHALL NOT EXCEED 20 FEET AS MEASURED ALONG THE CENTER LINE OF PASSAGEWAY. THE PASSAGEWAY SHALL BE UNOBSTRUCTED AND SHALL HAVE CONTINUOUS SOLID FLOORING NOT LESS THAN 24" IN WIDTH FROM THE ACCESS OPENING TO THE UNIT.
  - REQUIRED DRYER VENT DUCT SHALL EXHAUST TO EXTERIOR WITH A MINIMUM OPENING OF 100 SQ. IN. MAKE-UP AIR OF 100 SQ. IN IS REQUIRED FOR ROOMS CONTAINING A DRYER AND MAY COME FROM OPENINGS ABOVE DOOR INTO THE HALLWAY. MAKE-UP AIR MAY NOT COME FROM OR EXHAUST TO THE OUTSIDE.
  - OPTIONAL MASONRY VENEER-SEE GENERAL NOTES.
  - WIRE SHELVES
  - 1-3/8" THICK S.C. DOOR CLOSURE, TIGHT FITTING GASKETS & SWEEP.
  - LINE OF OVERHEAD GARAGE DOOR IN OPEN POSITION.
  - 1" P RELIEF LINE TO BE FULL SIZE STEEL PIPE OR HARD DRAWN COPPER TUBING EXTENDING TO THE EXTERIOR OF THE BUILDING AND TERMINATING IN A DOWNWARD POSITION NOT MORE THAN TWO FEET NOR LESS THAN 6" ABOVE GRADE.
  - APPROV'D AIR-GAP FITTING AT DISHWASHER.
  - PROVIDE A MIN. CONCRETE LANDING @ EA. EXT. DOOR PER CODE- SEE PLAN FOR SIZE.
  - OPT. BASE CABINETS.
  - OPT. UPPER CABINETS.
  - STD. BASE CABINETS.
  - STD. UPPER CABINETS.
  - TEMPERED GLASS ENCLOSURE.
  - GUARDWALL AT 42" AFF.
  - STD. DESK, OPT. BASE CABINETS.
  - STAIR LON WALL, 42" ABOVE TOE TREAD.
  - 2x FRAMED HALL w/ STORAGE UNDER STAIRS. HALL TO BE CONSTRUCTED TO INTERSECT STAIRWAY STRINGER AT 3" TALL.
  - PROFLO TUB, PER BUILDER SPEC.
  - LASCO HOLLOW FIBERGLASS SHOWER RECEPTOR WITH EDGE SIZE AS NOTED.
  - OPTIONAL GAS STUB.
  - 2x6 LON WALL AT 142" AFF W/ MDF CAP.
  - MINIMUM 1/4" L x 60" H x 40" T MECHANICAL PLATFORM CENTERED UNDER RIDGE (NO CAN LIGHTS TO BE PLACED IN THIS AREA).
  - 24" UPPER CABINETS.
  - PROVIDE 5/8" TYPE "X" GYPSUM BOARD CONTINUOUS ON GARAGE FACE OF HOUSE/ GARAGE COMMON HALLS. PROVIDE 5/8" TYPE "X" GYPSUM BOARD OVER RESILIENT CHANNELS @ 16" O.C. ON GARAGE CEILING AT HOUSE/GARAGE OVERLAP AS REQUIRED BY GOVERNING CODES.
  - PROVIDE 5/8" TYPE "X" GYPSUM BOARD CONTINUOUS ON HALLS AT USABLE SPACE UNDER STAIRWAYS PROVIDE (2) LAYERS 5/8" TYPE "X" GYPSUM BOARD AT CEILING OF USABLE SPACE UNDER STAIRS.
  - PROVIDE A MINIMUM 30"x30" WORKING PLATFORM IN FRONT OF THE FIREBOX SIDE OF THE UNIT AND IF THE FURANCE CONTROLS ARE NOT ACCESSIBLE FROM THIS SIDE OF THE UNIT A MINIMUM 24" WIDE PLATFORM SHALL BE PROVIDED FROM THE FIREBOX PLATFORM TO THE CONTROLS. A WORKING PLATFORM NEED NOT BE REQUIRED WHEN THE FIREBOX AND CONTROLS CAN BE ACCESSED DIRECTLY FROM THE ACCESS OPENING.
  - EMERGENCY EGRESS ONE SASH IN EACH SLEEPING AREA SHALL COMPLY WITH GOVERNING FIRE AND BUILDING CODES. EGRESS WINDOW SHALL HAVE A NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES AND THE MINIMUM NET OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. EGRESS WINDOWS SHALL HAVE A FINISHED SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
  - ALL KNEE WALLS (WALLS THAT SEPARATE CONDITIONED SPACE FROM AN UNCONDITIONED SPACE ATTIC AREA) SHALL BE INSULATED TO A MIN. OF R-14 OR HIGHER.
  - HOSE BIB
  - TANKLESS WATER HEATER, RINNAI MODEL # R-15E
  - AHERISINK KITCHEN SINK PER BUILDER SPEC.
  - BOSCHER GARBAGE DISPOSAL, 1/3 HP, PER BUILDER SPEC.
  - DISHWASHER GE MODEL # 66LD45001M
  - WATER CLOSET PROFLO # PF94001H ROUND TANK # PF941218K.
  - PROFLO SINK # PF20114
  - LASCO TUB SHOWER ( SIZE PER PLAN)
  - HASHER
  - DRYER
  - WIRE SHELVES PER BUILDER.
  - SLOPE GARAGE FLOOR 1/8" PER FOOT TOWARD GARAGE DOOR OPENING.
  - LINE OF SOFFIT ABOVE (REFER TO EXT. ELEVATIONS FOR HEIGHTS AND DETAILS).
  - HALF WALL x 34 1/2" AFF. W/ COUNTERTOP PER PLAN.
  - MICROMOOD GE MODEL # JWH18001M
  - RANGE GE MODEL # JTP3011M
  - PLAT STUD WALL CONST. @ REF.

**THE GREENS**  
Lemoore Ca.

802 W. Pinedale Ave.  
Suite 104  
Fresno, CA 93711

ISSUE DATE: 10-04-2014

REVISIONS

DATE: 10/4/14

BY: [Signature]

PROJECT: [Signature]

SCALE: 1/4"=1'-0"

DATE: 10/4/14

BY: [Signature]

PROJECT: [Signature]

**MATHIEU CASANOVA**  
ARCHITECTURE

802 W. Pinedale Ave.  
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**BSB DESIGN**

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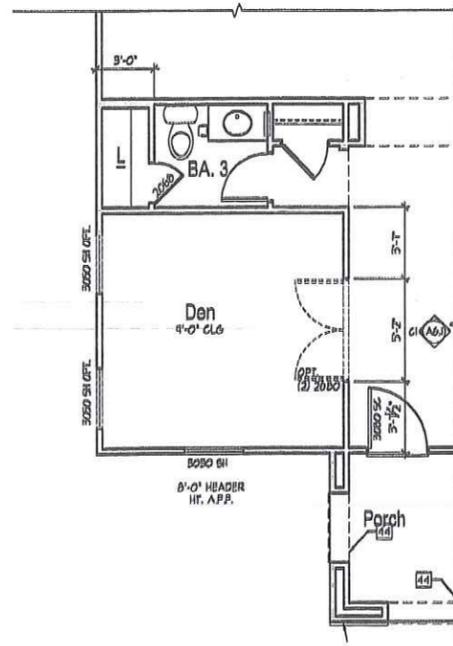
300 University Ave., Suite 220  
Sacramento, California 95825  
916 441 0500

JOB NO: 65514016    PROJECT: 00  
DRAWN: FC    CHECKED: 00

PARTIAL MAIN FLOOR PLAN  
ELEVATIONS BIG

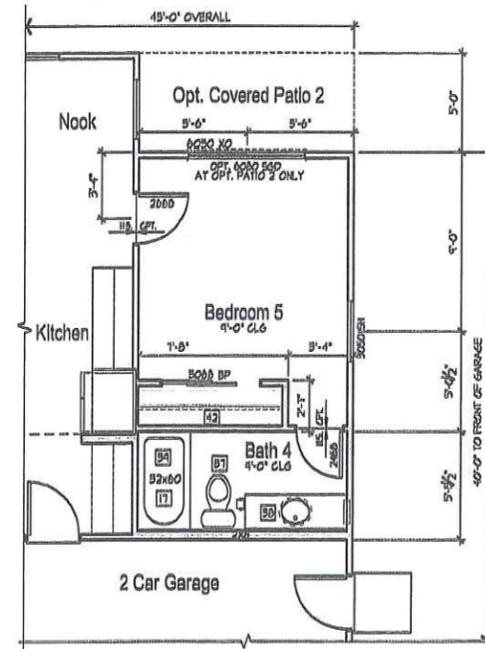
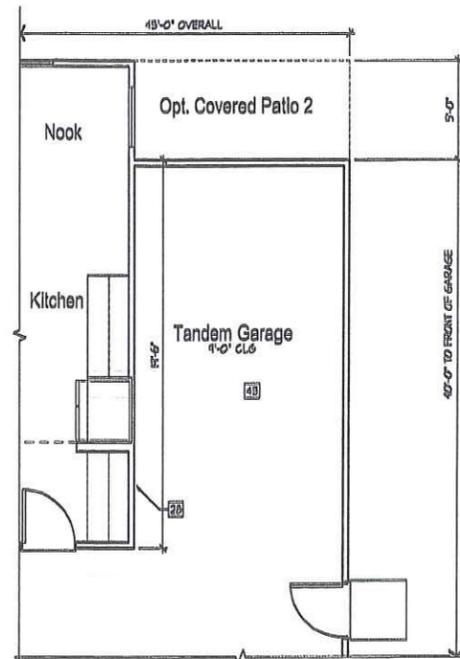
PLAN 2173  
**A1.2**





**Optional Den i.l.o. Bedroom 4**

SCALE: 1/4"=1'-0"



**Optional Bedroom 5  
i.l.o Flex Space**

SCALE: 1/4"=1'-0"

**Partial Main Floor Plan-Options**

**FLOOR PLAN NOTES:**

SEE FLOOR PLAN SHEETS FOR ADDITIONAL INFORMATION

**ELECTRICAL NOTES:**

SEE ELECTRICAL PLAN SHEETS FOR ADDITIONAL INFORMATION

**ELEVATION NOTES:**

SEE ELEVATION SHEETS FOR ADDITIONAL INFORMATION



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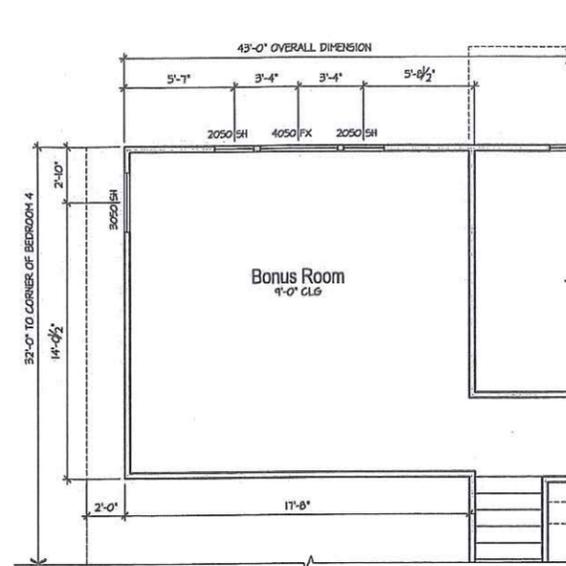
**BSB  
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916.941.6900

JOB NO: 20014610 PROJ/MGR: BS  
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PARTIAL MAIN FLOOR PLAN  
OPTIONS

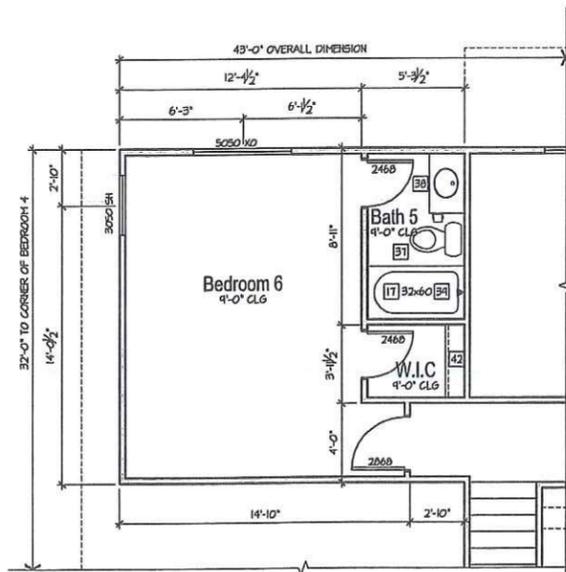
PLAN 2173

**A1.3**



**Optional Bonus Room**

SCALE: 1/4"=1'-0"



**Optional Bedroom 6**

SCALE: 1/4"=1'-0"

**Partial Upper Floor Plan-Options**

**FLOOR PLAN KEYNOTES:**

- THE FOLLOWING KEYNOTES REFER TO THE SYMBOLS AS SHOWN ON PLANS:
1. LINE OF FRAMING ABOVE
  2. LINE OF FRAMING BELOW
  3. LINE OF SOFFIT/FINISH ABOVE-HEIGHT AS NOTED ON INTERIOR/EXTERIOR ELEVATIONS
  4. 30"x30" ATTIC ACCESS - PROVIDE 30" HEADROOM AT ALL ACCESS LOCATIONS. ATTIC LOCATED IN ATTIC SPACE (VERIFY LOCATION). THE PASSAGE WAY FROM ACCESS OPENING TO THE UNIT SHALL NOT EXCEED 20 FEET AS MEASURED ALONG THE CENTER LINE OF PASSAGEWAY. THE PASSAGEWAY SHALL BE UNRESTRICTED AND SHALL HAVE CONTINUOUS SOLID FLOORING NOT LESS THAN 2 1/4" IN WIDTH FROM THE ACCESS OPENING TO THE UNIT.
  5. REQUIRED DRYER VENT DUCT SHALL EXHAUST TO EXTERIOR WITH A MINIMUM OPENING OF 100 SQ. IN. MAKE-UP AIR OF 100 SQ. IN IS REQUIRED FOR ROOMS CONTAINING A DRYER AND MAY COME FROM OPENING ABOVE DOOR INTO THE HALLWAY. MAKE-UP AIR MAY NOT COME FROM OR EXHAUST TO THE OUTSIDE.
  6. OPTIONAL MASONRY VENEER-SEE GENERAL NOTES.
  7. WIRE SHELVES.
  8. 1-3/8" THICK S.C. DOOR ENCLOSURE, TIGHT FITTING GASKETS & SWEEP.
  9. LINE OF OVERHEAD GARAGE DOOR IN OPEN POSITION.
  10. T & P RELIEF LINE TO BE FULL SIZE STEEL PIPE OR HARD DRAWN COPPER TUBING EXTENDING TO THE EXTERIOR OF THE BUILDING AND TERMINATING IN A DOWNWARD POSITION NOT MORE THAN TWO FEET NOR LESS THAN 6" ABOVE GRADE.
  11. APPROX AIR-GAP FITTING AT DISHWASHER.
  12. PROVIDE A MIN. CONCRETE LANDING AREA. EXT. DOOR PER CODE- SEE PLAN FOR SIZE.
  13. OPT. BASE CABINETS.
  14. OPT. UPPER CABINETS.
  15. STD. BASE CABINETS.
  16. STD. UPPER CABINETS.
  17. TEMPERED GLASS ENCLOSURE.
  18. GUARDHALL AT 42" AFF.
  19. STD. DESK, OPT. BASE CABINETS.
  20. STAIR LOH HALL, 42" ABOVE TOE TREAD.
  21. 2X FRAMED HALL @ STORAGE UNDER STAIRS. HALL TO BE CONSTRUCTED TO INTERSECT STAIRWAY STRINGER AT 3" TALL.
  22. PROFLO TUB, PER BUILDER SPEC.
  23. LASCO HOLED FIBERGLASS SHOWER RECEPTOR WITH EDGE, SIZE AS NOTED.
  24. OPTIONAL GAS STUB.
  25. 2x6 LOH HALL AT 142" AFF. W/ MDF CAP.
  26. MINIMUM 144" L x 60" H x 40" T MECHANICAL PLATFORM CENTERED UNDER RIDGE (NO CAN LIGHTS TO BE PLACED IN THIS AREA).
  27. 24" UPPER CABINETS.
  28. PROVIDE 3/4" TYPE "X" GYPSUM BOARD CONTINUOUS ON GARAGE FACE OF HOUSE/ GARAGE COMMON WALLS. PROVIDE 3/4" TYPE "X" GYPSUM BOARD OVER RESILIENT CHANNELS @ 16" O.C. ON GARAGE CEILING AT HOUSE/GARAGE OVERLAP AS REQUIRED BY GOVERNING CODES.
  29. PROVIDE 3/4" TYPE "X" GYPSUM BOARD CONTINUOUS ON WALLS AT USABLE SPACE UNDER STAIRWAYS PROVIDE (2) LAYERS 3/4" TYPE "X" GYPSUM BOARD AT CEILING OF USABLE SPACE UNDER STAIRS.
  30. PROVIDE A MINIMUM 20"x30" WORKING PLATFORM IN FRONT OF THE FIREBOX SIDE OF THE UNIT AND IF THE FURNACE CONTROLS ARE NOT ACCESSIBLE FROM THIS SIDE OF THE UNIT A MINIMUM 24" WIDE PLATFORM SHALL BE PROVIDED FROM THE FIREBOX PLATFORM TO THE CONTROLS. A WORKING PLATFORM NEED NOT BE REQUIRED WHEN THE FIREBOX AND CONTROLS CAN BE ACCESSED DIRECTLY FROM THE ACCESS OPENING.
  31. EMERGENCY EGRESS: ONE SASH IN EACH SLEEPING AREA SHALL COMPLY WITH GOVERNING FIRE AND BUILDING CODES. EGRESS WINDOW SHALL HAVE A NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES AND THE MINIMUM NET OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. EGRESS WINDOWS SHALL HAVE A FINISHED SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
  32. ALL KNEE WALLS SHALL SEPARATE CONDITIONED SPACE FROM AN UNCONDITIONED SPACE ATTIC AREA) SHALL BE INSULATED TO A MIN. OF R-19 OR HIGHER.
  33. HOSE BIB.
  34. TANKLESS WATER HEATER, RINNAI MODEL R-15E.
  35. AMERICAN KITCHEN SINK PER BUILDER SPEC.
  36. BADGER GARBAGE DISPOSAL, 1/3 HP, PER BUILDER SPEC.
  37. DISHWASHER GE MODEL # GGLD4500N-W.
  38. WATER CLOSET PROFLO # PF4400WH ROUND, TANK & PFR414WC.
  39. PROFLO SINK # PF201T4.
  40. LASCO TUB SHOWER (SIZE PER PLAN).
  41. WASHER.
  42. DRYER.
  43. WIRE SHELVES PER BUILDER.
  44. SLOPE GARAGE FLOOR 1/8" PER FOOT TOWARD GARAGE DOOR OPENING.
  45. LINE OF SOFFIT ABOVE (REFER TO EXT. ELEVATIONS FOR HEIGHTS AND DETAILS).
  46. HALF WALL @ 34 1/2" AFF. W/ COUNTERTOP PER PLAN.
  47. MICROHOOD GE MODEL # JMH130DH-W.
  48. RANGE GE MODEL # JTP30N-W.
  49. FLAT STD HALL CONST. @ REF.



ISSUE DATE:	NO. DATE	REVISIONS

802 W. Pinedale Ave,  
Suite 104  
Fresno, CA 98711



**THE GREENS**  
Lemoore Ca.

**BSB DESIGN**  
www.bsbdsgn.com  
300 University Ave, Suite 200  
Sacramento, California 95825  
916 941 9550

JOB NO: 65514010 PROJ HDR: DB  
DRAWN: FC CHECKED: DB  
PARTIAL UPPER FLOOR PLAN  
OPTIONS

PLAN 2173  
**A2.3**



the design and architecture of the building can be seen on pages A6.1, A6.2, and A6.4 of the site plan package.

## **USE**

The site is zoned DMX-3 (Downtown Mixed Use – Transitional.) This zone allows office uses. A conditional use permit is not required. The proposed project must be consistent with the standards found in Chapter 9-6 of the Zoning Ordinance. This chapter has been attached at the end of this staff report for reference.

## **ACCESS**

New driveways for vehicular access would be constructed on “C” Street and at the alley between “C” and “D” Streets. Existing drive approaches on “C” Street would be removed. The sidewalk on “C” Street would be rebuilt. There would be a 4-foot wide sidewalk from the street sidewalk to the public entrance along the west side of the building.

## **AREA, SETBACK, HEIGHT AND COVERAGE STANDARDS**

### *9-6-2: BASE DEVELOPMENT STANDARDS*

The project as proposed in the site plan meets all standards in Section 9-6-2, Table 9-6-2-A1, and Table 9-6-B1. These standards cover building setbacks and height. The maximum allowed height is 20 feet, although parapets are not counted in the height measurement. The proposed 21-foot high building with parapet is consistent with the standard.

## **DESIGN STANDARDS**

### *9-5B-2: NOISE, ODOR, VIBRATION, AND MAINTENANCE PERFORMANCE STANDARDS*

The project and all subsequent uses must meet the requirements found in Section 9-5B-2 of the Zoning Ordinance related to noise, odor, and vibration, and maintenance.

### *9-5B-3: PROPERTY AND UTILITY IMPROVEMENTS:*

Installation of curbs, gutters, and sidewalks shall be required. All on site utilities shall be installed underground.

### *9-5B-4: OUTDOOR LIGHTING:*

The project shall meet all the applicable requirements for outdoor lighting found in Section 9-5B-4 of the Zoning Ordinance.

### *9-5B-5: FENCES AND WALLS:*

The proposed 6-foot high wood fence along both side property lines meets the fence design standards and setbacks found in Table 9-5B-5-E1. The fence would not be closer to C Street than the front of the building.

### *9-5B-6: SCREENING:*

All exterior roof and ground mounted mechanical equipment, including, but not limited to, heating, air conditioning, refrigeration equipment, plumbing lines, duct work, and transformers, shall be screened from public view from abutting public streets. Screening of mechanical equipment shall be compatible with other on site development in terms of colors, materials, and/or architectural styles.

Refuse areas shall be screened from public view and adjoining public streets and rights of way and residential zoned areas. The location of the refuse container enclosures in the corner near the employee entrance to the building provides adequate screening from public view.

#### *9-5D1-2: LANDSCAPE STANDARDS*

Landscaping is required in all setback, buffer, and unused areas, as well as in parking areas. The site plan shows proposed landscaping in the front, side, and rear yard setback areas. The location of the landscaping meets the standard requirements. Other planting and irrigation standards in the Zoning Ordinance shall also be met.

### **PARKING**

#### *9-5E-3: GENERAL PARKING REGULATIONS:*

The site shall meet the general regulations for parking and parking lots in Section 9-5E-3 of the Zoning Ordinance.

#### *9-5E-4: REQUIRED OFF STREET PARKING*

A 3,706 sq.ft. building for office use requires 14 parking spaces (4 per 1,000 sq.ft.) There are 12 parking spaces shown on the site plan. The developer will pay downtown parking in lieu fees for the other two spaces.

#### *9-5E-5: DESIGN AND DEVELOPMENT STANDARDS FOR OFF STREET PARKING AREAS*

The parking areas as shown on the site plan meet the design and development standards (space size, aisle width, etc.) of Section 9-5E-5 of the Zoning Ordinance.

#### *9-5E-7: BICYCLE PARKING REQUIREMENTS:*

Section 9-5E-7 requires 2 bicycle parking spaces for this site (10% of the number of required parking spaces.) The proposed site plan meets this requirement.

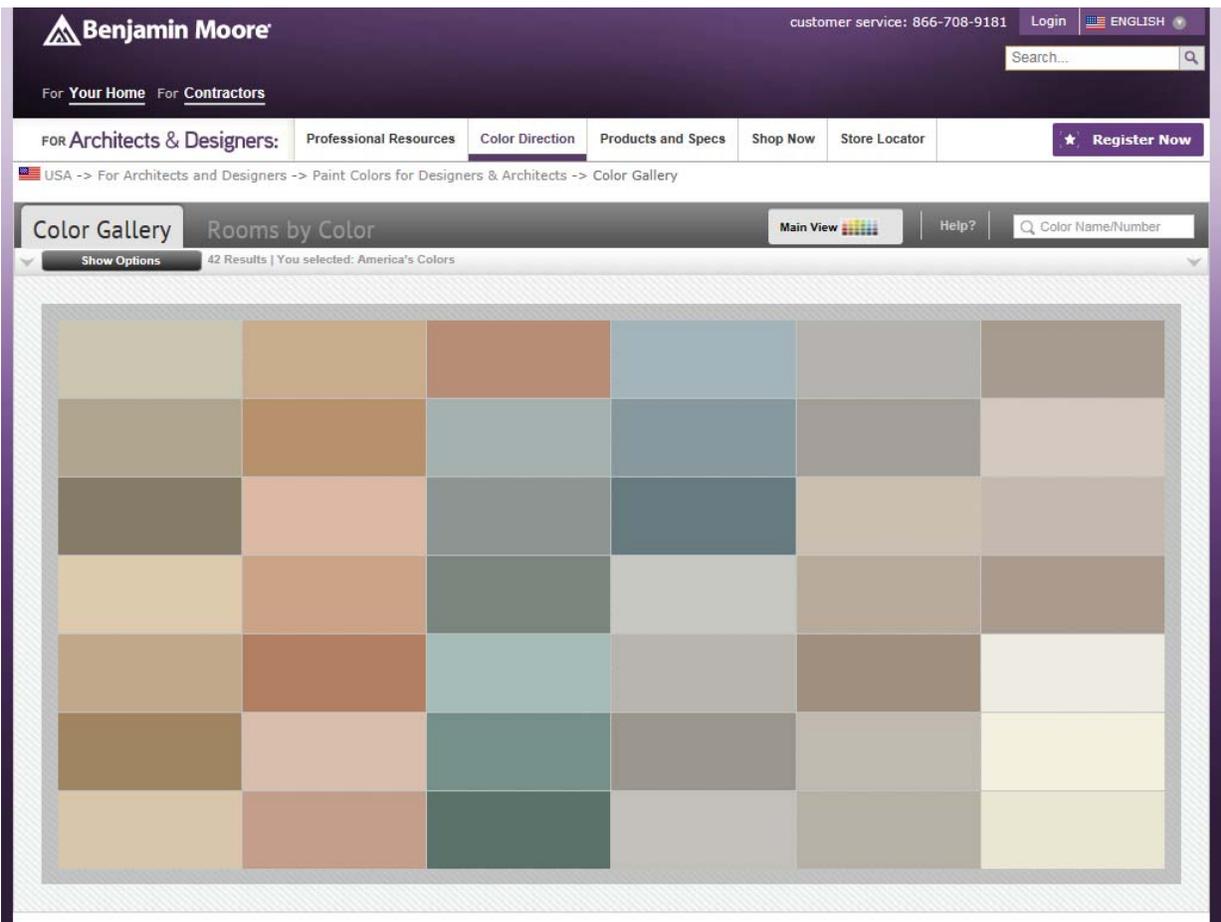
### **SIGNAGE**

All signage shall meet the requirements of Chapter 5F of the Zoning Ordinance. Signs require a building permit. The maximum area allowed for building signage is 2 square foot/1 linear foot on the primary frontage and 1.5 square feet/1 linear foot on secondary frontage; maximum 100 square feet per sign and 200 cumulative square feet. The signage shown in the elevation plans was not dimensioned, but it appears to meet this standard.

### **DOWNTOWN ARCHITECTURAL DESIGN STANDARDS**

The architectural detailing of the building is consistent with the design character of the DMX-3 district. The building includes most of the architectural concepts identified in Section 9-6-4A. It also includes materials from the list of encouraged materials and it does not include materials from the list of prohibited materials found in Section 9-6-4B.

An illustration of the Benjamin Moore America's Colors palette is shown below. The proposed building colors are consistent with this color palette.



Section 9-6-5 describes the allowed types of building frontages. Although, this new building is not an office conversion, it has a building form that is consistent with Historic Home/Office Conversion building frontage. It has a similar setback from the street, and landscaped front yard, and similar height and bulk to a medium to large residence. Being that the site is near the more intensive DMX-2 district, the project services as an architectural transition from downtown residential to downtown commercial architecture.

#### RECOMMENDATION

Staff recommends that the Planning Commission approve the Major Site Plan Review for the Dr. Riemer Dental Group medical office subject to the findings in the attached resolution and the requirements in this staff report.

#### ATTACHMENTS:

- Resolution No. 2015-02
- New Dental Office for Riemer Dental Group project submittal package – Site Plan, Elevation Plans, Floor Plans, etc.
- Chapter 9-6 of the Lemoore Zoning Ordinance

**RESOLUTION NO. 2015-02**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LEMOORE  
APPROVING MAJOR SITE PLAN REVIEW NO. 2015-02  
TO ALLOW MEDICAL OFFICE IN THE DMX-3 ZONE  
LOCATED ON THE NORTH SIDE OF "C" STREET BETWEEN FOX STREET AND HILL STREET**

At a Regular Meeting of the Planning Commission of the City of Lemoore duly called and held on March 9, 2015, at 7:00 p.m. on said day, it was moved by Commission Member \_\_\_\_\_, seconded by Commission Member \_\_\_\_\_ and carried that the following Resolution be adopted:

**WHEREAS**, Dr. Riemer Dental Group, represented by The Kohan Group (architect), has requested a major site plan review to allow a new medical office located on the north side of "C" Street between Fox Street and Hill Street (446 "C" Street) (APN 020-082-018); and

**WHEREAS**, the site is currently vacant; and

**WHEREAS**, the zoning on the parcel is DMX-3 (Downtown Mixed Use – Transitional); and

**WHEREAS**, the project is a ministerial project and is therefore exempt from CEQA requirements;  
and

**WHEREAS**, the Lemoore Planning Commission held a duly noticed public hearing at their March 9, 2015, meeting.

**NOW THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Lemoore hereby makes the following findings regarding the proposed conditional use permit:

1. The proposed project is consistent with the objectives of the general plan and complies with applicable zoning regulations, specific plan provisions, and improvement standards adopted by the city.
2. The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.
3. The architecture, character, and scale of the building and the site are compatible with the character of buildings on adjoining and nearby properties.
4. The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.

**BE IT FURTHER RESOLVED** that the Planning Commission of the City of Lemoore approves Major Site Plan Review No. 2015-02, subject to the following conditions:

1. The project shall be developed consistent with the proposed Site Plan, Landscape Master Plan, Elevations Plan, and Floor Plan, as modified in the Planning Commission staff report presented at the hearing of March 9, 2015. Any deviation from the approved plans shall require an amendment to the prior approvals or approval of a new permit as determined by the City.
2. An encroachment permit shall be obtained prior to commencement of work in a public right of way.
3. A separate sign application will be required to approve building signage on the site.
4. The developer shall comply with the San Joaquin Valley Air Pollution Control District (SJVAPCD) standards, and the City of Lemoore dust control requirements. The project will be required to meet the 9510 rule (indirect source review.)

Passed and adopted at a Regular Meeting of the Planning Commission of the City of Lemoore held on March 9, 2015, by the following votes:

**AYES:**  
**NOES:**  
**ABSTAINING:**  
**ABSENT:**

**APPROVED:**

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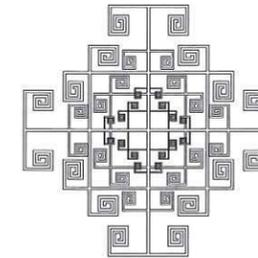
**Dr. Jeffery Garcia, Chairperson**

**ATTEST:**

---

**Kristie Baley, Commission Secretary**

# NEW DENTAL OFFICE FOR DR. RIEMER DENTAL GROUP



TheKohanGroup, Inc  
100 Bush St. Suite 1500  
San Francisco  
California, 94104  
www.kohaninc.com

## Kohan

## SUBMITTAL FOR THE PLANNING DEPT

DATE: FEBRUARY 20, 2015

446 C STREET  
LEMOORE, CA 93245

### DRAWING INDEX

COVER SHEET	
A0.3	EXISTING SITE PLAN
A0.4	NEW SITE PLAN
A0.4A	ACCESSIBLE PARKING DETAILS
A0.4B	ACCESSIBLE PARKING DETAILS
A0.5	LANDSCAPE SITE PLAN
A2.2	FLOOR PLAN
A6.1	NEW EXTERIOR ELEVATIONS
A6.2	NEW EXTERIOR ELEVATIONS
A6.3	MATERIAL SPECIFICATION
A6.4	PERSPECTIVES
SHEET 1 OF 1	TOPOGRAPHIC MAPPING KINGS COUNTY ASSESSOR'S MAP

### PROJECT INFORMATION

BUILDING ADDRESS:	446 C STREET LEMOORE, CA 93245
PARCEL NUMBER:	020-082-014/ 020-082-014
PROPOSED OCCUPANCY TYPE:	B/ SINGLE STORY
TENANT IMPROVEMENT AREA:	3706 SQFT.
CONSTRUCTION TYPE	V
ZONING:	DMX-3 DOWNTOWN MIXED USE
ACCESSIBLE PARKING	1 NEW ACCESSIBLE PARKING SPACES INCLUDED
LOT SIZE	13673 SQFT
NUMBER OF PARKING SPACES	12
PROPOSED FLOOR AREA	3706 SQFT.
PROPOSED FENCING WOOD	231 LINEAR FT 6'-0" HEIGHT
NUMBER OF STORIES AND HEIGHT OF BUILDING	ONE STORY, 21'-0" HEIGHT
SCOPE OF WORK:	CONSTRUCT NEW DENTAL OFFICE AT 446 C STREET LEMOORE, CA 93245. THIS WORK INCLUDES THE FOLLOWING: CREATING NEW BUILDING W/ STRUCTURAL AND NON STRUCTURAL WALLS FOR 9 OPERATORIES, RECEPTION AND OTHER SUPPORT AREAS. THE CIVIL, GEOTECH, STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING WORK INCLUDED IN THIS PROJECT. THERE IS NEW SITE PLAN WITH PARKING FOR STAFF AND PATIENT AND 1 H.C PARKING AS WELL AS LANDSCAPE PLAN INDICATING SOFT AND HARD SCRAPE. THE NEW ELEVATIONS ASSOCIATED WITH THIS PROJECT ARE INCLUDED.

### APPLICABLE CODES

- APPLICABLE CODES : CITY OF LEMOORE
- CALIFORNIA BUILDING CODE = CBC 2013 EDITION
- CALIFORNIA ELECTRICAL CODE = CEC 2013 EDITION
- CALIFORNIA ENERGY CODE = 2013
- CALIFORNIA MECHANICAL CODE = CMC 2013 EDITION
- CALIFORNIA PLUMBING CODE = CPC 2013
- CALIFORNIA FIRE PREVENT CODE (CFC) = CFC 2013 INTERNATIONAL FIRE CODE W/ CALIFORNIA AMENDMENTS

### PROJECT DATA

PROPOSED FLOOR AREA =	3706
HEIGHT =	21'-0"
REQUIRED PARKING =	15 SPACES
PROPOSED PARKING =	12 SPACES
BIKE RACKS =	2
SOFT LANDSCAPING =	2442.82
	= 24.5% OPEN SPACE
	= 17.86 OF SITE AREA
SITE LIGHTING =	POLE STANDARDS
	= BUILDING WALL SCONCES

### PROJECT DIRECTORY

OWNERS:  
DR. DENNISE RIEMER D.D.S.  
446 C STREET  
LEMOORE, CA. 93245

ARCHITECTURE AND INTERIOR DESIGN:  
THE KOHAN GROUP, INC. dba (KOHAN)  
PROJECT MANAGER : MOHSEN GHOREISHI  
PROJECT ARCHITECT : JAMES LEMOINE  
100 BUSH STREET, STE. 1500  
SAN FRANCISCO, CALIFORNIA 94104  
T.415.348.0008 MOBILE, 415.987.9100  
WWW.KOHANINC.COM

CIVIL DESIGN  
TAMMY JOSEPH RCE  
2090 N. WINERY AVENUE  
FRESNO, CA 95703  
559-367-1872, TAMMYEDALEMELL.COM

GEOTECH  
SALEM ENGINEERING GROUP  
4729 W. JACQUELYN AVE  
FRESNO, CA 93722  
559-271-9700  
WWW.SALEM.NET

### DEFERRED SUBMITTALS

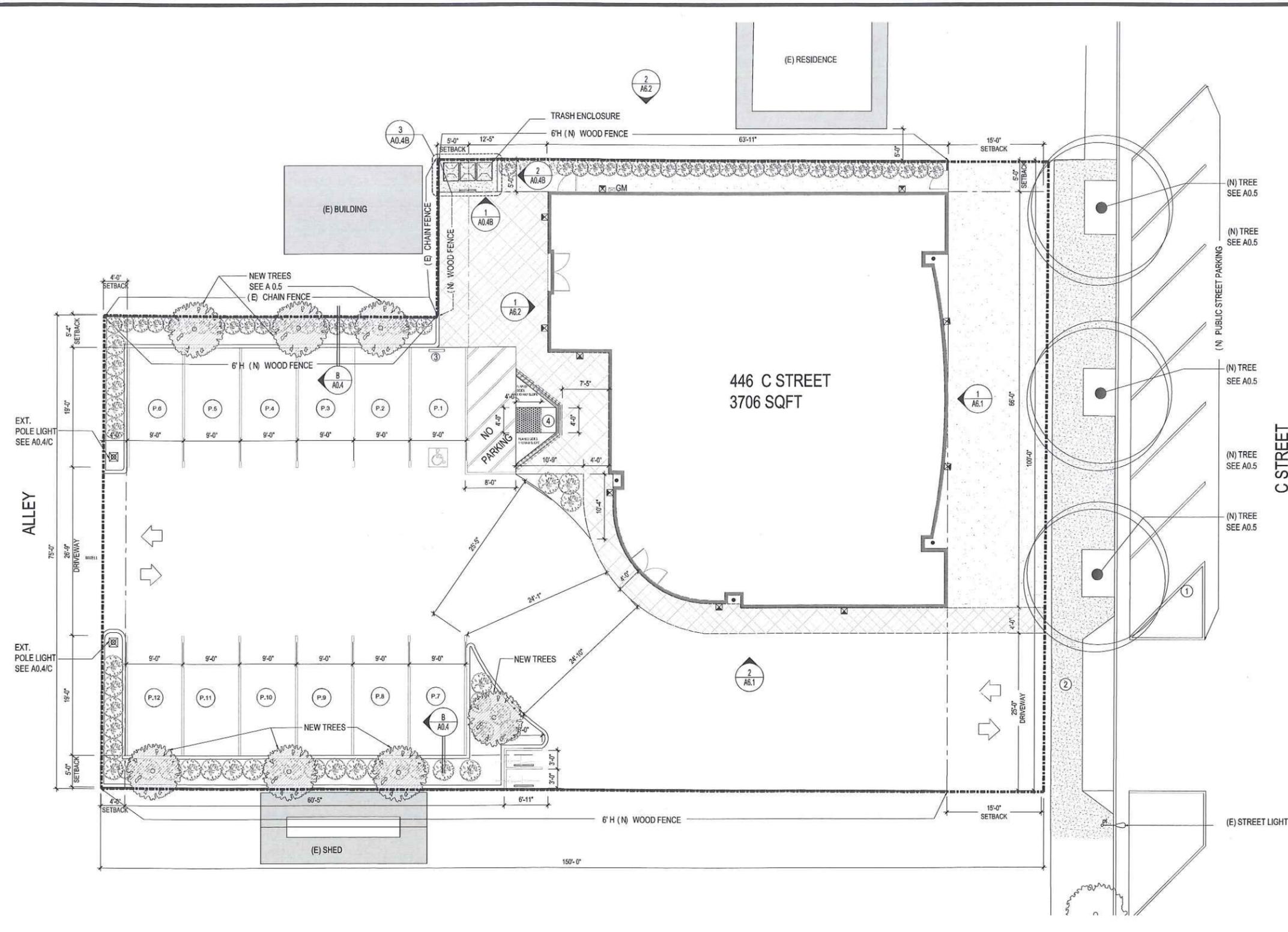
PROPOSED BUILDING WILL BE EQUIPPED WITH SPRINKLER SYSTEM TO BE UNDER A SEPERATE PERMIT

THE LEVEL 3. AIR COMPRESSOR AND VACUUM SYSTEM WILL BE SUBMITTED AS SEPERATE "MEDICAL PIPING" IN COMPLIANCE WITH CFC 3006.

PERMIT THROUGH CITY FIRE DEPARTMENT AND/OR ENVIRONMENTAL HEALTH DEPARTMENT AS REQUIRED (NPPA) VERIFY W/ THE CITY FOR SPECIFIC PERMIT REQUIREMENT.

THE DEFERRED SUBMITTALS SHALL FIRST BE SUBMITTED TO THE PROJECT ARCHITECT AND/OR ENGINEER FOR REVIEW AND COORDINATION; FOLLOWING THE COMPLETION OF THE PROJECT ARCHITECT AND/OR ENGINEER FOR REVIEW AND COORDINATION, A SUBMITTAL TO THE CITY SHALL BE MADE, WHICH SHALL INCLUDE A LETTER STATING THIS REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED WITH PLANS AND CALCULATIONS FOR THE DEFERRED ITEMS ARE ACCEPTABLE.





### LEGEND

- SET BACK LINE
- BUILDING BOUNDARY
- PROPERTY LINE
- GAS METER
- BIKE RACK
- NEW SIDE WALK PAVERS SEE LANDSCAPE PLAN
- NEW CONCRETE
- EXTERIOR LIGHT POLE BAYTOWN 82 IN 1- HEAD OUTDOOR BLACK SOLAR LAMP POST WITH EZ INSTALL ANCHOR
- EXTERIOR LIGHT SCONCES DISCUS EXTERIOR LIGHT WALL SCONCE
- 
- NEW TREES SEE A 0.5

### GENERAL NOTE

- G.C REFER TO CIVIL DRAWING FOR ALL DRAINAGE AND GRADING PLAN
- G.C REFER TO LANDSCAPE PLAN FOR GARDENING

### KEY NOTE

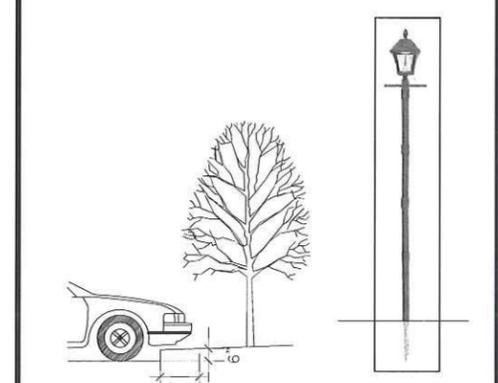
- G.C TO PROVIDE NEW PARKING STRIPPING
- G.C TO PROVIDE NEW CONCRETE FOR PUBLIC SIDE WALK
- G.C TO PROVIDE H.C SIGN PER A0.4A
- G.C TO PROVIDE CURB RAMP PER CBC 2013 AND A0.4A

### GENERAL INFORMATION

TOTAL LOT SQFT = 13673  
 NEW BUILDING SQFT = 3706  
 THE NUMBER OF EMPLOYEE = 12

### PARKING INFORMATION

3706 / 250 = 14.8  
 NUMBER OF PARKING REQUIRED = 15  
 NUMBER OF PARKING PROVIDED INCLUDING ONE VAN ACCESSIBLE PARKING : 12 AND 2 BIKE RACKS



**A NEW SITE PLAN (PROPOSED)**  
 SCALE: 1/8" = 1'-0"

**B SECTION** SCALE: NTS  
**C EXT. POLE LIGHT** SCALE: NTS

**Kohan**  
100 BUSH STREET, FLOOR 18TH SAN FRANCISCO, CA  
 TEL: 415 388 0008 WWW.KOHANINC.COM

**DR. RIEMER DENTAL GROUP**

ADDRESS  
 446 C STREET  
 LEMOORE, CA

SHEET TITLE  
**NEW SITE PLAN**

PROJECT NO.  
 HEA-RIE-1-14

PROJECT DATE  
 NOV 17TH 2014

SEALS

© 2014 By  
 The Kohan Group

DRAWINGS ISSUED FOR:  
 FEB-20-2015  
 ISSUE FOR PERMIT  
 PLANNING DEPARTMENT

DRAWN BY:  
 FE-AA-MT

CHECKED BY:  
 J.-FE

REVISIONS

CPR NUMBER

DATE

INCLUDES SHEETS

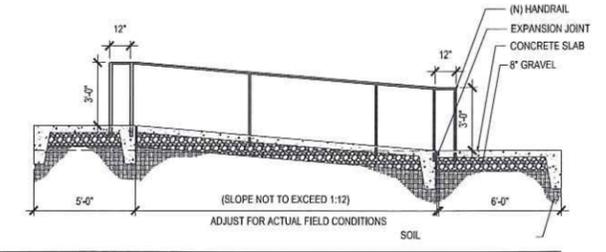
THIS DRAWING REPRESENTS ALL CONDITIONS AND ASSUMPTIONS MADE ON THE BEST OF OUR KNOWLEDGE AND BELIEF. IT IS THE RESPONSIBILITY OF THE CLIENT TO VERIFY ALL INFORMATION AND CONDITIONS BEFORE CONSTRUCTION. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

SHEET NUMBER  
**A0.4**



**NOTES**

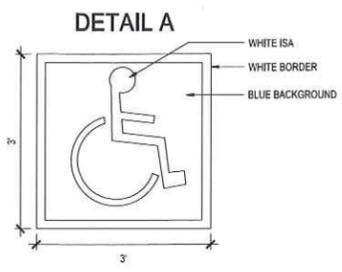
1. ACCESSIBLE PARKING SPACES SERVING A PARTICULAR BUILDING SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE ENTRANCE. IN PARKING FACILITIES THAT DO NOT SERVE A PARTICULAR BUILDING, ACCESSIBLE PARKING SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE OF TRAVEL TO AN ACCESSIBLE PEDESTRIAN ENTRANCE OF THE PARKING FACILITY.
2. ONE IN EVERY EIGHT ACCESSIBLE OFF-STREET PARKING STALLS, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESSIBLE AISLE OF 8'-0" MINIMUM WIDTH AND SHALL BE SIGNED VAN ACCESSIBLE. THE R7-8B SIGN SHALL BE MOUNTED BELOW THE R99B (CA) PLAQUE OR THE R99C (CA) SIGN.
3. IN EACH PARKING STALL, A CURB OR BUMPER SHALL BE PROVIDED AND LOCATED TO PREVENT ENCRoACHMENT OF VEHICLES OVER THE REQUIRED WIDTH OF WALKWAYS. PARKING STALLS SHALL BE SO LOCATED THAT PERSONS WITH DISABILITIES ARE NOT COMPELLED TO WHEEL OR WALK BEHIND PARKED CARS OTHER THAN THEIR OWN.
4. SURFACE SLOPES OF ACCESSIBLE OFF-STREET PARKING STALLS SHALL BE THE MINIMUM POSSIBLE AND SHALL NOT EXCEED 2 PERCENT IN ANY E143D510N.
5. TABLE A SHALL BE USED TO DETERMINE THE REQUIRED NUMBER OF ACCESSIBLE PARKING STALLS IN EACH PARKING LOT OR GARAGE.
6. WHERE PLAQUE R99B (CA), SIGN R99C (CA) OR SIGN R7-8B ARE INSTALLED, THE BOTTOM OF THE SIGN OR PLAQUE PANEL SHALL BE A MINIMUM OF 7'-0" ABOVE THE SURROUNDING SURFACE.
7. CURB RAMP SHALL CONFORM TO THE DETAILS SHOWN ON STANDARD PLAN A88A.
8. BLUE PAINT, INSTEAD OF WHITE MAY BE USED FOR MARKING ACCESSIBILITY AISLES IN AREAS WHERE SNOW MAY CAUSE WHITE MARKINGS TO NOT BE VISIBLE.
9. THE WORDS "NO PARKING", SHALL BE PAINTED IN WHITE LETTERS NO LESS THAN 1'-0" HIGH AND LOCATED SO THAT IT IS VISIBLE TO TRAFFIC ENFORCEMENT OFFICIALS. SEE STANDARD PLAN A90B FOR DETAILS OF THE "NO PARKING" PAVEMENT MARKING.
10. A R100B (CA) SIGN SHALL BE POSTED IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO OFF-STREET PARKING FACILITIES OR IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL. THE SIGN SHALL INCLUDE THE ADDRESS WHERE THE TOWED VEHICLE MAY BE RECLAIMED AND THE TELEPHONE NUMBER OF THE LOCAL TRAFFIC LAW ENFORCEMENT AGENCY.
11. WHERE A SINGLE (NON-VAN) ACCESSIBLE PARKING SPACE IS PROVIDED, THE LOADING AND UNLOADING ACCESS AISLE SHALL BE ON THE PASSENGER SIDE OF THE VEHICLE AS THE VEHICLE IS GOING FORWARD INTO THE PARKING SPACE.
12. WHERE A VAN ACCESSIBLE PARKING SPACE IS PROVIDED, THE LOADING AND UNLOADING ACCESS AISLE SHALL BE 8'-0" WIDE MINIMUM, AND SHALL BE ON THE PASSENGER SIDE OF THE VEHICLE AS THE VEHICLE IS GOING FORWARD INTO THE PARKING SPACE.
13. ACCESSIBLE PARKING ONLY SIGN SHALL BE SIGN R99C (CA) OR SIGN R99 (CA) WITH PLAQUE R99B (CA).



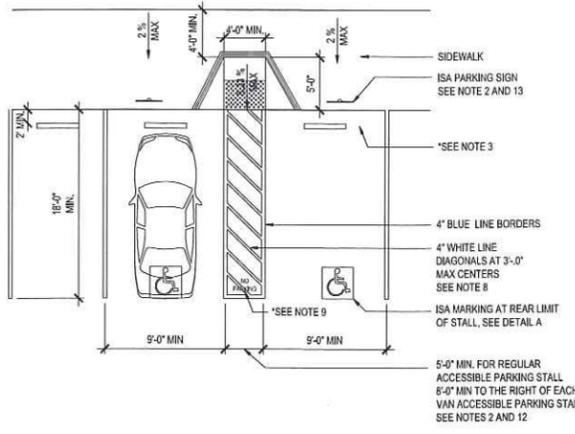
**SECTION @ ACCESSIBLE RAMP**  
 SCALE: 1/4" = 1'-0" **8**

**TABLE A**

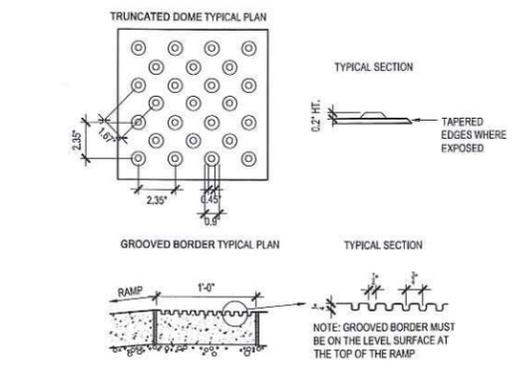
TOTAL NUMBER OF PARKING SPACES OR STALLS	MINIMUM NUMBER OF DISABLED ACCESSIBLE PARKING SPACES OR STALLS
1-25	1
26-50	2
51-75	3
76-100	4
101-150	5
151-200	6
201-300	7
301-400	8
401-500	9
501-1000	2 PERCENT OF TOTAL
1001 AND OVER	20 PLUS 1 FOR EACH 100 OR FRACTION THEREOF OVER 1000



**ISA MARKING**  
 SCALE: N.T.S. **2**



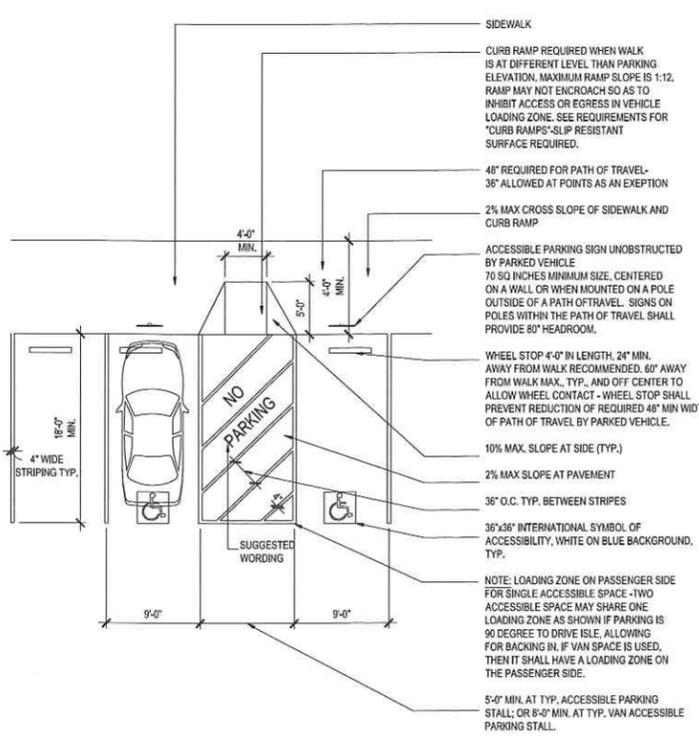
**DOUBLE PARKING STALL**  
 SCALE: N.T.S. **4**



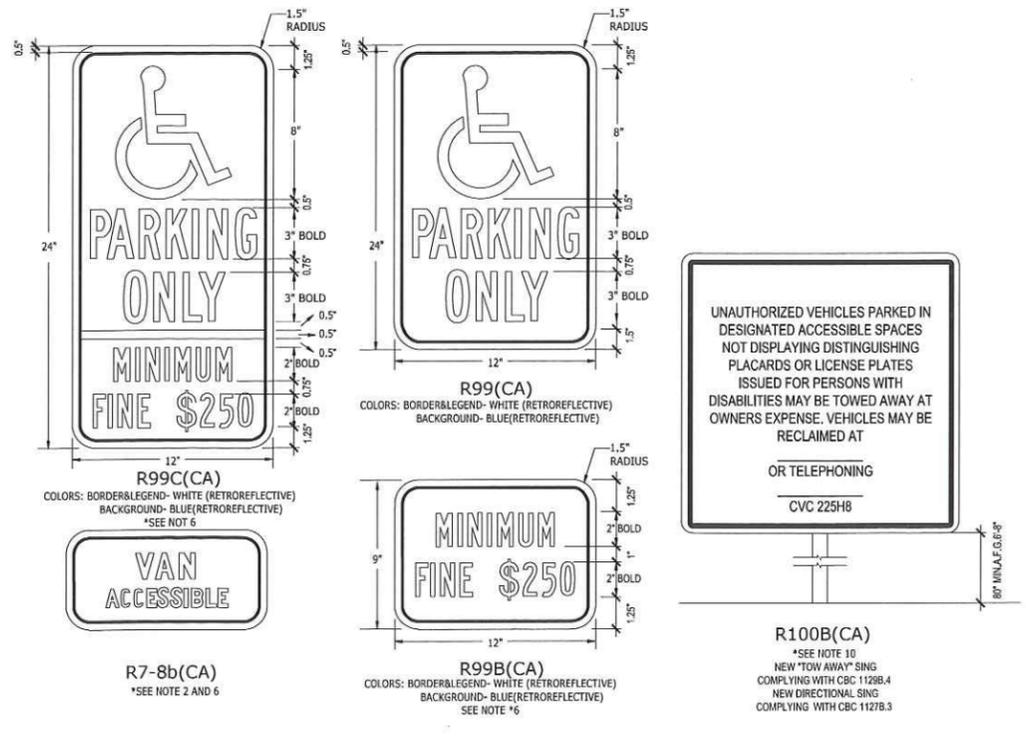
**GROOVED BORDER / TRUNCATED DOME**  
 SCALE: N.T.S. **7**



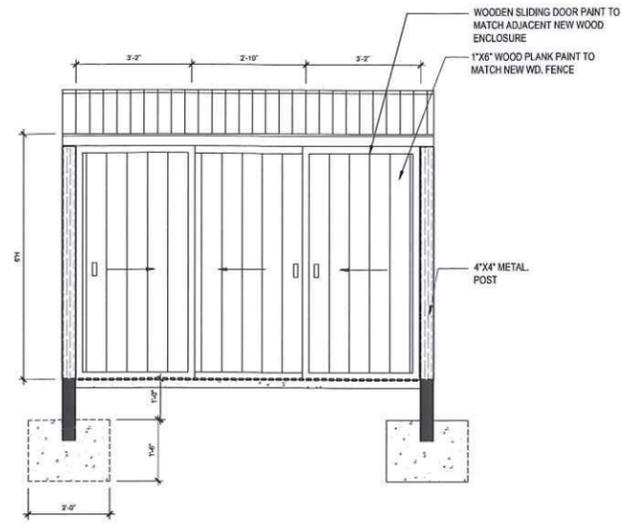
**TOW AWAY SIGN**  
 SCALE: 1/8" = 1'-0" **6**



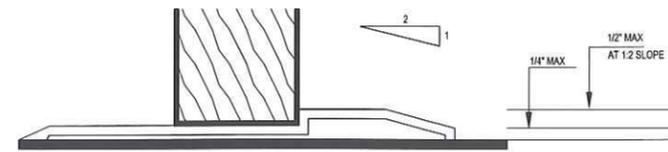
**DOUBLE VAN ACCESSIBLE PARKING STALLS**  
 SCALE: 3/8" = 1'-0" **5**



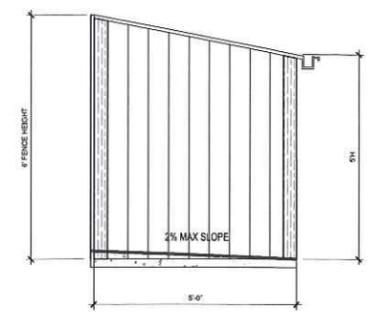
**ADA PARKING SIGN**  
 SCALE: N.T.S. **3**



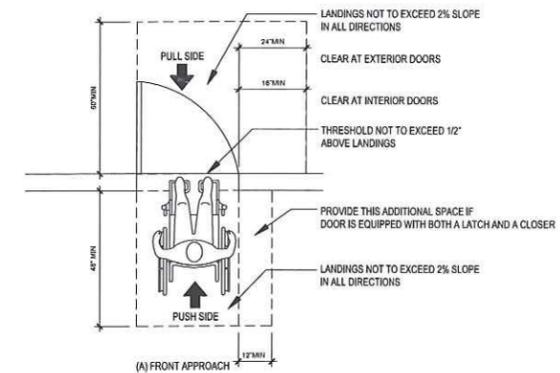
**FRONT ELEVATION @ WD. TRASH ENCLOSURE**  
SCALE: 1/2" = 1'-0" **1**



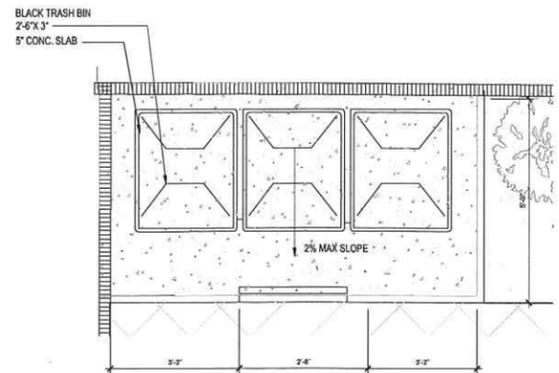
**SECTION @ COMPLIANT THRESHOLD**  
SCALE: N.T.S. **5**



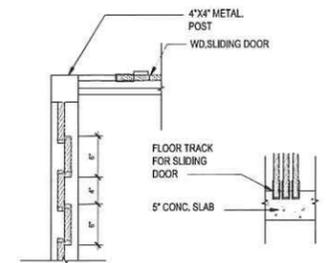
**SIDE ELEVATION @ WD. TRASH ENCLOSURE**  
SCALE: 1/4" = 1'-0" **2**



**COMPLIANT MANEUVERING AND LANDING SPACE**  
SCALE: N.T.S. **6**



**ENLARGED PLAN @ WD. TRASH ENCLOSURE**  
SCALE: 1/2" = 1'-0" **3**



**DETAIL @ WD. TRASH ENCLOSURE DOOR**  
SCALE: 1/2" = 1'-0" **4**

**NOTES**

1. ACCESSIBLE PARKING SPACES SERVING A PARTICULAR BUILDING SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE ENTRANCE. IN PARKING FACILITIES THAT DO NOT SERVE A PARTICULAR BUILDING, ACCESSIBLE PARKING SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE OF TRAVEL TO AN ACCESSIBLE PEDESTRIAN ENTRANCE OF THE PARKING FACILITY.
2. ONE IN EVERY EIGHT ACCESSIBLE OFF-STREET PARKING STALLS, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESSIBLE AISLE OF 8'-0" MINIMUM WIDTH AND SHALL BE SIGNED VAN ACCESSIBLE. THE R7-8B SIGN SHALL BE MOUNTED BELOW THE R99B (CA) PLAQUE OR THE R99C (CA) SIGN.
3. IN EACH PARKING STALL, A CURB OR BUMPER SHALL BE PROVIDED AND LOCATED TO PREVENT ENCROACHMENT OF VEHICLES OVER THE REQUIRED WIDTH OF WALKWAYS. PARKING STALLS SHALL BE SO LOCATED THAT PERSONS WITH DISABILITIES ARE NOT COMPELLED TO WHEEL OR WALK BEHIND PARKED CARS OTHER THAN THEIR OWN.
4. SURFACE SLOPES OF ACCESSIBLE OFF-STREET PARKING STALLS SHALL BE THE MINIMUM POSSIBLE AND SHALL NOT EXCEED 2 PERCENT IN ANY DIRECTION.
5. TABLE A SHALL BE USED TO DETERMINE THE REQUIRED NUMBER OF ACCESSIBLE PARKING STALLS IN EACH PARKING LOT OR GARAGE.
6. WHERE PLAQUE R99B (CA), SIGN R99C (CA) OR SIGN R7-8B ARE INSTALLED, THE BOTTOM OF THE SIGN OR PLAQUE PANEL SHALL BE A MINIMUM OF 7'-0" ABOVE THE SURROUNDING SURFACE.
7. CURB RAMPS SHALL CONFORM TO THE DETAILS SHOWN ON STANDARD PLAN A88A.
8. BLUE PAINT, INSTEAD OF WHITE MAY BE USED FOR MARKING ACCESSIBILITY AISLES IN AREAS WHERE SNOW MAY CAUSE WHITE MARKINGS TO NOT BE VISIBLE.
9. THE WORDS "NO PARKING", SHALL BE PAINTED IN WHITE LETTERS NO LESS THAN 1'-0" HIGH AND LOCATED SO THAT IT IS VISIBLE TO TRAFFIC ENFORCEMENT OFFICIALS. SEE STANDARD PLAN A90B FOR DETAILS OF THE "NO PARKING" PAVEMENT MARKING.
10. A R100B (CA) SIGN SHALL BE POSTED IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO OFF-STREET PARKING FACILITIES OR IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL. THE SIGN SHALL INCLUDE THE ADDRESS WHERE THE TOWED VEHICLE MAY BE RECLAIMED AND THE TELEPHONE NUMBER OF THE LOCAL TRAFFIC LAW ENFORCEMENT AGENCY.
11. WHERE A SINGLE (NON-VAN) ACCESSIBLE PARKING SPACE IS PROVIDED, THE LOADING AND UNLOADING ACCESS AISLE SHALL BE ON THE PASSENGER SIDE OF THE VEHICLE AS THE VEHICLE IS GOING FORWARD INTO THE PARKING SPACE.
12. WHERE A VAN ACCESSIBLE PARKING SPACE IS PROVIDED, THE LOADING AND UNLOADING ACCESS AISLE SHALL BE 8'-0" WIDE MINIMUM, AND SHALL BE ON THE PASSENGER SIDE OF THE VEHICLE AS THE VEHICLE IS GOING FORWARD INTO THE PARKING SPACE.
13. ACCESSIBLE PARKING ONLY SIGN SHALL BE SIGN R99C (CA) OR SIGN R99 (CA) WITH PLAQUE R99B (CA).



**DR. RIEMER DENTAL GROUP**

ADDRESS  
446 C STREET  
LEMOORE, CA

SHEET TITLE:  
**ACCESSIBLE & TRASH ENCLOSURE DETAILS**

PROJECT NO:  
HEA-RIE-1-14  
PROJECT DATE:  
NOV 17TH 2014  
SEALS



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DRAWN BY:  
FE-AA-MT

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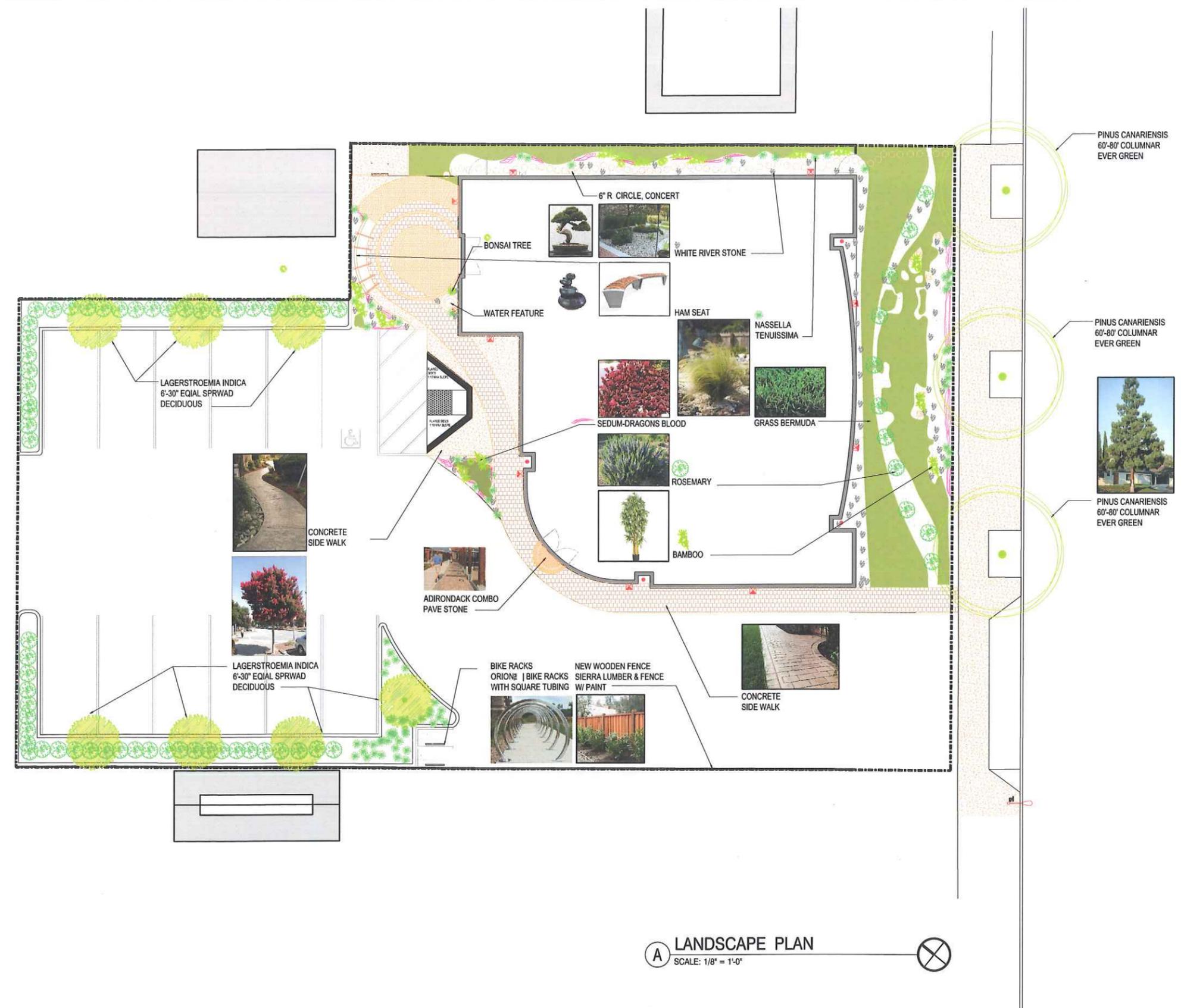
DATE

INCLUDES SHEETS

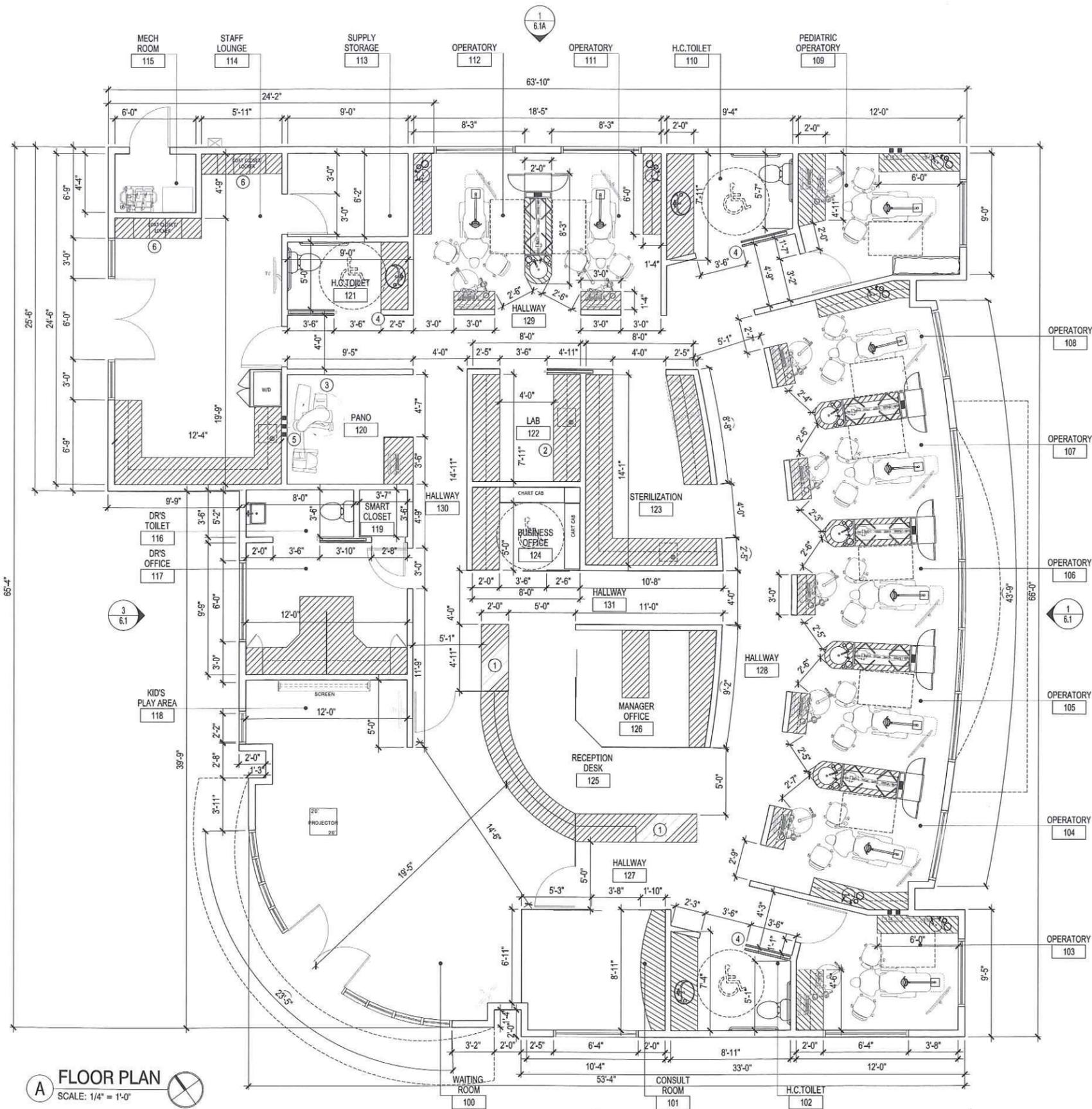
THIS DRAWING REFLECTS ALL CHANGES AND REVISIONS MADE ON THIS SHEET. ANY UNAPPROVED CHANGES WILL BE THE RESPONSIBILITY OF THE USER. PROCEED WITH CAUTION. NOT BE RESPONSIBLY REFERENCED BY THIS PROJECT.

SHEET NUMBER:

**A0.4B**



**A LANDSCAPE PLAN**  
 SCALE: 1/8" = 1'-0"



**A FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

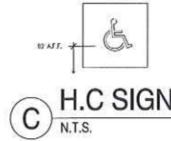
**GENERAL NOTES**

- ALL NEW WALLS ARE TYP. "A" SEE SHEET A12.4 UNLESS NOTED OTHERWISE.
- APPLY SOUND ATTENUATING MATERIALS APPROVED BY ARCHITECT INSIDE THE WALLS, FLOOR AND CLG. @ MECHANICAL ROOM AND TOILET AND AS SPECIFIED.
- G.C. REFER TO EQUIPMENT CUT SHEETS FOR INFORMATION REGARDING TO EQUIPMENT. D
- G.C. INSTALL ALL NECESSARY INSULATION AT CEILING AND WALLS AS NEEDED AND PER PLAN
- ALL INTERIOR IMPROVEMENTS BY CONTRACTOR SHALL CONFORM TO CONSTRUCTION AND OCCUPANCY TYPE PER C.B.C. 2013 AMENDED
- G.C. TO PROVIDE BACKING FOR ALL EQUIPMENT/ CABINETS AS REQUIRED.
- ALL DIMENSIONS ARE TO FINISHED FACE OF CONSTRUCTION.
- COLOR AND FINISH FOR CABINETRY AND CASEWORK SELECTED BY OWNER - SEE INTERIOR SPECIFICATIONS.
- G.C. PROVIDE SUBMITTALS ON ALL MATERIALS AND EQUIPMENTS TO ARCHITECT AND OWNER FOR APPROVAL. PRIOR TO FABRICATION.
- SHOULD THERE BE ANY DISCREPANCIES BETWEEN ARCHITECTURAL, M.E.P. DRAWINGS OR SPECIFICATIONS, G.C BRING IT TO THE ARCHITECTS ATTENTION AND UPON REVIEW BY ARCHITECT, ARCHITECTS CHOICE IS TO BE INSTALLED AND OR PROVIDED BY THE GENERAL CONTRACTOR.
- GENERAL CONTRACTOR TO COORDINATE BETWEEN ALL TRADES AND REFER TO ALL DRAWINGS FOR G.C WORK.
- GENERAL CONTRACTOR TO CHECK MARK ALL WALLS, SCHEDULE A WALK THROUGH FOR THE ARCHITECT AND OWNER FOR VERIFICATION AND APPROVAL PRIOR TO CONSTRUCTION.
- GENERAL CONTRACTOR TO SCHEDULE WALK THROUGH AS REQUIRED BY THE ARCHITECT AT DIFFERENT STAGES OF THE PROJECT FOR COORDINATION OF ALL DISCIPLINES.
- G.C. PROVIDE 5/8" GYP. BD. AT INSIDE INTERIOR AND EXTERIOR WALLS AS NEEDED TYPICAL.
- G.C. TO PROVIDE CONC. PAD AT ROOF FOR NEW MECHANICAL UNIT.
- SEE SHEET #A.10.1 FOR ALL APPLICABLE DOOR SWING CLEARANCES. PER 2013 CBC SECTION 11B.206.4
- G.C. TO VERIFY ELECTRICAL PANEL LOCATION AND POWER REQUIREMENTS AS PER ENGINEER DRAWINGS.
- SEE SHEET 10.1 FOR DIMENSIONS CLEARANCES, HEIGHTS & REACH RANGES/ADA ACCESS
- IN SOIL ROOM, THERE WILL NOT BE ANY HAZARDOUS MATERIALS USED, STORED, DISPENSED OR TRANSPORTED WITHIN THIS BUILDING
- G.C. TO PROVIDE FABRICATE AND INSTALL INTERIOR WALL PANELS PER INTO SPEC AND RELATED INTERIOR ELEVATION.

**KEY NOTES**

- H.C. COUNTER MUST BE BETWEEN MIN. 29" AND MAX. 34" TO TOP OF COUNTER AND IS 5% OF PUBLIC COUNTER AND MIN. WIDTH OF 36" LOCATION TO BE VERIFIED W/ OWNER.
- G.C. PROVIDE AIR/ VACUUM / NATURAL GAS CONNECTION FOR LAB AREA. NOTE NATURAL GAS CONNECTION MAY NOT REFLECT ON GAS DWG. G.C. IS RESPONSIBLE TO PROVIDE GAS LINE AS REQUIRED.
- PROVIDE CONDUIT FOR USB PORT FOR PANO EXACT LOCATION W/ OWNER /ARCHITECT/DENTAL SUPPLIER.
- G.C. PROVIDE H.C. SIGN PER SHEET A10.1 FOR UNISEX RESTROOM AND INTERIOR DESIGN SPEC. PER CBC 11B 7037.2 SEE DETAIL B SHEET A2.2.
- PROVIDE 2(4"x4") POST AND 3/4" PLYWOOD INSIDE WALL TO SECURE PANO.
- MILLWORK PROVIDE CLOSET W/ LOCK SEE SHEET INTERIOR ELEVATION

G.C. INSTALL H.C. SIGNAGE STICKER ON DOOR EXTERIOR GLASS 60" A.F.F. PER CBC 11B-703 SEE DETAIL B SHEET A2.2.



**LEGEND**

- EXISTING CONSTRUCTION TO REMAIN
- 1 HOUR RATED PARTITION
- STC 54 MIN. SOUND ATTENUATING WALLS & CEILING
- TEMPORARY WALL TO BE REMOVED IN THE FUTURE
- CEILING CHANGE ABOVE
- REFERENCE TO PARTITION TYPE, NEW PARTITION, ALL WALLS ARE TYPE A, UNLESS NOTED, SEE 12.4
- OFFICE ROOM NAME
- XXXX ROOM NUMBER
- XXXX DOOR NUMBER (WITH SCHEDULE)
- ALIGN ALIGN WITH ESTABLISHED SURFACES
- X KEYED NOTES
- X WINDOW TAG. SEE ELEVATIONS & SCHEDULE
- X ALTERNATIVE WINDOW/ DOOR TAG.
- X DECORATIVE PANEL TAG. SEE ELEVATIONS & SCHEDULE
- REVISION CLOUD REFERENCE
- LOCATION ON ROW WHERE SHOWN DIRECTION OF ELEVATION ROW ON ELEV. SHEET WHERE SHOWN SHEET WHERE SHOWN
- DETAIL NUMBER SHEET WHERE SHOWN DESCRIPTION OF SIM. OR OPP.
- AREA TO BE DETAILED
- MILLWORK
- FEC FIRE EXTINGUISHER CABINET: POTTER ROEMER, DANA, 7200 SERIES, FINISH: FACTORY PAINTED, COLOR TBD LETTERS: VERTICAL BLACK
- LEVEL OF LANDING (EXT) FOR SWING DIRECTION
- LEVEL OF LANDING (INT) FOR SWING DIRECTION
- LEVEL OF LANDING (EXT) OPPOSITE SWING DIRECTION
- LEVEL OF LANDING (INT) OPPOSITE SWING DIRECTION
- ACCESSIBILITY 30" X 48" CLEARANCE
- ACCESSIBILITY 60" CLEAR TURNING RADIUS
- 4"X6" (N) STRUCTURAL COLUMN
- 6"X6" (E) STRUCTURAL COLUMN
- WOOD POST. TYPE SEE STRUCTURAL DRAWING



**Kohan**  
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**DR. RIEMER DENTAL GROUP**

ADDRESS  
446 C STREET  
LEMOORE, CA

SHEET TITLE:  
FLOOR- PLAN

PROJECT NO:  
HEA-RIE-14  
PROJECT DATE  
NOV 17TH 2014



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**A2.2**



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415.398.8000 WWW.KOHANARCH.COM

DR. RIEMER  
DENTAL GROUP

ADDRESS  
446 C STREET  
LEMOORE, CA

SHEET TITLE:  
EXTERIOR  
ELEVATIONS

PROJECT NO:  
HEA-RIE-14  
DATE  
FEB 20TH 2015  
SEALS



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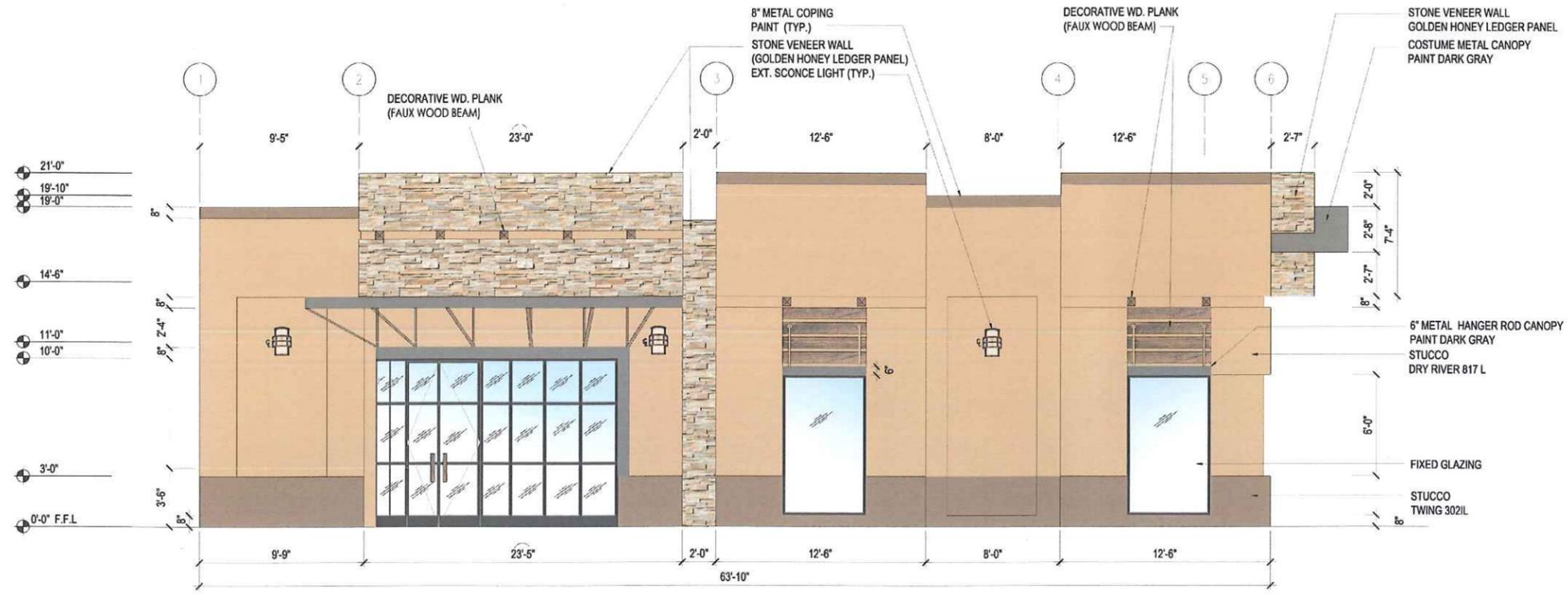
A6.1



**SOUTH EAST ELEVATION @ C STREET**

SCALE: 1/4" = 1'-0"

1



**SOUTH WEST ELEVATION @ DRIVE WAY**

SCALE: 1/4" = 1'-0"

2



**DR. RIEMER DENTAL GROUP**

ADDRESS  
446 C STREET  
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SHEET TITLE  
**EXTERIOR ELEVATIONS**

PROJECT NO:  
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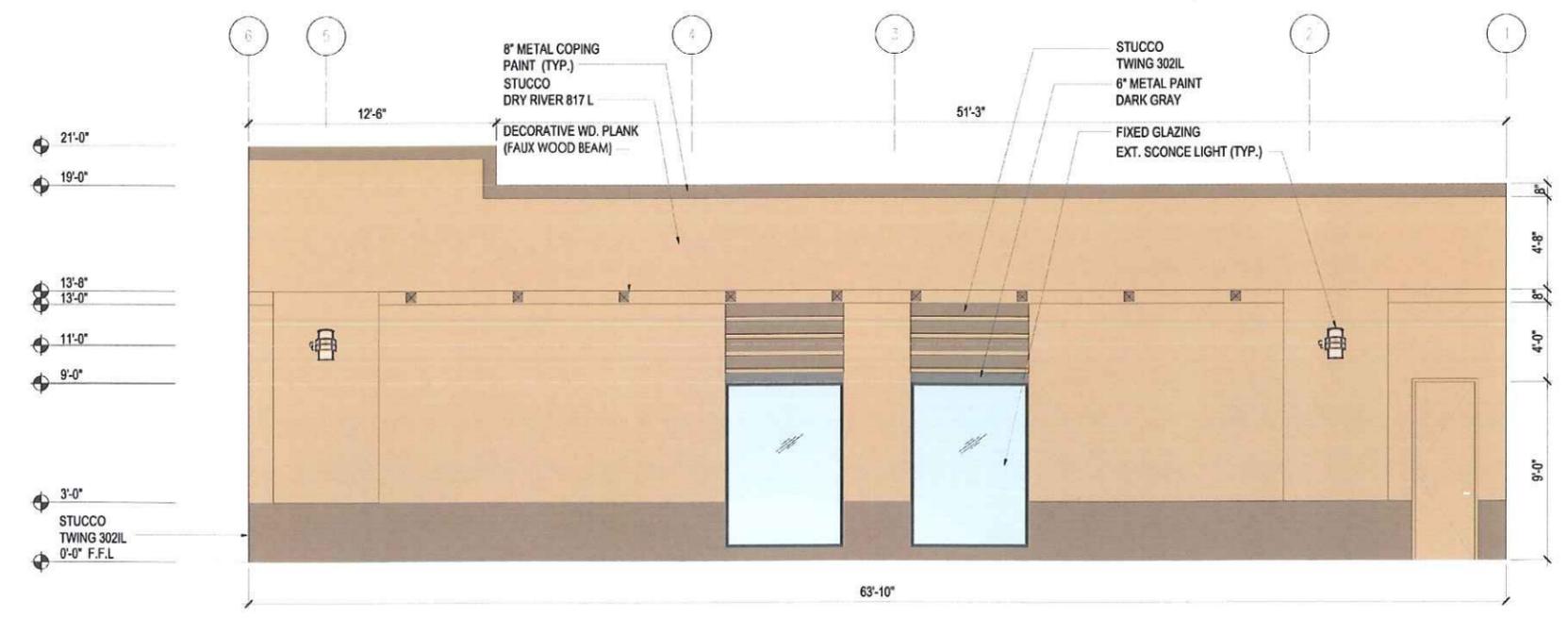
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SHEET NUMBER

**A6.2**



**NORTH WEST ELEVATION @ PARKING** 1  
SCALE: 1/4" = 1'-0"



**NORTH EAST ELEVATION @ SETBACK** 2  
SCALE: 1/4" = 1'-0"

# EXTERIOR MATERIAL SPECIFICATION

## STONE VENEER WALL



Golden Honey Ledger Panel 6 in. x 24 in. Natural Quartzite Wall Tile (6 sq. ft. / case)

## DECORATIVE WOOD PLANK



Hand Hewn Faux Wood Beam

## STUCCO WALL



Dry River 817L

## STUCCO BASE



Twing 302IL

## METAL CANOPY



Hanger Rod Canopy

## EXTERIOR LIGHT POLE



Baytown 82 in. 1-Head Outdoor Black Solar Lamp Post with EZ Install Anchor

## EXTERIOR LIGHT SCONCE



Discus Exterior 2 Light Wall Sconce - Large - Fluorescent



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ADDRESS  
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EXTERIOR MATERIAL  
SPECIFICATION

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A6.3



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ADDRESS  
446 C STREET  
LEMOORE, CA

SHEET TITLE:  
**PERSPECTIVES**

PROJECT NO.  
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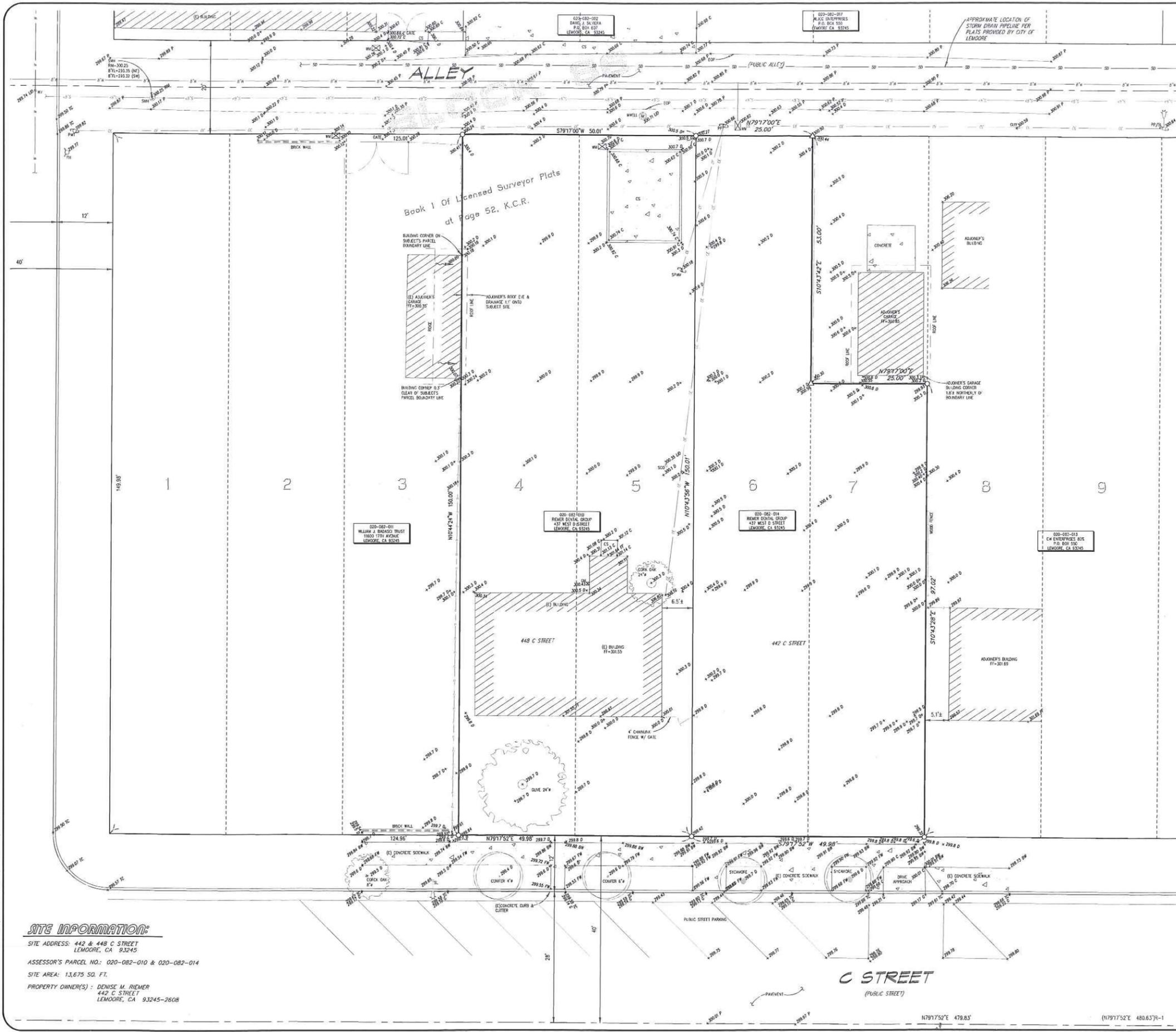
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REVISIONS

**A6.4**

PLOTTED BY: ROBERT VERNON - 9/23/2014 8:35:11 AM C:\NF\DOCUMENTS\14-090TOP.DWG



LOCATION MAP  
NOT TO SCALE

LEGEND

- MONUMENT SET 3/4" IRON PIPE PLS 4823 0' 6" BELOW SURFACE OR AS NOTED
MONUMENT SET 3/4" IRON PIPE PLS 4823 0' 0.05' BELOW SURFACE OR AS NOTED
POWER POLE
POWER POLE WITH TRANSFORMER
CITY WIRE
POWER POLE WITH LIGHT
STREET LIGHT
GAS METER
SEWER MANHOLE
SEWER CLEAN OUT
MONITORING WELL
SERVICE POLE WITH METER
POWER POLE WITH TRANSFORMER
WATER VALVE
FIRE HYDRANT
WATER METER
OVERHEAD ELECTRICAL LINE
SANITARY SEWER LINE
STORM DRAIN LINE (APPROXIMATE)
EXISTING WATER MAIN/LINE
EXISTING CHAIN LINK FENCE
EXISTING WOOD FENCE
EXISTING TREE
EXISTING EVERGREEN TREE
SUBJECT SITE BOUNDARY
RECORD DATA PER 1975 SURVEY BY FRED BORN PAGE HOLCOMB LS 4160 SHOWN ON PARCEL MAP FILED IN BOOK 4 OF PARCEL MAPS AT PAGE 25, K.C.R.

ABBREVIATIONS / ACRONYMS

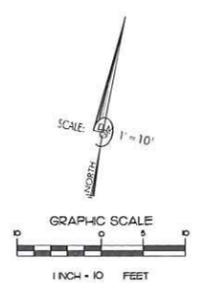
- BW BACK OF WALK
C CONCRETE ELEVATION POINT
CMS CONCRETE MON STRIP
CNC CONCRETE
CS CONCRETE SLAB
D DIRT/ROADWAY ELEVATION POINT
DI STORM DRAIN DROP INLET
E EXISTING
EOP EDGE OF PAVEMENT
FF FINISHED FLOOR
FH FIRE HYDRANT
FW FACE OF WALK
G CUTTER FLOWLINE ELEVATION POINT
GM GAS METER
K.C.R. KINGS COUNTY RECORDS
MWELL MONITORING WELL
PE PAVEMENT ELEVATION POINT
PP POWER POLE
PWT POWER POLE WITH TRANSFORMER
SDI STORM DRAIN INLET
SCD SEWER CLEANOUT
SL STREET LIGHT
SMH SEWER MANHOLE
SPWM SERVICE POLE WITH METER
TC TOP OF CURB ELEVATION POINT
WM WATER METER
WV WATER VALVE

UNDERGROUND UTILITIES NOTE

UNDERGROUND UTILITIES SHOWN ON THIS MAP WERE PLOTTED BASED ON INFORMATION OBTAINED FROM FIELD INSPECTION AND USA UTILITY MARKINGS. WHERE UNDERGROUND AND SURFACE STRUCTURES ARE SHOWN ON THE PLANS, THE LOCATIONS, DEPTH AND DIMENSIONS OF STRUCTURES ARE BELIEVED TO BE REASONABLY CORRECT, BUT ARE NOT GUARANTEED. SUCH STRUCTURES ARE SHOWN FOR THE INFORMATION OF THE CLIENT, BUT INFORMATION SO GIVEN IS NOT TO BE CONSTRUED AS A REPRESENTATION THAT SUCH STRUCTURES WILL, IN ALL CASES, BE FOUND WHERE SHOWN OR THAT THEY REPRESENT ALL OF THE STRUCTURES WHICH MAY EXIST.

BASIS OF BEARINGS

THE CENTERLINE OF C STREET WAS TAKEN TO BE NORTH 79° 17' 52" EAST PER PARCEL MAP FILED IN BOOK 4 OF PARCEL MAPS AT PAGE 25, KINGS COUNTY RECORDS.



SITE INFORMATION:

SITE ADDRESS: 442 & 448 C STREET LEMOORE, CA 93245
ASSESSOR'S PARCEL NO.: 020-082-010 & 020-082-014
SITE AREA: 13,675 SQ. FT.
PROPERTY OWNER(S): DENISE M. RIEMER 442 C STREET LEMOORE, CA 93245-2608

TOPOGRAPHIC MAPPING

OF 442 & 448 C STREET, LEMOORE, CA (APN 020-082-014)

PREPARED FOR: RIEMER DENTAL GROUP 437 WEST D STREET LEMOORE, CA 93245

DALE G. MELLO & ASSOCIATES ENGINEERING & SURVEYING SERVICES 2090 NORTH WINERY AVENUE, FRESNO, CALIFORNIA 93703 (559) 292-4546 - FAX 251-9220

JOB # 14-090
DRAWN BY: RV
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SCALE: 1"=10'
DATE: 09/22/14
DWG # 14-090TOP
FIELD BOOK: 354
DATE SURVEY: 09/16/14
REV:
SHEET 1 OF 1

THIS MAP IS FOR ASSESSMENT PURPOSES ONLY.  
IT IS NOT TO BE CONSTRUED AS PORTRAYING  
LEGAL OWNERSHIP OF DIVISIONS OF LAND FOR  
PURPOSES OF ZONING OR SUBDIVISION LAW.  
JULY, 1986

# KINGS COUNTY ASSESSOR'S MAP

20-08



RECORDING REQUESTED BY  
City of Lemoore

AND WHEN RECORDED MAIL  
DOCUMENT TO:  
City of Lemoore  
Planning Services  
711 W Cinnamon Drive  
Lemoore, CA 93245



DOC NBR: 1503221 03/05/2015 08:42:46 AM  
OFFICIAL RECORDS OF Kings County  
Kristine Lee Clerk-Recorder  
RECORDING FEE: \$23.00  
COUNTY TAX: \$0.00  
CITY TAX: \$0.00

CONFORMED COPY

DOC TYPE: 43  
5 PGS  
R002

### LOT LINE ADJUSTMENT

CASE: City of Lemoore Lot Line Adjustment No. 2014-01

OWNER: Denise Machado Riemer  
442 C Street  
Lemoore, CA 93245

LOCATION: Lots 4, 5, 6, and 7 of Block 66 of the City of Lemoore, County of Kings, State of California, according to the map thereof filed in Book 1 at Page 52 of the Licensed Surveyor Plats., excepting therefrom the east 25.00 feet of the north 53.00 feet of said Lot 7.

The Planning Director of the City of Lemoore has reviewed the application to adjust lot lines, and hereby approves the lot line adjustment based on the following findings:

1. The request was filed and reviewed pursuant to the Subdivision Map Act (Govt. Code Sec. 66410, et seq.) and Title 8, Chapter 7, Article D, of the Lemoore Municipal Code.
2. Section 8-7D-2 of the Lemoore Municipal Code authorizes the planning director as the designated approving authority for lot line adjustments.
3. City of Lemoore staff, including the public works director and city engineer, have performed the necessary research and recommended approval of the request.
4. The lot line adjustment will not result in the abandonment of any street or utility easement of record.
5. The lot line adjustment will not result in the elimination or reduction in size of the accessway to any resulting parcel.
6. The resulting parcels conform to the requirements of the city's general plan, any applicable specific plan, the city's adopted building code, and the city's zoning ordinance.
7. The lot line adjustment will not be detrimental to the health, safety or general welfare of persons residing or working in the vicinity, or to the general welfare of the city.

8. The recorded documents reflecting the planning director's decision approving the lot line adjustment and a legal description of each parcel resulting from the adjustment will supersede prior recorded maps or other documents related to the adjusted area. (See Legal Descriptions and Map attached herein as Exhibits A, B, and C).

The planning director's approval of this lot line adjustment is conditioned upon the following:

1. Prepayment of real property taxes shall be made to the Kings County Tax Collector.



DAVID WLASCHIN  
PLANNING DIRECTOR

December 18, 2014  
DATED

**EXHIBIT "A"**  
**VOLUNTARY PARCEL MERGER NO. 2014- 01**

*Description of Existing Parcels*

Existing Parcel 1- APN 020-082-010

Lots 4 and 5 in Block 66 of the City of Lemoore, County of Kings, State of California, according to the map thereof filed in Book 1 at Page 52 of Licensed Surveyor Plats.

Consisting of 7,555 sq. ft. more or less

Existing Parcel 2- APN 020-082-014

Lots 6 and 7 in Block 66 of the City of Lemoore, County of Kings, State of California, according to the map thereof filed in Book 1 at Page 52 of Licensed Surveyor Plats.

EXCEPTING Therefrom the east 25.00 feet of the north 53.00 feet of said Lot 7.

Contains an Area of 6,175 square feet, more or less



**EXHIBIT "B"**  
**VOLUNTARY PARCEL MERGER NO. 2014- 01**

*Description of Proposed Parcel*

Proposed Parcel

Lots 4, 5, 6 and 7 in Block 66 of the City of Lemoore, County of Kings, State of California, according to the map thereof filed in Book 1 at Page 52 of Licensed Surveyor Plats.

EXCEPTING Therefrom the east 25.00 feet of the north 53.00 feet of said Lot 7.

Consisting of 13,730 sq. ft. more or less

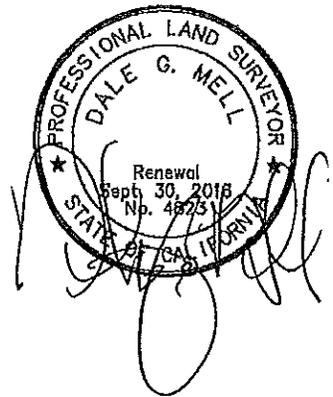


EXHIBIT "C"

**VOLUNTARY PARCEL MERGER**  
 CITY OF LEMOORE, COUNTY OF KINGS, CALIFORNIA  
 CONSISTING OF ONE SHEET  
 SHEET ONE OF ONE



**LOCATION MAP**

NOT TO SCALE

**LEGEND**

- ADJACENT 32' x 144' PARCEL PER 603 400' WATER VALVE
- △ 4' x 12' PUBLIC UTILITY OR AS NOTED FIRE MANSION
- ▽ 20' x 10' PUBLIC UTILITY OR AS NOTED WATER METER
- 8' x 8' PUBLIC UTILITY OR AS NOTED WATER METER
- POWER POLE
- POWER POLE WITH TRANSFORMER
- CITY WEL
- STREET LIGHT
- GAS METER
- STREET SIGNAGE
- STREET LIGHT OUT
- DOWNPOUR WEL
- SERVICE POLE WITH METER
- CHANGING ELECTRICAL LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE (APPROXIMATE)
- EXISTING WATER MAIN LINE
- EXISTING CHAIR LIFT TRUNK
- EXISTING ROAD POLE
- EXISTING POLE
- EXISTING ELECTRICAL TRUNK
- SUBJECT SITE BOUNDARY

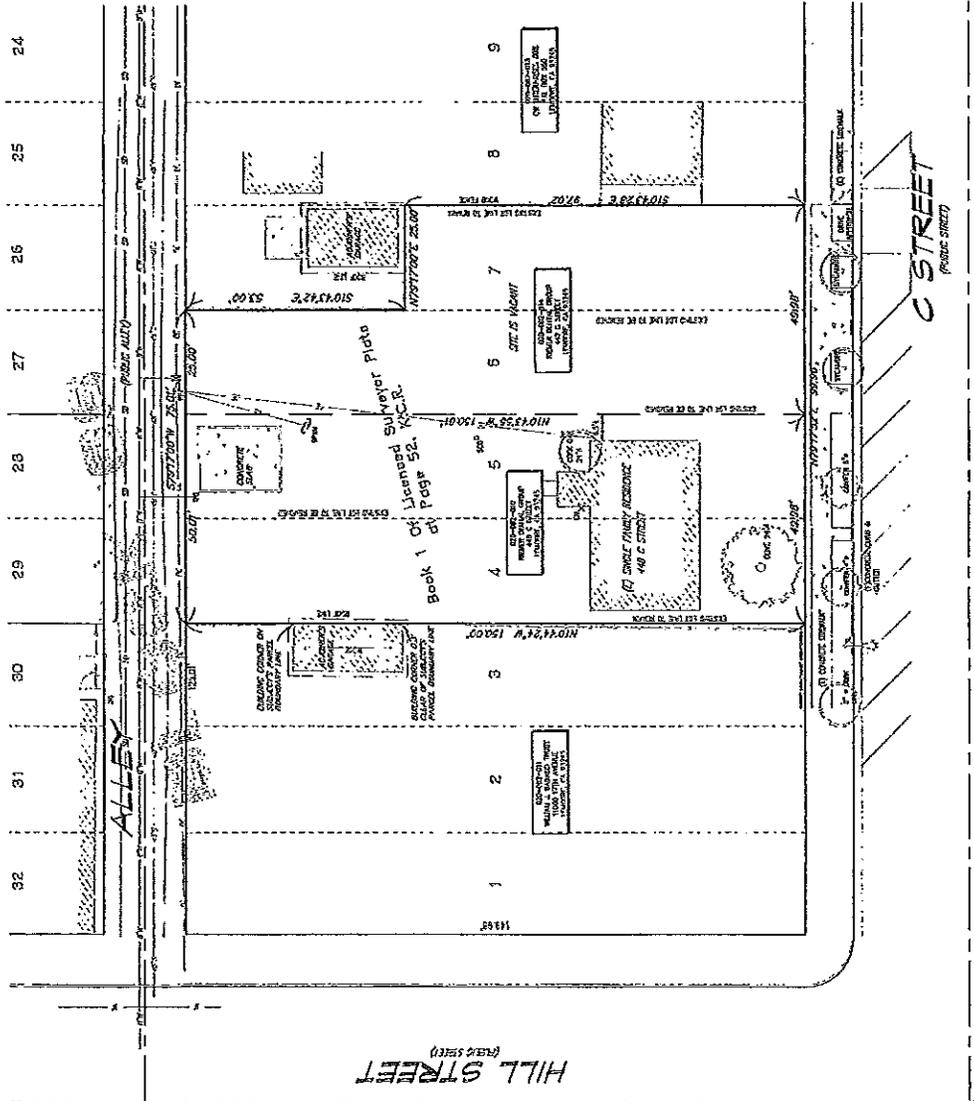
**NOTES**

EXISTING CITY UTILITY SERVICES IN ALLEY  
 ALL EXISTING ON-SITE IMPROVEMENTS WILL BE DEMOLISHED

PREPARED FOR:  
**REMER DENTAL GROUP**  
 437 WEST D STREET  
 LEMOORE, CA 93245



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JOB # 14290-02  
 DRAWN BY: DGM  
 DATE: 11/23/14  
 DATE # 14290-0201  
 FIELD BOOK: 354  
 PROFESSIONAL: 01/15/14

## CHAPTER 6

**DOWNTOWN DEVELOPMENT STANDARDS**

## SECTION:

- 9-6-1: Purpose And Overview
- 9-6-2: Base Development Standards
- 9-6-3: Parking Area And Encroachments
- 9-6-4: Architectural Design Standards
- 9-6-5: Building Types And Frontages
- 9-6-6: Special Design And Operational Standards
- 9-6-7: Conversion Of Residences To Nonresidential Uses

9-6-1: **PURPOSE AND OVERVIEW:**

- A. Purpose: This chapter describes the specific development and land use standards for the downtown area of Lemoore. These standards work in concert with the other provisions of this title to define the allowed use, development, and design parameters for the downtown.
- B. Overview Of Form Based Zoning: Form based zoning provides a method of regulating development to achieve a desired urban form characterized by building typologies, and street frontage requirements. Form based provisions address the relationship between building facades and the public realm (e.g., streets and sidewalks), and the form and mass of buildings.
- C. Applicability Of Standards: As established in chapter 3, "Zoning Districts And Map", of this title, downtown Lemoore is broken down into three (3) zoning districts: downtown mixed use - core (DMX-1), downtown mixed use - auto oriented (DMX-2), and downtown mixed use - transitional (DMX-3). Chapter 4, "Land Uses", of this title identifies the allowed uses within each of these districts. This chapter identifies the development standards and design requirements for all new development and remodels of existing development within these districts. Unless otherwise exempted, all development and redevelopment in the DMX-1, DMX-2, and DMX-3 districts shall comply with the standards in this chapter and shall be reviewed for consistency as part of site plan and architectural review and zoning plan review.

D. Deviations: Deviations from this chapter shall be allowed through the site plan and architectural review process for public/civic buildings. (Ord. 2013-05, 2-6-2014)

9-6-2: **BASE DEVELOPMENT STANDARDS:** All proposed development and redevelopment of property within the downtown shall comply with the base development standards listed in this section.

A. Building Placement: Each proposed new or remodeled structure shall comply with the build-to line, setback, and buildable area standards listed in table 9-6-2-A1, "Building Placement", of this section, except that encroachments into the public right of way may be allowed as provided in subsection 9-6-3B, "Encroachments", of this chapter.

TABLE 9-6-2-A1  
BUILDING PLACEMENT

Development Standard	Measurement		
	DMX-1	DMX-2	DMX-3
Build-to line (maximum distance from property line):			
Front	0' <sup>1,2</sup>	5' <sup>3</sup>	No max.
Street side, corner lot	0' <sup>1,2</sup>	5' <sup>3</sup>	No max.
Setback (minimum distance from property line):			
Front	0'	0'	15'
Street side, corner lot	0'	0'	15'
Side	0'	0'	5'
Rear, adjacent to property line	0'	0'	15'
Rear, adjacent to alley	0'	0'	0' <sup>4</sup>

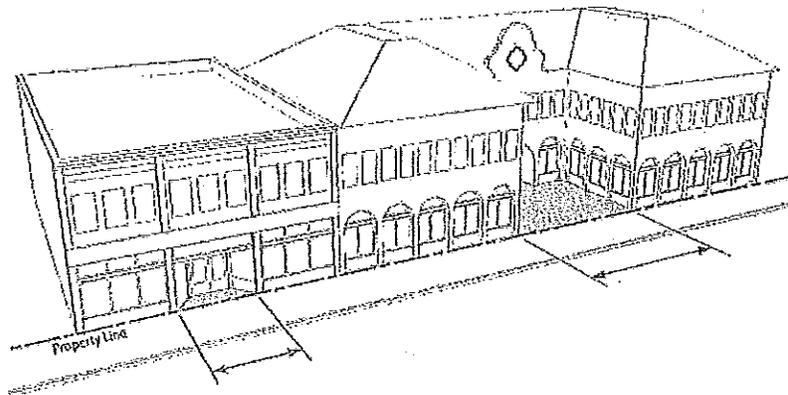
Notes:

1. Up to 30 percent of the length of the building facade along a street may be recessed. A higher percentage shall be allowed through site plan and design review where the setback area provides a more meaningful pedestrian area, such as patio seating for a restaurant, or other gathering spaces. See figure 9-6-2-A1, "Recessed Spaces", of this section.
2. Exceptions shall be granted through site plan and design review for historic home/office conversion buildings and frontages to a maximum of 20 feet.

Notes (cont.)

3. Exceptions shall be granted through site plan and design review for automotive related uses to a maximum setback of 30 feet.
4. Row houses may be developed with no side yard setback and no alley setback as part of site plan and design review.

FIGURE 9-6-2-A1  
RECESSED SPACES



Up to 30 percent of the length of the building facade for each building along a street may be recessed to create inviting pedestrian spaces such as entries, courtyards, and patios.

- B. Height: Height standards for development within the downtown are listed in table 9-6-2-B1, "Height", of this section and shown in figure 9-6-2-B1, "Height", of this section.

TABLE 9-6-2-B1  
HEIGHT

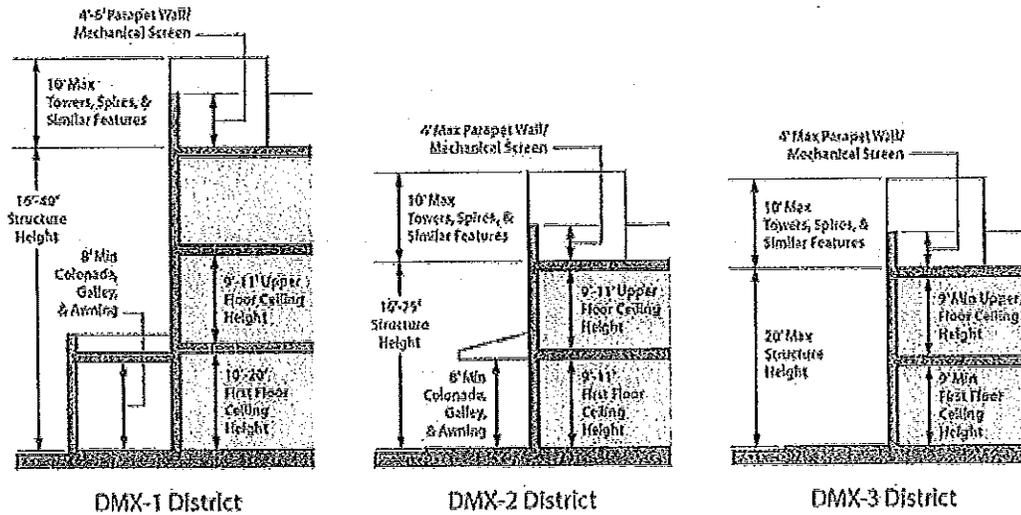
Development Standard	Measurement		
	DMX-1	DMX-2	DMX-3
General height standards (maximum height):			
Structure height (finished grade to top of roof)	16' min., 40' max. <sup>1</sup>	16' min., 25' max.	No min., 20' max.
First floor ceiling height (finished floor to finished ceiling top plate)	10' min., 20' max.	9' min., 11' max.	No min. or max.
Upper floor(s) ceiling height (finished floor to finished ceiling)	9' min., 11' max.	9' min., 11' max.	9' min., No max.

Development Standard	Measurement		
	DMX-1	DMX-2	DMX-3
Projections (additional height above maximum):			
Parapet wall, mechanical screen, and sloped false roofs	4' min., 8' max.	4' max.	4' max.
Towers, spires, elevator structures and similar features	10' max.	10' max.	10' max.
Vertical clearance of architectural features over public right of way	8' min.	8' min.	Not allowed

Note:

1. See special requirements for landmark buildings in subsection 9-6-4D, "Landmark Buildings", of this chapter.

FIGURE 9-6-2-B1  
HEIGHT



(Ord. 2013-05, 2-6-2014)

9-6-3: **PARKING AREA AND ENCROACHMENTS:**

- A. Parking: In places where parking is required or provided at the option of the property owner, parking areas shall be developed

consistent with the standards listed in table 9-6-3-A, "Parking Area Design", of this section.

TABLE 9-6-3-A  
PARKING AREA DESIGN

Development Standard	Measurement		
	DMX-1	DMX-2	DMX-3
Parking lot location (minimum setback):			
Setback from front property line	10' min.	10' min.	15' min.
Setback from side property line	5' min.	5' min.	5' min.
Setback from street side property line	10' min.	10' min.	10' min.
Setback from rear property line	4' min.	4' min.	4' min.

- B. Encroachments: Permanent structures or improvements, including, but not limited to, planter boxes, seating, galleries, and awnings, are allowed within the public right of way within the DMX-1 and DMX-2 districts with approval of an encroachment agreement. Encroachments into the public right of way shall be in conformance with the standards in table 9-6-3-B1, "Encroachments", of this section and shown in figures 9-6-3-B1, "Encroachments", and 9-6-3-B2, "Sidewalk Clearance", of this section.

TABLE 9-6-3-B1  
ENCROACHMENTS

Development Standard	Measurement		
	DMX-1	DMX-2	DMX-3
Encroachment location:			
Front and street side (maximum encroachment distance)	8'	8'	Permanent encroachments not allowed in the DMX-3 district
Clear space to curb (minimum distance to maintain clear at all times)	4'	4'	
Clear walk path (minimum distance to maintain clear at all times)	4'	4'	
Vertical clear area to sidewalk (minimum distance to maintain clear at all times)	8'	8'	

FIGURE 9-6-3-B1  
ENCROACHMENTS

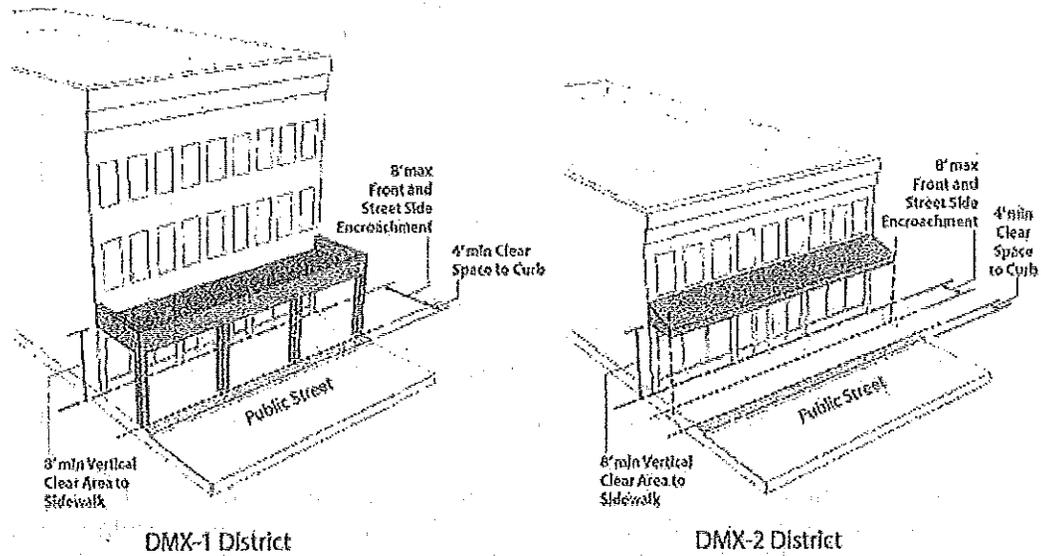
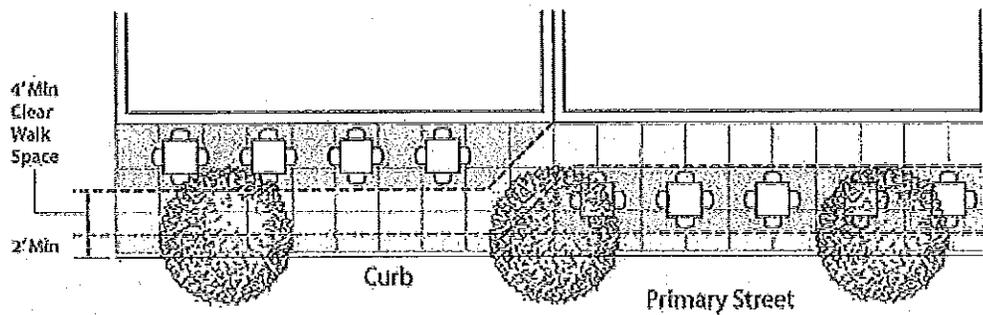


FIGURE 9-6-3-B2  
SIDEWALK CLEARANCE



(Ord. 2013-05, 2-6-2014)

9-6-4: **ARCHITECTURAL DESIGN STANDARDS:** This section includes architectural design standards for all new buildings, renovated buildings, and remodels within the downtown.

The city shall not require more than twenty percent (20%) of the construction costs for the building to be toward architectural detailing. Documentation showing the cost of the detailing relative to the overall cost of the structure will only need to be submitted by the applicant if they seek relief as part of the site plan and architectural design review process.

A. Architectural Details:

1. New and remodeled buildings within the downtown shall include architectural detailing consistent with the design character of the DMX district within which it is located. Design features include, but are not limited to, the following concepts identified below and illustrated in figure 9-6-4-A1, "Design Concepts", of this section:

a. Detailed cornice such as relief banding, tile banding, and accent tiles;

b. Trim around windows (e.g., window hoods and lintels) and doors;

c. Windows with muntins or glazing bars (elements that divide the window into multiple panes/lites) and/or mullions (structural elements that divide adjacent window units);

d. Expression lines between the first and second floors of multi-story buildings;

e. Transom windows on the first floor;

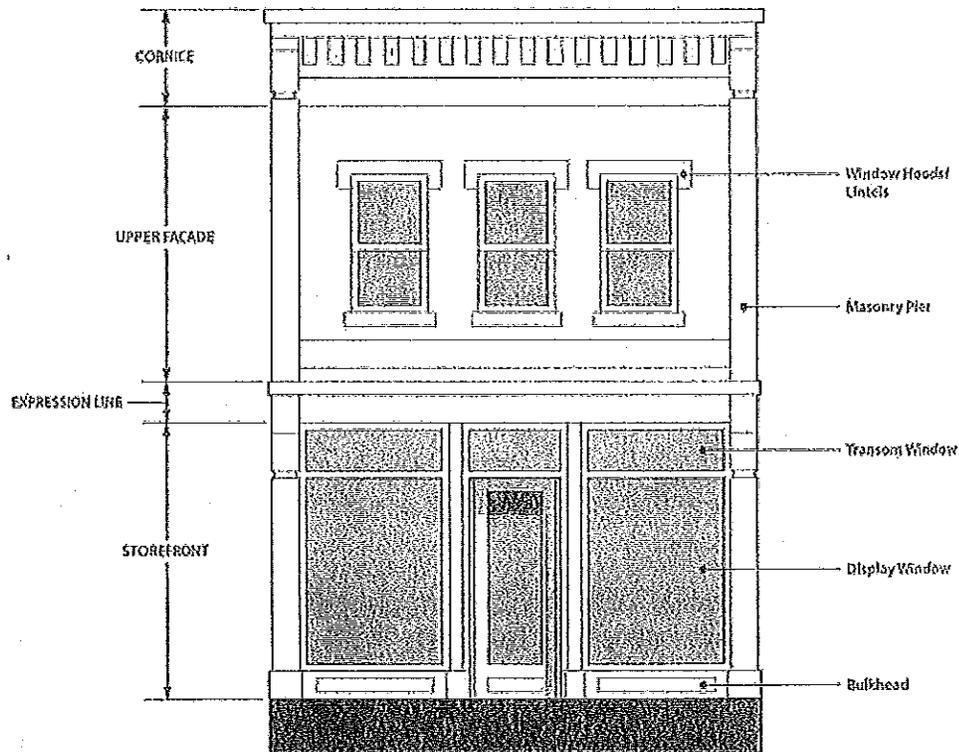
f. Recessed entries;

g. Large display windows that run the length of the building frontage; and

h. Wainscot base treatments along the bulkhead.

(see following page)

FIGURE 9-6-4-A1  
DESIGN CONCEPTS



2. The physical design of building facades shall vary every twenty (20) to thirty (30) linear feet. This can be achieved through such techniques as:

- a. Architectural division into multiple buildings,
- b. Break or articulation of the facade,
- c. Significant change in facade design,
- d. Placement of window and door openings, or
- e. Position of awnings and canopies.

B. **Building Materials:** Building materials and finishes shall be selected to reinforce the overall design intent of the project and be consistent with the desired architectural character of the building. Buildings and

structures shall be constructed with durable, low maintenance, and timeless building materials of the same or higher quality as surrounding developments. See figure 9-6-4-B1, "Building Materials", of this section.

1. The following materials are encouraged, but not required:

a. Roofs:

- (1) Barrel "U" shaped mission tile in a natural terra cotta or clay earth tone color;
- (2) Concrete tiles in terra cotta or earth tones;
- (3) Exposed wood structural members such as rafter tails, roof beams, and corbels;
- (4) Copper accents, gutters, downspouts, and scuppers;
- (5) Built up stucco or preformed molding on parapets for flat roof buildings.

b. Building walls:

- (1) Stucco (with hand troweled, smooth appearance), adobe, terra cotta, brick, replica brick, and cut stone are all acceptable materials to use on a main surface of a building;
- (2) Wood surfaces in the form of lap siding or board and batten may be used when consistent with architectural character of the building;
- (3) Ornamental tiles, wood, and bricks can be used as trim or accents around the base of the building;
- (4) Split face block may be used on unexposed sides and rears of buildings.

2. The following materials are prohibited:

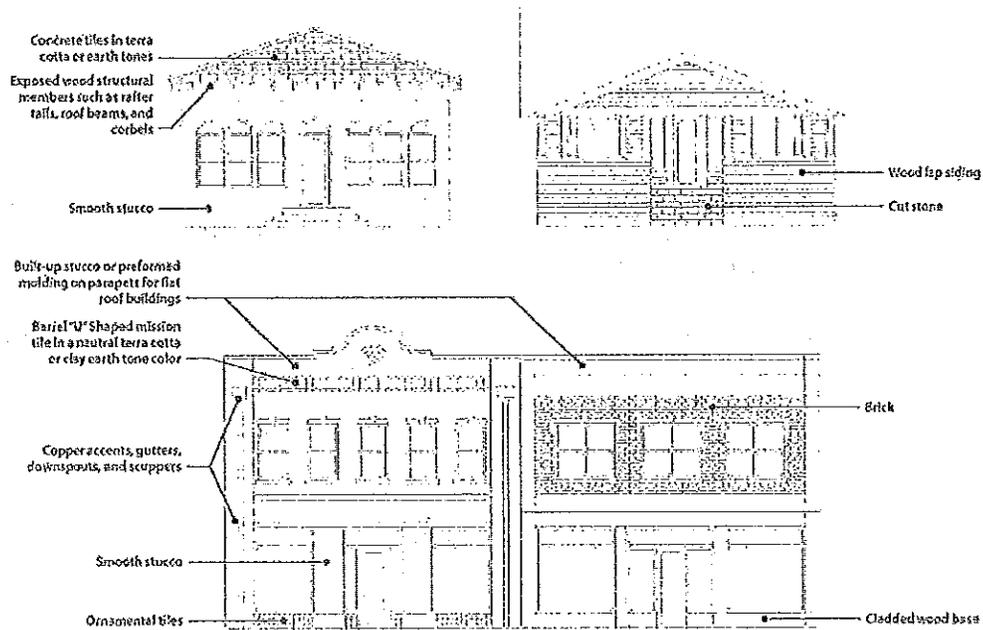
a. Roofs:

- (1) Brightly colored glazed roofing tiles; and
- (2) Wood shingles and shake roofs.

b. Building walls:

- (1) Synthetic materials of poor quality;
- (2) Corrugated fiberglass;
- (3) Coarsely finished or unfinished plywood;
- (4) Metal siding;
- (5) Unfinished concrete block and split face block;
- (6) Shingles and T-111 siding;
- (7) Slumpstone block; and
- (8) Stucco when applied by sprayer (lace, sand finishes).

FIGURE 9-6-4-B1  
BUILDING MATERIALS



C. Colors And Painting: Color is an important aspect of the overall building design and character. Palettes shall be balanced, using the correct proportions between the lighter base colors and the brighter accent colors. Colors are to be chosen from the city adopted historic color palette, which is the Benjamin Moore Historic Colors palette, the America's Colors palette, and the Ready Mixed Colors palette. See figure 9-6-4-C1, "Building Color", of this section.

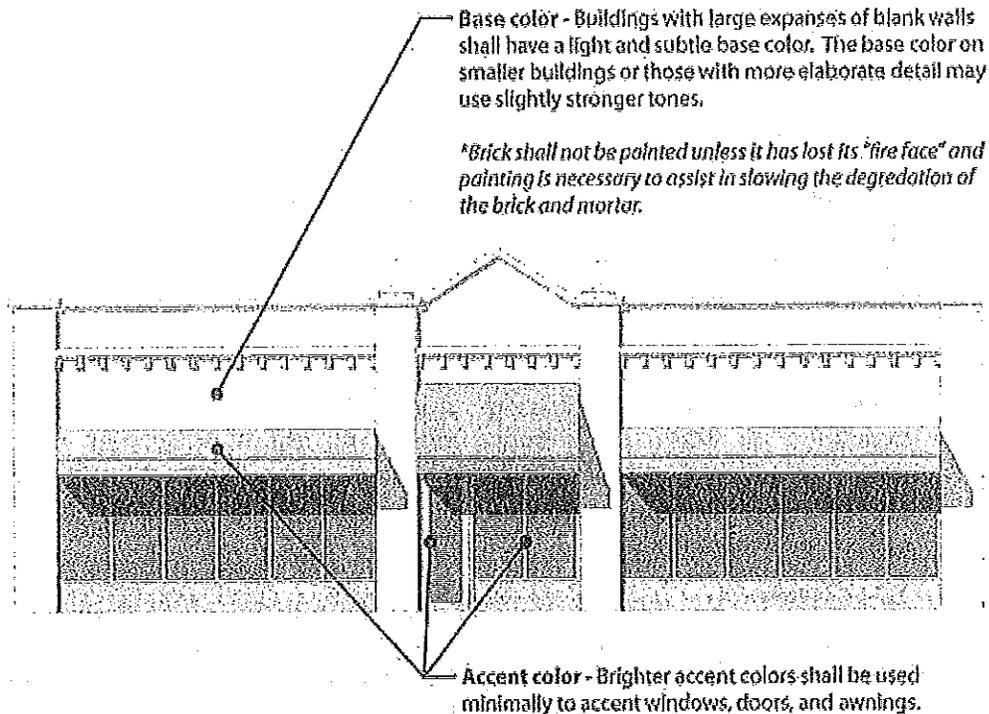
1. Brick: Brick shall not be painted unless it has been determined by the chief building official that the brick has lost its fire face and clear coat painting is necessary to assist in slowing the degradation of the brick and mortar.

2. Base Color: Buildings with large expanses of blank walls shall have a light and subtle base color. The base color on smaller buildings or those with more elaborate detail may use slightly stronger tones. Examples of base colors include, but are not limited to, light gray, cream, white, pale flesh, pale yellow, light beige, sage green, and caramel.

3. Accent Color: Brighter accent colors shall be used minimally to accent windows, doors, and awnings. Special materials such as glazed tile can also be used to introduce accent colors on building facades. Examples of accent colors include, but are not limited to, forest green, deep blue green, brick red, deep blue, and sea green.

(see following page)

FIGURE 9-6-4-C1  
BUILDING COLOR



D. **Landmark Buildings:** The city encourages that new and remodeled buildings on corner lots in the DMX-1 zone be developed with the following features, achieving a concept called "landmark buildings" where corner lots have a more prominent presence and character than interior lots.

1. Utilize a multi-story design (at least 2 stories tall) with full, habitable upper floors;

2. Utilize corner treatments, including the use of towers, angled entries, balconies, and plaza areas;

3. Incorporate a higher level of architectural treatment than interior lots, including, but not limited to, articulated parapets and enhanced facade detail and trim (e.g., detailed cornice and expression line).

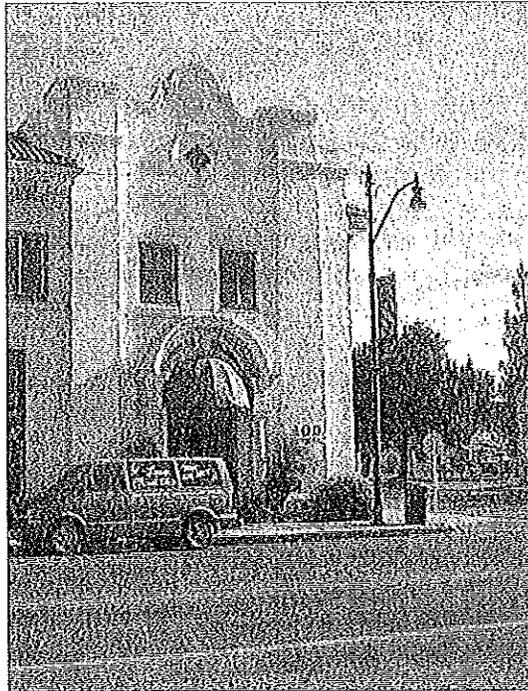
E. **Lighting:** Lighting shall be used to enhance the architectural details of a building, such as spotlighting for a shadow effect, to provide security to a building and to indicate whether a business is open. In

addition to the requirements of section 9-5B-4, "Outdoor Lighting", of this title, development within the downtown shall comply with the following lighting standards:

1. Lighting fixtures shall be attractively designed to complement the architecture of the project. Accent lighting should be used to accent building details such as tower elements, ornamental windows, and tile, or to accent landscaping.
2. Lighting should improve visual identification of residences and businesses and create an inviting atmosphere for passersby.
3. Wall mounted lights should be used to the greatest extent possible to minimize the total number of freestanding light standards and shall be well detailed to complement the building architecture.
4. Parking lot lighting fixtures should not exceed twenty four feet (24') in height. When within fifty feet (50') of residential properties, fixtures should not exceed eighteen feet (18').
5. The light source used in outdoor lighting should provide a warm, calm glow, such as yellow light.
6. Street lighting shall be provided consistent with the city's improvement standards and other adopted lighting standards for the downtown, including specifically the type and style of historic light fixture similar to those existing in downtown. See figure 9-6-4-E1, "Street Lighting", of this section for an example.

(see following page)

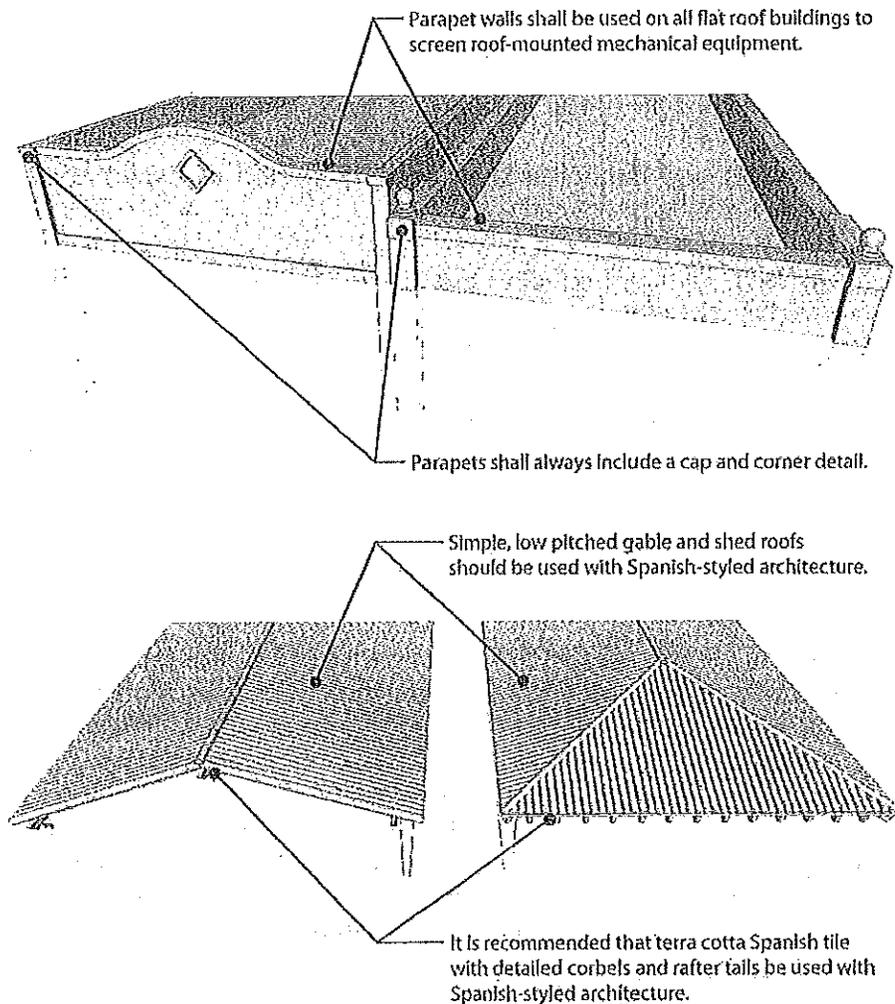
FIGURE 9-6-4-E1  
STREET LIGHTING



F. **Roof Forms:** The following are the required design of roofs within the downtown. See figure 9-6-4-F1, "Roof Forms", of this section.

1. Parapet walls shall be used on all flat roof buildings to screen roof mounted mechanical equipment. Parapets shall always include a cap and corner detail.
2. The visible portion of sloped roofs should be sheathed with a roofing material complementary to the architectural style of the building and other surrounding buildings.
3. Simple, low pitched gable and shed roofs should be used with Spanish styled architecture. Terra cotta Spanish tile with detailed corbels and rafter tails can also be used.

FIGURE 9-6-4-F1  
ROOF FORMS



- G. Windows, Doors, And Awnings: New and remodeled windows, doors, and awnings shall meet the following standards:
1. Recess doors and windows to give the appearance of traditional, thick masonry walls consistent with architecture of the early 1900s and to produce interesting shadows.
  2. Provide large storefront windows along first floor elevations accessible by the general public. These windows open up the sidewalk to create an inviting pedestrian atmosphere.

3. Use consistent treatment and types of windows and door frames across the entire building (or tenant space when a building is visually broken down to appear as multiple buildings from the street).

4. Windows shall include muntins or glazing bars (elements that divide the window into multiple panes/lites) and/or mullions (structural elements that divide adjacent window units) consistent with the architectural style of the building.

5. Awnings and canopies shall be constructed of canvas and metal. Textured plastic is not allowed.

6. Store entrances should open onto the public sidewalk. Space entrances to stores, particularly in the DMX-1 district, between twenty feet (20') and thirty feet (30') apart.

7. Windows shall not be reflective or dark glass and may not be tinted more than to meet building energy codes. (Ord. 2013-05, 2-6-2014)

9-6-5: **BUILDING TYPES AND FRONTAGES:**

- A. **Overview Of Standards:** This section identifies the types of buildings and frontages allowed within downtown. Frontage type refers to the architectural composition of the front facade of a building, particularly concerning how it relates and ties into the surrounding public realm. The downtown Lemoore frontage types are intended to enhance social interactions in the historic downtown while simultaneously providing appropriate levels of privacy in residential areas. All new development within the downtown shall be consistent with one or more of the building and frontage types allowed within the applicable DMX district.

There are nine (9) types of buildings and frontages that can be developed throughout the downtown. The types allowed in each downtown district are listed in subsection B, "Allowed Buildings And Frontages In Each DMX District", of this section. The frontage types are defined, along with specific development standards for each type, in subsection C, "Building And Frontage Definitions And Standards", of this section.

- B. **Allowed Buildings And Frontages In Each DMX District:** Allowed building and frontage types in the different DMX districts are listed in

table 9-6-5-B1, "Allowed Buildings And Frontages", of this section. The symbols in the table shall have the following meanings:

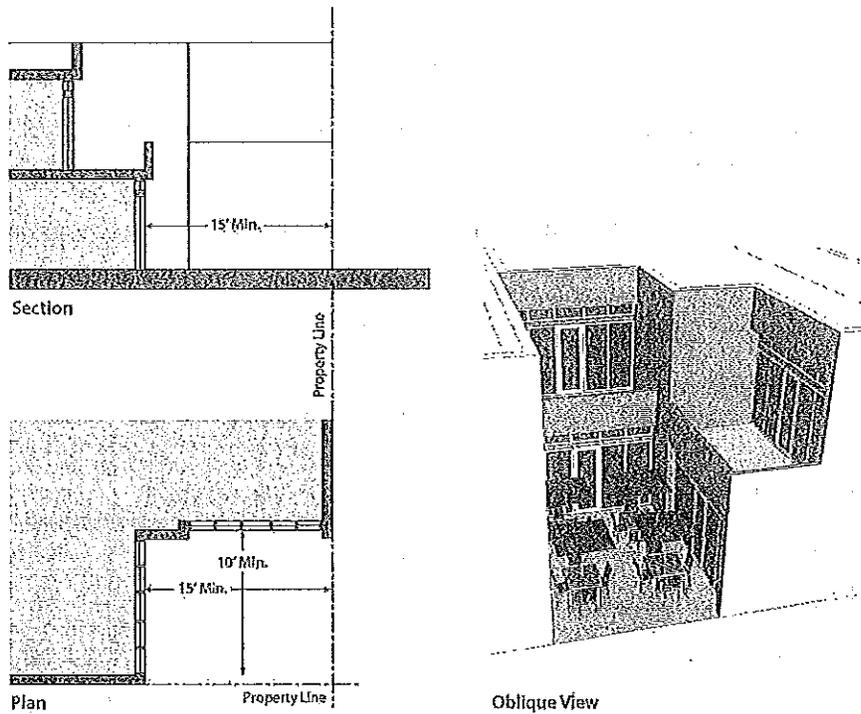
1. An "A" means that the building and frontage type is allowed;
2. An "E" means that the building and frontage type is preferred and encouraged; and
3. An "N" means that the building and frontage type is not permitted.

TABLE 9-6-5-B1  
ALLOWED BUILDINGS AND FRONTAGES

Building And Frontage Type	Allowed Buildings And Frontages By Downtown District		
	DMX-1	DMX-2	DMX-3
Alley/paseo - active	E	A	N
Alley/paseo - nonactive	A	A	A
Balcony/bay window	A	N	N
Gallery - deck or roof	E	N	N
Historic home/office conversion	A	A	E
Porch	N	A	A
Row house	N	A	A
Storefront	E	A	N

- C. **Building And Frontage Definitions And Standards:** The following defines the various building and frontage types allowed in the downtown. Each type includes text and illustrations describing the features that define the building and its frontage. It also includes a series of development standards for each type (e.g., minimum spacing between supporting columns). Development applications will be reviewed for consistency with these standards as part of site plan and architectural review and building permit plan check. These standards are in addition to any requirements of the city adopted building and fire codes as may be required at the time of building permit issuance.

ALLEY/PASEO - ACTIVE

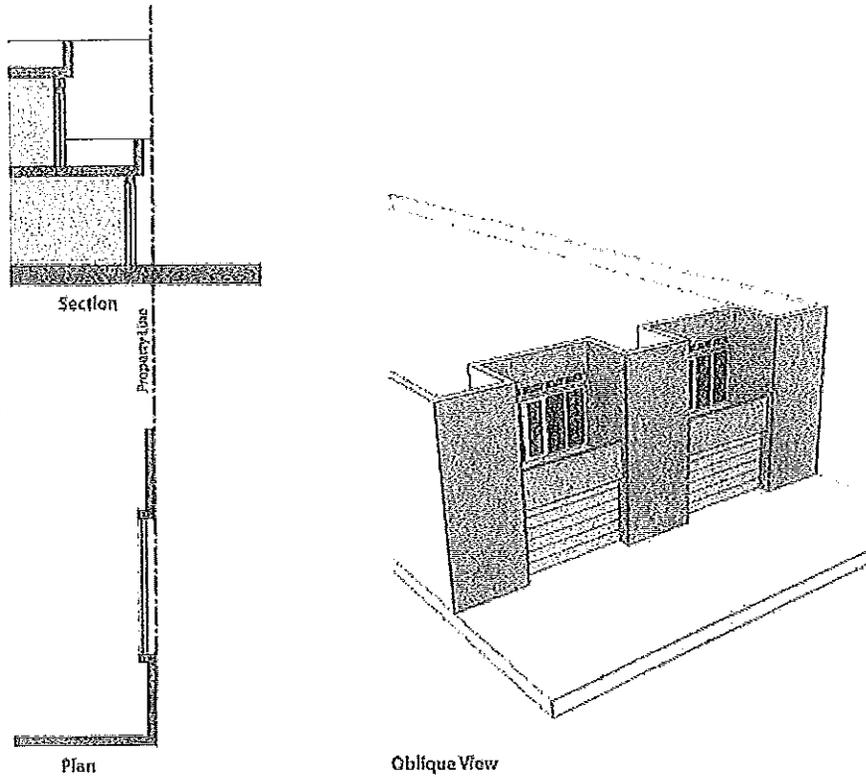


**Alley/Paseo - Active Description:** The active alley/paseo frontage is the development of the rear of a building abutting an alley with an active pedestrian area. Examples include patio seating for restaurants, primary entrances for ground floor businesses, and other gathering spaces for pedestrians. While alleys are typically used as the service areas for buildings (e.g., trash collection, utility service), the city recognizes that parcels in the downtown have substantial depth and present an opportunity for property owners to create multiple tenant spaces at both ends of their buildings.

Alley/Paseo - Active Dimensions

Development Standard	Measurement
Pedestrian area:	
Width	10 feet minimum
Depth	15 feet minimum

ALLEY/PASEO - NONACTIVE

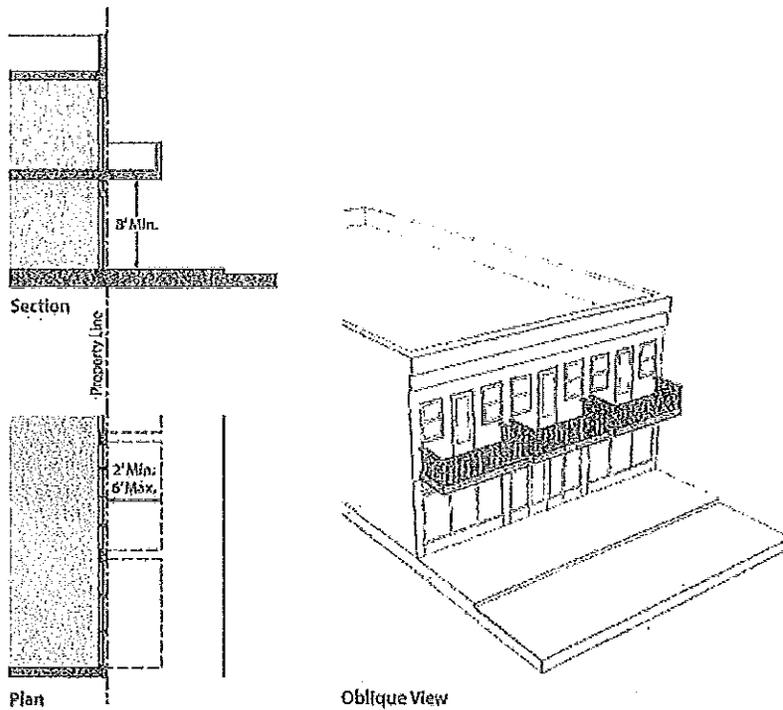


**Alley/Paseo - Nonactive Description:** The nonactive alley/paseo frontage is the development of a building directly abutting the rear property line where there is an alley. This type of frontage may have secondary/emergency access to the building, along with utility and service access. This type of frontage is appropriate for retail and office buildings throughout the downtown, as well as row houses with alley access garages. This frontage type does allow for a balcony or balconies to be built along the frontage, provided the balcony does not encroach into the alley.

Alley/Paseo - Nonactive Dimensions

Development Standard	Measurement
There are no specific development standards for the alley/paseo - nonactive building and frontage beyond the building placement and height standards in section 9-6-2, "Base Development Standards", of this chapter.	

BALCONY/BAY WINDOW



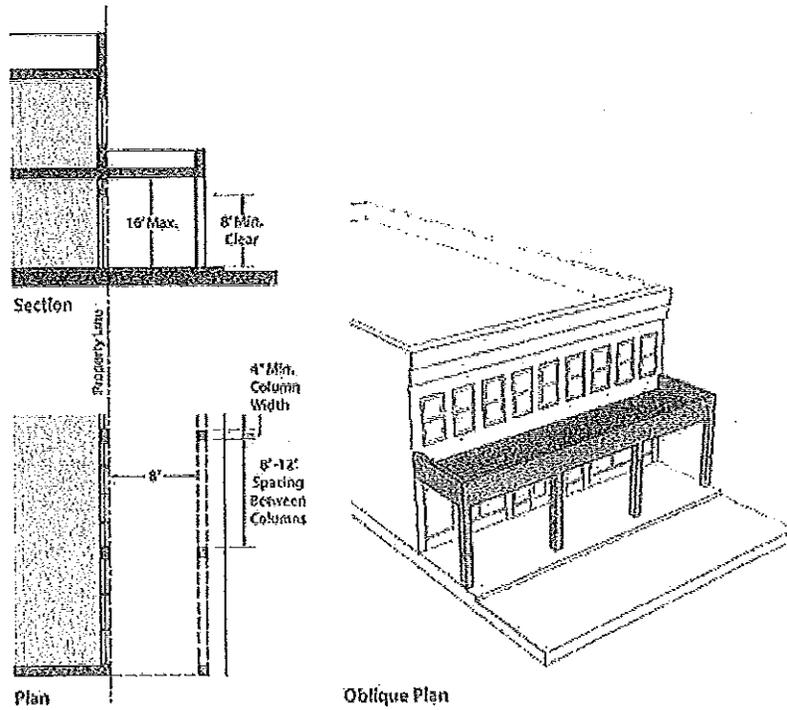
Balcony/Bay Window Description: A balcony/bay window frontage is characterized by a facade which is aligned close to or directly on the build-to line with the building entrance at the sidewalk grade and by a balcony or bay window projecting into the right of way on a floor other than the ground floor. This frontage is typically appropriate for ground floor retail or restaurant use with office or residential above. An encroachment agreement is needed to construct this frontage type.

Balcony/Bay Window Dimensions

Development Standard	Measurement
Depth	2 feet minimum 6 feet maximum
Height (base to sidewalk)	8 feet minimum clear
Percentage of building front (collective)	50 percent to 100 percent

Development Standard	Measurement
Doorways (ground floor):	
Doorway inset	0 feet to 12 feet
Doorway width	5 feet to 11 feet
Ground floor windows:	
Window width	5 feet to 7 feet
Window height (allowed range)	6 feet to 7 feet

GALLERY - DECK OR ROOF



Gallery - Deck Or Roof Description: A gallery - deck or roof frontage is characterized by a facade which is aligned close to or directly on the build-to line with the building entrance at the sidewalk grade and with an attached colonnade deck that projects over the public sidewalk and encroaches into the public right of way. The sidewalk

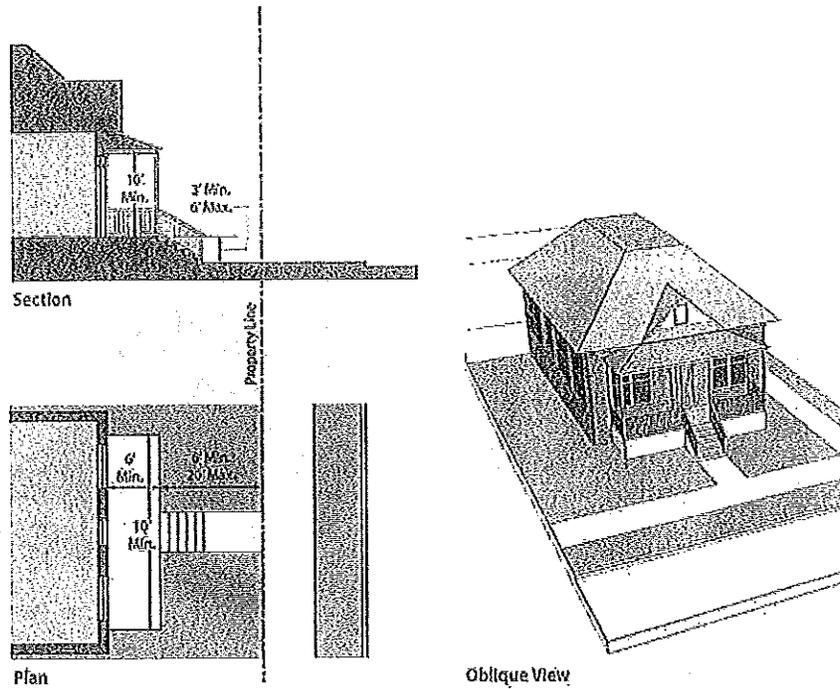
must be fully absorbed within the colonnade so that a pedestrian may not bypass it. The colonnade may project over the public sidewalk, provided that the upper stories of the building do not also project over the public sidewalk. This frontage is typically appropriate for retail use. An encroachment agreement is needed to construct this frontage type.

Gallery - Deck Or Roof Dimensions

Development Standard	Measurement
Depth	8 feet
Height (base to sidewalk)	8 feet minimum clear 16 feet maximum
Percentage of building front	100 percent
Spacing between columns	8 feet minimum to 12 feet maximum
Minimum column width	4 inches
Doorways (ground floor, allowed ranges):	
Doorway inset	0 feet to 12 feet
Doorway width	5 feet to 11 feet
Ground floor windows (allowed ranges):	
Window width	5 feet to 7 feet
Window height	6 feet to 7 feet

(see following page)

HISTORIC HOME/OFFICE CONVERSION



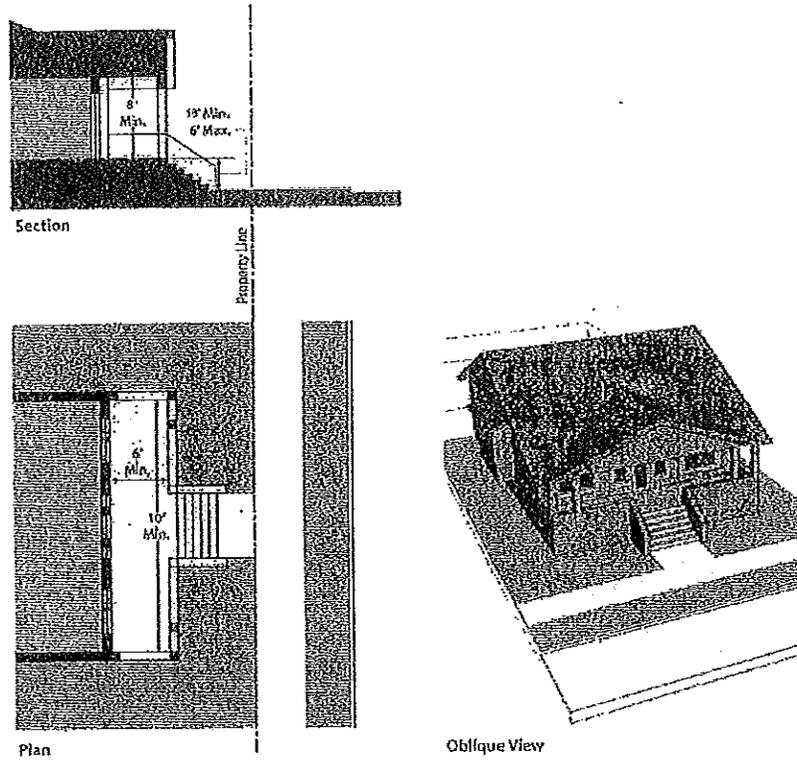
Historic Home/Office Conversion Description: The historic home/office conversion frontage is the reuse of an existing home for a nonresidential use (typically office or general medical service), or the development of a new structure to resemble a historic home that has been converted to an office use.

Historic Home/Office Conversion Dimensions

Development Standard	Measurement
Setback	20 feet maximum
Distance to porch	6 feet minimum 20 feet maximum
Porch height above sidewalk grade	3 feet minimum 6 feet maximum
Porch width	10 feet minimum
Porch depth	6 feet minimum
Clearance above porch to roof	10 feet minimum

Note: ADA ramp(s) shall be located to connect to the side of the porch. Ramps are exempt from setback standards.

PORCH

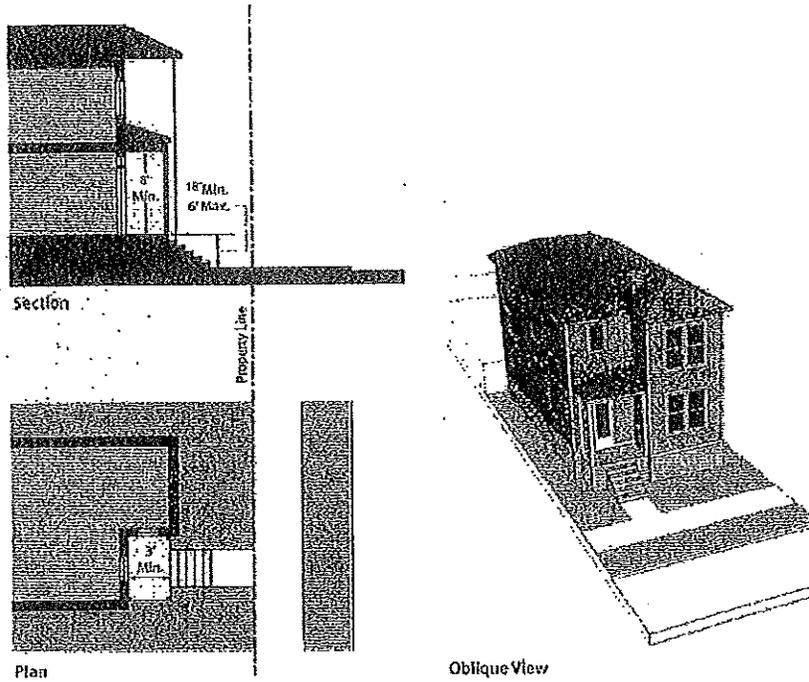


Porch Description: The porch frontage is intended for residential uses. The type is characterized by a covered, active outdoor living space connected to the front of the building. The porch shall be raised above the finished grade of the lot and adjacent public sidewalk.

Porch Dimensions

Development Standard	Measurement
Porch height above sidewalk grade	18 inches minimum 6 feet maximum
Porch width	10 feet minimum
Porch depth	6 feet minimum
Clearance above porch to roof	8 feet minimum

ROW HOUSE

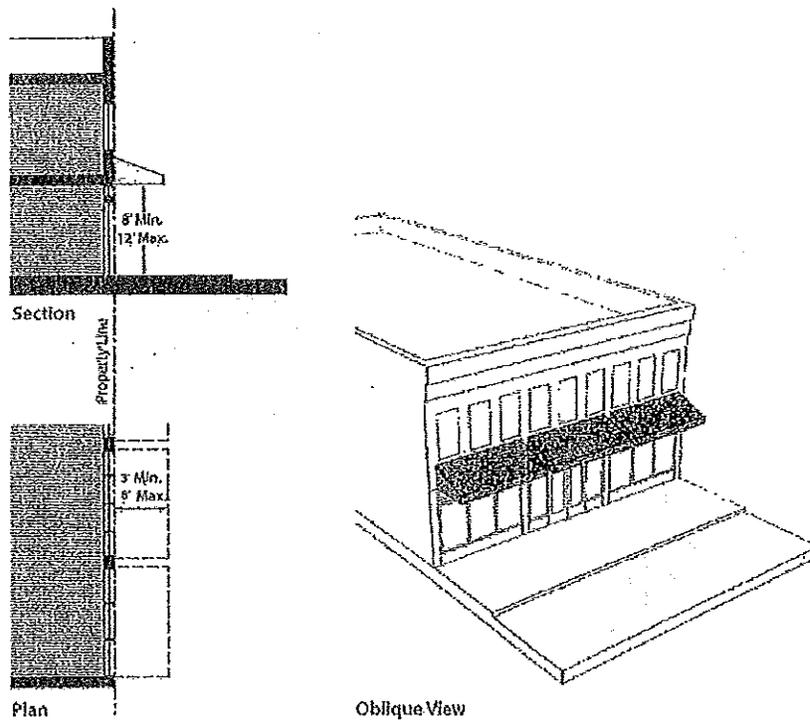


Row House Description: A row house is a residential dwelling with little to no side yard. The entrance to the dwelling is raised above the sidewalk in order to create privacy for the occupant. Living spaces are located at the front of the unit. Parking is accessible from the alley behind the unit.

Row House Dimensions

Development Standard	Measurement
Stoop height above sidewalk grade	18 inches minimum 6 feet maximum
Stoop depth	3 feet minimum
Clearance above stoop	8 feet minimum

### STOREFRONT



Storefront Description: A storefront frontage is characterized by a facade which is aligned close to or directly on the public right of way line with the building entrance at sidewalk grade. Storefront frontages have substantial glazing on the ground floor and provide awnings or canopies cantilevered over the sidewalk. Building entrances may either provide a canopy or awning, or alternatively, may be recessed behind the front building facade. Awnings over the public sidewalk require approval of an encroachment agreement.

Storefront Dimensions

Development Standard	Measurement
Awning depth	3 feet minimum 8 feet maximum
Height (base to sidewalk)	8 feet minimum clear 12 feet maximum

Development Standard	Measurement
Doorways (allowed range):	
Doorway inset	0 feet to 12 feet
Doorway width	5 feet to 11 feet
Ground floor windows (allowed range):	
Window width	5 feet to 7 feet
Window height	6 feet to 7 feet

(Ord. 2013-05, 2-6-2014)

9-6-6: **SPECIAL DESIGN AND OPERATIONAL STANDARDS:** The following are special development standards for the downtown pertaining to trash enclosures and utilities. These standards are intended to ensure that services for properties within the downtown are planned and developed in a manner that is consistent with the overall character of the area.

A. **Outdoor Dining:** The development standards below apply to all outdoor seating for food uses, including both fixed and movable seats. These standards are intended to be consistent with the requirements of the state alcoholic beverage control agency.

1. **Location:** Seating shall be located proximate to the dining establishment. Where seating is located within the public right of way, an encroachment agreement shall be required and seating areas shall be installed consistent with subsection 9-6-3B, "Encroachments", of this chapter, specifically maintaining a clear walk path as illustrated in section 9-6-3, figure 9-6-3-B2, "Sidewalk Clearance", of this chapter.

2. **Enclosure:** An enclosure wall, fence, or planter shall be required around any outdoor seating areas with restaurant table service where alcohol is served, consistent with state licensing requirements. Walls, fences, and planters shall not exceed a maximum height of three and one-half feet (3.5'). The wall/fence may be extended to a maximum height of six feet (6') if the area above three and one-half feet (3.5') remains primarily open view (e.g., glass, wrought iron).

B. Outdoor Sales (Temporary): The following development and operational standards apply to all temporary outdoor sales. See also figure 9-6-6-B1, "Temporary Outdoor Sales", of this section.

1. Location: Outdoor sales are allowed to occur when consistent with the following standards:

a. On private property, on the same lot as the associated retail operation; and

b. Along the public sidewalk when consistent with subsection 9-6-3B, "Encroachments", of this chapter, specifically maintaining a clear walk path as illustrated in section 9-6-3, figure 9-6-3-B2, "Sidewalk Clearance", of this chapter. Displays shall be located directly against the building and not along the curbside.

2. Maximum Area: Outdoor sales areas may not take up more than seventy five percent (75%) of the frontage of the building that they are associated with.

3. Product Display: Products shall be displayed as follows:

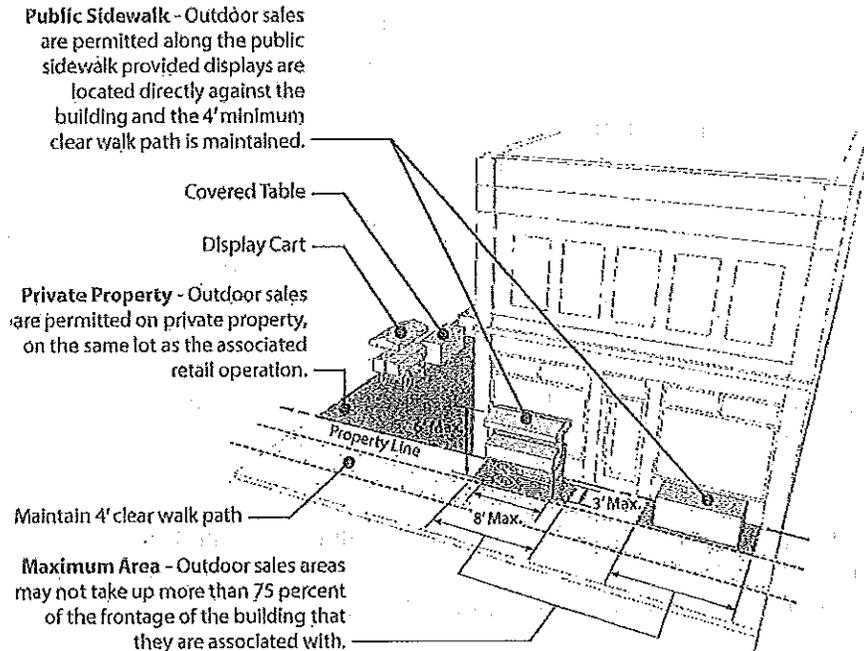
a. Tables: Products displayed on tables shall be kept organized at all times. The tables shall be covered with a table cloth or skirt such that the legs and under table area is screened.

b. Display Carts: Display carts shall be no taller than six feet (6'), no longer than eight feet (8'), and no wider than three feet (3').

4. Term: Products may only be displayed outdoors during the business hours of the associated retail use. Goods may not be displayed outside overnight.

(see following page)

FIGURE 9-6-6-B1  
TEMPORARY OUTDOOR SALES



C. **Outdoor Storage And Sales (Permanent):** The following development and operational standards apply to all permanent outdoor storage.

1. **Location:** Outdoor storage and permanent sales are allowed in the rear of the lot or within interior side yards. Outdoor storage is not allowed within front and street side yards.

2. **Maximum Area:** The maximum area allowed for outdoor storage shall be twenty five percent (25%) of the total lot area.

3. **Enclosure/Screening:** Outdoor storage areas shall be enclosed through the use of walls or fencing. The maximum allowed fence height is six feet (6'). Fencing shall be of a solid surface, blocking all views into the storage space, such as CMU block (required to be treated with a graffiti resistant material) and solid wood.

4. **Storage Area Maintenance And Upkeep When Visible From Public Right Of Way:** When the storage area is viewable from the public

right of way (e.g., sidewalk), the storage area shall be regularly maintained and kept orderly and clean such that it does not create a public nuisance.

D. **Trash Collection:** The following provisions describe the city's minimum standards for the design and location of trash and other refuse collection areas as part of new development.

1. Trash storage must be fully screened from public streets, subject to design approval from the city and operational approval from the public works department. Where practical, storage at common enclosures is preferred. Other design solutions may include, but are not limited to, incorporating within the main structure (subject to compliance with city adopted building and fire codes) or within a separate freestanding enclosure.

2. Trash enclosures shall be architecturally compatible with the project. Examples include use of the same materials and colors as the building.

3. Refuse containers and service facilities shall be screened from view by solid masonry walls with powder coated solid metal doors. Chainlink or wood fencing is prohibited.

4. When possible, trash enclosures shall be located away from residential uses to minimize nuisance for the adjacent property owners.

E. **Utilities:** Utilities for new development and redevelopment of property shall be integrated either into the structure(s), placed underground, or otherwise designed as an integral part of the project. (Ord. 2013-05, 2-6-2014)

9-6-7: **CONVERSION OF RESIDENCES TO NONRESIDENTIAL USES:**

A. **Purpose:** The purpose of this section is to provide development standards that accommodate the conversion of historic residences for nonresidential use in the DMX zone districts, while maintaining the historic character of the neighborhoods.

B. **Development Standards:** When existing buildings that have historically been used as residences are converted to nonresidential uses the standards of this section shall be met.

1. Significant Alteration: For existing residences, exterior alterations or additions will be permitted so long as they do not significantly alter the original architectural style and provided that the changes enhance or upgrade the property.

2. Standards For Conversion: Exterior modifications to buildings shall be minimized to the extent possible. When exterior modifications are made, the standards in table 9-6-7-B, "Standards For Conversion To Nonresidential Use", of this section shall be met.

TABLE 9-6-7-B  
STANDARDS FOR CONVERSION TO NONRESIDENTIAL USE

Development Standard	Measurement
Setback - front	20 feet minimum
Setback - interior side	5 feet minimum
Setback - corner side	10 feet minimum
Setback - rear	5 feet minimum
Building height	35 feet maximum

3. Porches And Handrails: Buildings with existing front and/or side yard covered porches and handrails that are indicative of the architectural style shall remain and be improved.

4. Parking: Parking shall be located in the rear of the lot. Parking shall not be allowed in the front or corner side setback areas of a corner lot.

5. Access: Parking shall only be accessed from the alley. (Ord. 2013-05, 2-6-2014)