LEMOORE PLANNING COMMISSION Regular Meeting AGENDA Lemoore Council Chambers 429 'C' Street

January 9, 2017 7:00 p.m.

- 1. Pledge of Allegiance and Roll Call
- 2. Reorganization of Commissioners Election of Officers Chair and Vice Chair
- 3. Public Comments and Inquiries

If you wish to comment on an item, which is not on the agenda, you may do so under "Public Comment." In order to allow time for all public comments, each individual's comments are limited to five minutes. When addressing the Commission, you are requested to come forward to the speaker's microphone, state your name and address, and then proceed with your presentation.

- 4. Approval Minutes Regular Meeting, October 10, 2016
- 5. Public Hearing Major Site Plan Review No. 2016-02: A request by developer D.R. Horton for approval of new single-family home master plans (floor plans and elevation plans) to be constructed in conjunction with the approved Parkview Estates Subdivision Tract 797 Phases I and II, located on the southwest corner of Hanford-Armona Road and Opal Avenue. APNs 021-260-004, 021-260-006 through 021-260-022, and 021-260-024 through 021-260-043 Steve Brandt, City Planner
 - It has been determined that this Major Site Plan Review is a non-discretionary action and therefore, statutorily exempt from California Environmental Quality Act (CEQA) requirements. [Reference: State CEQA Guidelines Section 15268, Ministerial Exemption.
- 6. Public Hearing Zoning Text Amendment No. 2016-03: Amendments to portions of the Lemoore Municipal Code related to Zoning and Subdivisions; Article A of Chapter 4 of Title 9 (Land Use Definitions; Article B of Chapter 4 of Title 9 (Allowed Uses and Required Entitlements); Article D of Chapter 4 of Title 9 (Accessory Dwelling Units, Manufactured Homes, and Shopping Carts); Article E of Chapter 5 of Title 9 (Standards for Off Street Parking); Article F of Chapter 5 of Title 9 (Standards for Permanent On Site Signs and Flags); Chapter 10 of Title 7 (Public Facilities Maintenance Districts and Homeowner's Associations); and Article C of Chapter 5 of Title 9 (Design Standards for Big Box Stores, Discount Clubs, and Discount Superstores) Steve Brandt, City Planner

This project is covered by the general rule that the California Environmental Quality Act (CEQA) applies only to projects which have the potential for causing a significant effect on the environment. It can be seen with certainty that there is no possibility that this project may have a significant effect on the environment; therefore, the activity is not subject to CEQA. [Reference: State CEQA Guidelines sec. 15061(b)(3), General Rule Exemption]

- 7. Discussion Welcome to Lemoore Signs Steve Brandt, City Planner
- 8. Director's Report David James, Interim Development Services Director
- 9. Commission's Report and Request for Information

Adjournment

Tentative Future Items

February 13, 2017 None Notice of ADA Compliance: If you or anyone in your party needs reasonable accommodation to attend, or participate in, any Planning Commission Meeting, please make arrangements by contacting City Hall at least 24 hours prior to the meeting. They can be reached by calling 924-6700, or by mail at 119 Fox Street, Lemoore, CA 93245.

Any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection at the Development Services Department located at 711 W. Cinnamon Drive, Lemoore, CA during normal business hours. In addition, most documents will be posted on the City's website at www.lemoore.com.

CERTIFICATION OF POSTING

I, Kristie Baley, Planning Commission Secretary, do hereby declare that the foregoing Agenda for the Lemoore Planning Commission Regular Meeting of Monday, January 9, 2017 at 7:00 p.m. was posted on the outside bulletin board located at City Hall, 119 Fox Street in accordance with applicable legal requirements. Dated this 5th day of January, 2017.

//s//
Kristie Baley, Commission Secretary

Minutes of the LEMOORE PLANNING COMMISSION October 10, 2016

MEETING CALLED TO ORDER:

At 7:02 p.m. the meeting was called to order.

ATTENDANCE:

Chairman Meade, Commissioners Badasci, Clement, Dow, Koelewyn, Marvin, Monreal; City Planner Brandt, Development Services Director Holwell, City Attorney Linden; Planning Commission Secretary Baley

PUBLIC COMMENT:

There was no comment.

APPROVAL – MINUTES – REGULAR MEETING August 8, 2016:

It was moved by Commissioner Koelewyn and seconded by Commissioner Badasci to approve the Minutes of the Planning Commission Regular Meeting of August 8, 2016.

Ayes: Koelewyn, Badasci, Clement, Dow, Meade

Abstain: Marvin, Monreal

PUBLIC HEARING – ZONING TEXT AMENDMENT NO. 2016-02: AMENDMENT TO SECTIONS 9-4A-5 AND 9-4B-2 IN THE EVENT PROPOSITION 64 IS PASSED DURING THE GENERAL ELECTION ON NOVEMBER 8, 2016 OF THE CURRNET ZONING ORDINANCE (MUNICIPAL CODE TITLE 9) PERTAINING TO CULTIVATION AND USE OF MARIJUANA.

Chairman Meade opened the public hearing at 7:06 p.m.

Development Services Director Holwell presented the Text Amendment.

Chairman Meade closed the public hearing at 7:17 p.m.

Regulations regarding the transporting of marijuana were discussed.

Chairman Meade opened Public Comment period.

There was no comment from the public.

It was moved by Commissioner Clement and seconded by Commissioner Dow to approve Resolution No. 2016-08, A Resolution of the Planning Commission recommending approval of Zone Text Amendment No. 2016-02.

Ayes: Clement, Dow, Badasci, Koelewyn, Monreal, Marvin, Meade

DEVELOPMENT SERVICES DIRECTORS' REPORT:

Holwell provided municipal code information regarding approval authority for planning projects.

Holwell informed Commissioners that the City entered into an agreement with Cal Poly to assist with the General Plan Update. She notified Commissioners of upcoming community meetings regarding the General Plan Update to be held November 1, 2017 and November 29, 2017 from 5:30 p.m. to 7:30 p.m. Holwell stated the meetings were open to the public and invited Commissioners to Attend. Holwell answered questions regarding the agreement and scope of work.

Holwell provided an update regarding the west Bush Street and State Route 41 diverging diamond project. She stated that the project study is expected to be complete in March or April of 2017.

COMMISSIONER REPORTS AND REQUESTS FOR INFORMATION:

There were none.

Kristie Baley, Commission Secretary

ADJOURNMENT: At 7:31 p.m. the meeting adjourned.	
Approved the 9 th day of January, 2017.	
Full digital audio recording is available.	
Attest:	, Chairman



119 Fox Street • Lemoore, California 93245 • (559) 924-6700 • Fax (559) 924-9003

Staff Report

To: Lemoore Planning Commission Item No. 5

From: Steve Brandt, City Planner

Date: December 23, 2016 Meeting Date: January 9, 2017

Subject: Major Site Plan Review No. 2016-02: a request by D.R. Horton for

approval of new single-family home master plans (floor plans and elevation plans) to be constructed in conjunction with the approved Parkview Estates Subdivision Tract 797 Phase I and II, located on the southwest corner of

Hanford-Armona Road and Opal Avenue.

Proposed Motion:

Planning Commission, by motion, adopt Resolution No. 2017-01, approving Major Site Plan Review No. 2016-02, a request by developer D.R. Horton for approval of new single family home master floor plans and elevations for the Parkview Estates Subdivision, Tract 797 Phase I and II, located on the southwest corner of Hanford-Armona Road and Opal Avenue, subject to the attached conditions.

Project Proposal:

This project is requesting approval of the single-family home master plans (floor plans and elevations) for the Parkview Estates Subdivision, Tract 797, Phase I and II. D.R. Horton is in the process of acquiring both Phases, with the intention of building the homes proposed herein. Tentative Subdivision Map No. 2003-03 (Tract 797) was approved by City Council on October 7, 2003 and is still active, therefore; this Planning Commission action is limited to review of the home plans for consistency with the single-family home architectural design standards that are in the Zoning Ordinance.

Applicant D.R. Horton

Location Southwest corner of Hanford-Armona Road and Opal Avenue

Existing Land Use Vacant land; the two existing homes are excluded from the proposal

APN(s) 021-260-004, 021-260-006 through 021-260-022, and 021-260-024

through 021-260-043

Total Building Size Floor plans range from 1,695 sq.ft. to 2,819 sq.ft.

Lot Size Existing lots range from 5,850 sq.ft. to 6,300 sq.ft.

Zoning Low Density Residential (RLD)

General Plan Low Density Single-Family Residential

Adjacent Land Use, Zone, and General Plan Designation

Direction	Current Use	<u>Zone</u>	General Plan
North	Multi-Family Homes (Park Place Apartments)	RMD	Medium Density Multi- Family Residential
South	School (Cinnamon Elementary School)	CF	Community Facilities
East	Park (Heritage Park)	PR	Parks/Recreation
West	Multi-Family Homes (Tanglewood Apartments)	RHD & RLD	High Density Residential & Low Density Single- Family Residential

Previous Relevant Actions:

Tentative Map 2003-03 for the Parkview Estates Subdivision was approved by City Council per Resolution No. 2003-38 on October 7, 2003. The final map for Phase I has been recorded, infrastructure has been constructed, and two homes have been built, however; the developer sold the two homes which are currently occupied, and abandoned the project, leaving all lots but two in Phase I as finished lots, and Phase II without a final map and corresponding infrastructure.

Residential Design Standards:

The architecture of the home plans is depicted in the attached floor plans and elevation plans. Five floor plans were submitted having square footages of 1,695; 1,816; 2,080; 2,544; and 2,819 square feet. The three smallest homes are single-story homes, while the two largest are two-story homes. All the homes will have their garages set back behind first-floor living space and/or a front porch. All homes will have concrete tile roofs.

Plan No's. 1.1695 and 2.1816 each have three bedrooms and two bathrooms on a single story footprint; Plan No. 3.2080 has four bedrooms and three bathrooms on a single story footprint; Plan No. 4.2544 has four bedrooms and three bathrooms on a two story footprint; and Plan No. 5.2819 has five bedrooms and three bathrooms on a two story footprint. Each Plan is available in three front façade styles (Regency, Craftsman, and Cottage,) which results in fifteen possible front facades in the neighborhood. The facades styles are differentiated by changes to roof pitch in the front of the home and in front façade detailing.

Staff reviewed the floor plans and elevations for conformance with Lemoore's Zoning Ordinance Section 9-5C-3 (Design Standards for Residential Projects.) In all, a total of

fifteen possible different front elevation "looks" would be available to meet the City's "six pack" rule. However, while the floor plans of Plan No. 2.1816 Elevation C (Craftsman) and Plan No. 1.1695 Elevation C (Craftsman) are different; it is Staff's opinion that they would look very similar from the street perspective. Therefore, in order to meet the intent of the "six-pack" rule and avoid redundancy, Staff is recommending there be added a requirement that when these two elevation plans are within the same "six-pack" area they shall be of a different color, have a different front door or window style or color, have a different carriage light style, and have a different garage door window style.

Staff also added the standard requirement that the detailing placed on the front of the house be wrapped around to the side of house on the street side of corner lots. All other requirements for new master plan home designs are being met, including the requirement that 50% of the home plans have garages that are flush or behind the living space.

Below are photos of two of the single-story plans under construction at a D.R. Horton neighborhood in Tulare.





Environmental Assessment:

The project has been determined to be statutorily exempt from CEQA because Major Plan Review is not a discretionary action.

Recommended Approval Findings:

- 1. The proposed project is consistent with the objectives of the General Plan and complies with applicable zoning regulations, specific plan provisions, and improvement standards adopted by the City.
- 2. The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.
- 3. The architecture, character, and scale of the building and the site are compatible with the character of buildings on adjoining and nearby properties.
- 4. The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.

Recommended Conditions to Implement Zoning Ordinance Standards:

- 1. The site shall be developed consistent with the approved tentative map and applicable development standards found in the Zoning Ordinance and City Municipal Code.
- 2. The homes shall be developed consistent with the attached floor and elevation plans, except as modified by these conditions.
- 3. If Plan 2.1816C (Craftsman) and Plan 1.1695C (Craftsman) are placed on adjacent lots, as defined by Section 9-5C-3B.2.a of the Zoning Ordinance, they shall be of a different color, have a different front door or window style or color, have a different carriage light style, and have a different garage door window style.
- 4. For homes placed on corner lots, the architectural embellishments/features such as stone/brick veneer placed on the front of the homes shall be wrapped around the street side of the home up to the fence, and stucco/foam window treatments used on the front of the home shall also be used on the street side of the home where windows are visible from the street.

Attachments:

Vicinity Map

Draft Resolution

Approved Tentative Map

Floor and Elevation Plans



Vicinity Map

RESOLUTION NO. 2017-01

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LEMOORE
APPROVING MAJOR SITE PLAN REVIEW NO. 2016-02
FOR NEW SINGLE-FAMILY HOME MASTER PLANS (FLOOR PLANS AND ELEVATIONS)
FOR THE PARKVIEW ESTATES SUBDIVISION TRACT 797 PHASE I AND II
LOCATED ON THE SOUTHWEST CORNER OF HANFOR-ARMONA ROAD AND OPAL AVENUE,
IN THE CITY OF LEMOORE

At a Regular Meeting of the Planning Commission	sion	of the Ci	ity of	Lem	oore duly	called and	held
on January 9, 2017, at 7:00 p.m. on said day, it	was	moved b	y Co	mmi	ssioner		,
seconded by Commissioner	and	carried	that	the	following	Resolution	be
adopted:							

WHEREAS, D.R. Horton has requested a major site plan review for approval of new single-family home master plans (floor plans and elevations) for the Parkview Estates Subdivision Tract 797 located on the southwest corner of Hanford-Armona Road and Opal Avenue, in the City of Lemoore (APNs 021-260-004, 021-260-006 through 021-260-022, and 021-260-024 through 021-260-043); and

WHEREAS, the Heritage Park Subdivision is an approved tentative subdivision map where Phase I has been finaled and Phase II has not been finaled; and

WHEREAS, the project is statutorily exempt from the California Environmental Quality Act (CEQA) because the approval is a non-discretionary action; and

WHEREAS, the Lemoore Planning Commission held a duly noticed public hearing at its January 9, 2017, meeting.

NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Lemoore hereby makes the following findings regarding the proposed major site plan review:

- 1. The proposed project is consistent with the objectives of the General Plan and complies with applicable zoning regulations, specific plan provisions, and improvement standards adopted by the city.
- The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.
- 3. The architecture, character, and scale of the building and the site are compatible with the character of buildings on adjoining and nearby properties.
- 4. The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.

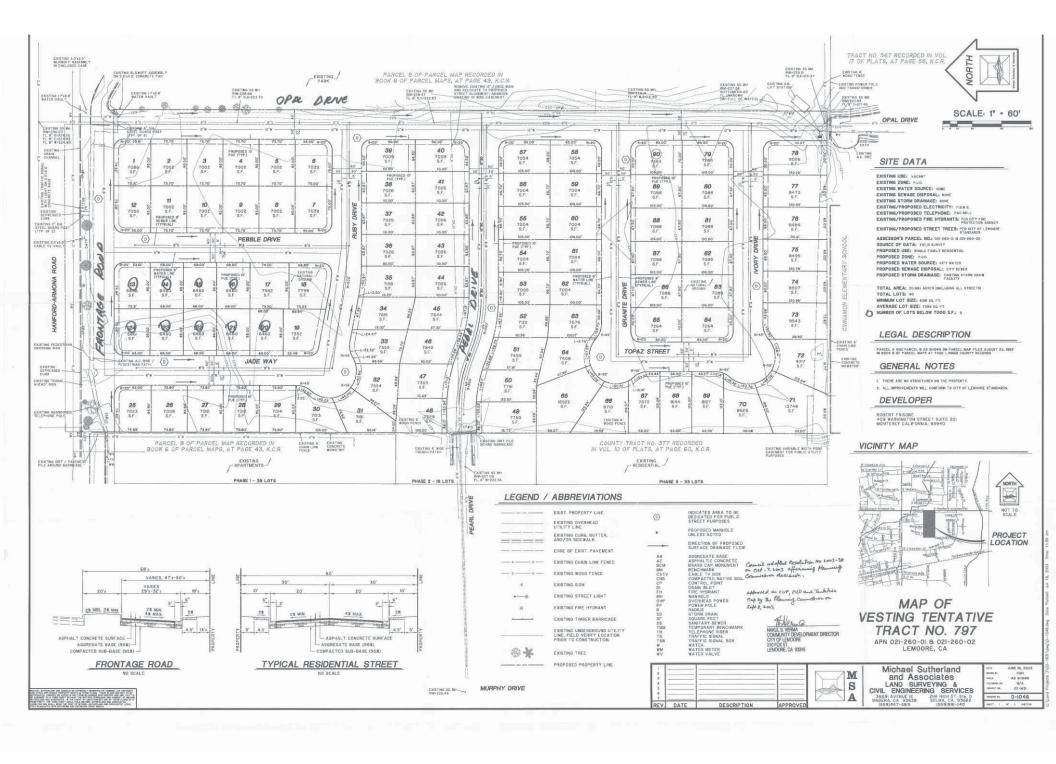
BE IT FURTHER RESOLVED that the Planning Commission of the City of Lemoore approves Major Site Plan Review No. 2016-02, subject to the following conditions:

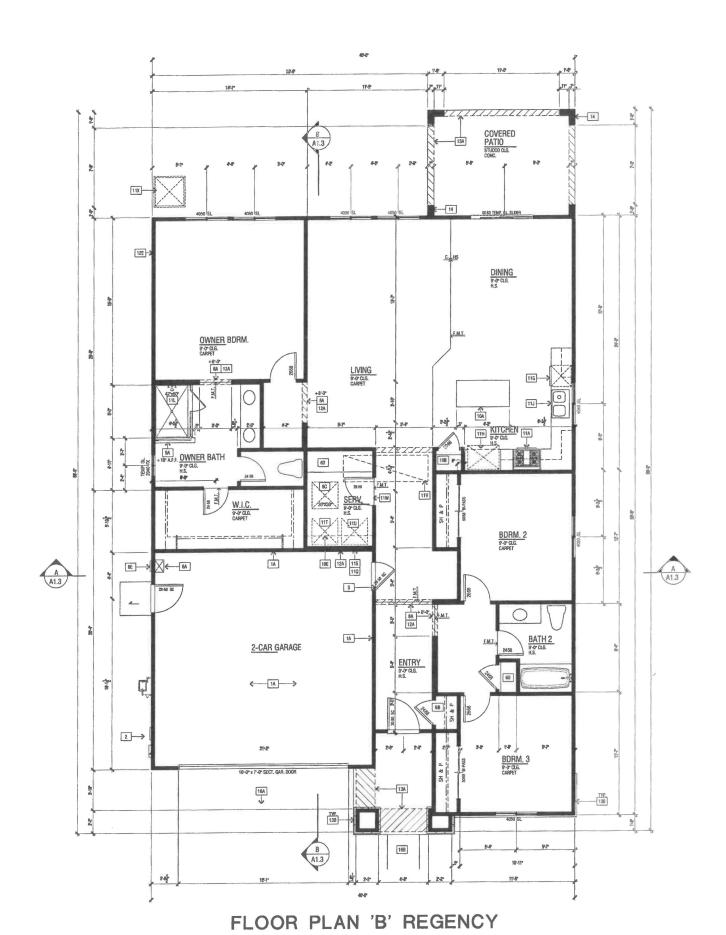
1. The site shall be developed consistent with approved Tentative Map No. 2003-03 and applicable development standards found in the Zoning Ordinance and City Municipal Code.

- 2. The homes shall be developed consistent with the attached floor and elevation plans, except as modified by these conditions.
- 3. If Plan 2.1816 Elevation C (Craftsman) and Plan 1.1695 Elevation C (Craftsman) are placed on adjacent lots, as defined by Section 9-5C-3B.2.a of the Zoning Ordinance, they shall be of a different color, have a different front door or window style or color, have a different carriage light style, and have a different garage door window style.
- 4. For homes placed on corner lots, the stone/brick veneer placed on the front of the homes shall be wrapped around the street side of the home up to the fence, and stucco/foam window treatments used on the front of the home shall also be used on the street side of the home where windows are visible from the street.

Passed and adopted at a Regular Meeting of the Planning Commission of the City of Lemoore held on January 9, 2017, by the following votes:

AYES: NOES: ABSTAINING: ABSENT:	APPROVED:	
ATTEST:	-	, Chairperson
Kristie Balev. Commission Secretary	_	





D A1.12 B

C
INTERIOR ELEVATION KEY

FLOOR AREA TABLE	PLAN	1.1695B
FIRST FLOOR PLAN	1695	SQ. FT.
GARAGE	428	SQ. FT.
COVERED ENTRY/ PORCH	64	SQ. FT.
REAR COVERED PATIO	140	SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

SCALE: 1/4" = 1'-0"

PLAN NO. 1.1695



COMBUSTION AIR TO WATER HEATER PER C.P.C. SECTION 507.0.
ENVIRONMENTAL AIR DUCTS PER C.M.C. SECTION 504.
MECHANICAL EQUIPMENT LOGATION AND PROTECTION AGAINST DAMAGE PER C.M.C. 307.



WILLIAM HEZ:MALHALCH ARCHITECTS INC. 500 DECUTYE PARKWAY, SUITE 375, SAKRAWAY, CA9550 925-463-1700 www.wharchitects.com



Express

a D.R. Horton Company

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DR HORTON

REVISIONS NO. DATE DESCRIPTION

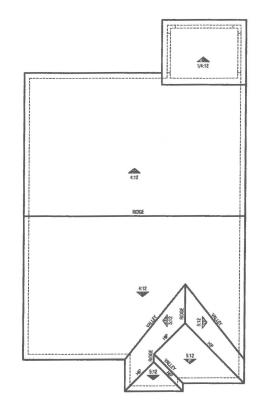
PLAN: 1.1695

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FLOOR PLAN

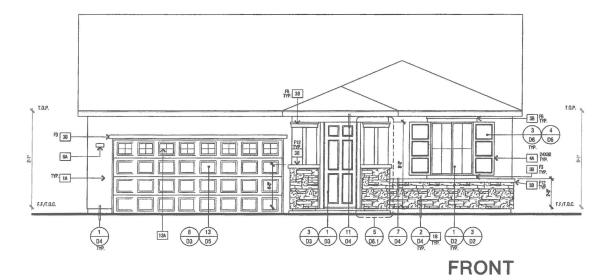
PROJECT MANAGER:	MH
DESIGNER :	MR
DRAWN BY:	
REVIEWED BY:	
1ST BLDG, DEPT. SUBMITTAL :	
SPEC, LEVEL	EXPRESS HOMES-SPEC LEVEL
JOB NUMBER :	2016089
CAD FILE NAME :	A801.0

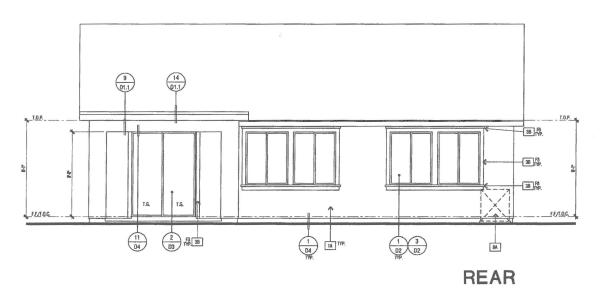
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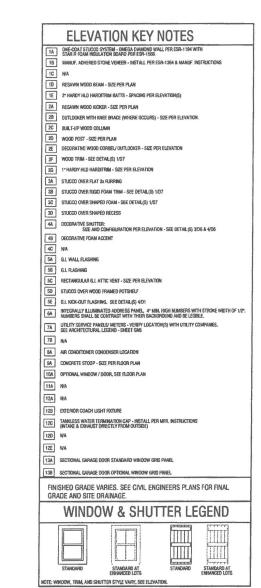
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ELEVATIONS - 'B' REGENCY







a D.R. Horton Company

DR HORTON

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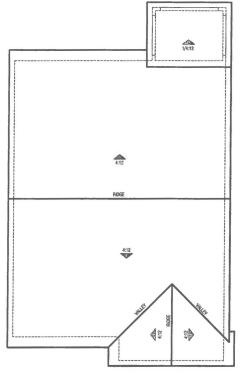
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PLAN: 1.1695

SHEET TITLE: **ELEVATIONS & ROOF PLAN B** REGENCY

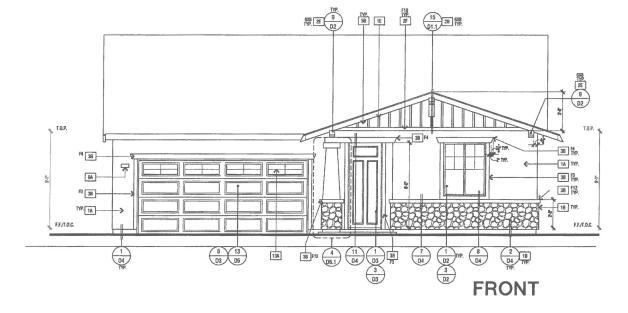
PROJECT MANAGER:	MH
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY:	
1ST BLOG, DEPT. SUBMETTAL :	
SPEC. LEVEL	EXPRESS HOMES-SPEC LEVE
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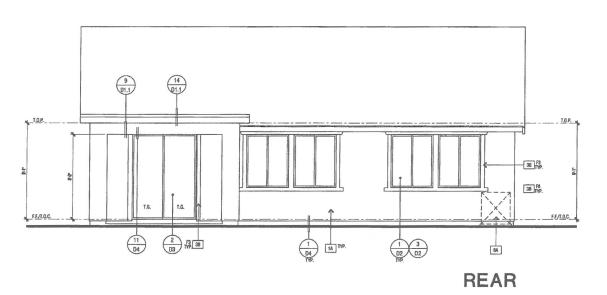
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ELEVATIONS - 'C' CRAFTSMAN

IDECOATS STUCCO STEEL - OMEGA DIAMONION WALL PER ESR-1194 WITH STAR ROAM MICHATOR DOOR PER SEN-189. 195 MANUEL, AUCHERED STOKE VEREER - INSTALL PER ESR-1194 & MANUE, INSTRUCTIONS NA 106 NA 107 PER SANNI WOOD SEAN - SCE PER PLAN 108 2 "HARDY HLD HARDITIRM BATTS - SPACING PER ELEVATION(S) 2A. RESANNI WOOD SEAN - SCE PER PLAN 2B. QUILLOURS WITH NICE BRACE (WHERE OCCURS) - SCE PER ELEVATION. 2C. QUILL-TUP WOOD COLLINN 2D. WOOD OFST - SCE PER PLAN 2E. QUECORATIVE WOOD COURNIN 2D. WOOD FISH - SCE PER PLAN 2E. QUECORATIVE WOOD COURNIN 2D. WOOD FISH - SCE PER PLAN 2E. THARDY HLD HARDITIRM - SCE PER ELEVATION 3D. STUCCO OVER RATE A RIPRING 3D. STUCCO OVER RATE A RIPRING 3D. STUCCO OVER SHAPED FOAM - SEE DETAL(S) 107 3C. STUCCO OVER SHAPED FOAM - SEE DETAL(S) 107 3D. STUCCO OVER SHAPED FOAM - SEE DETAL(S) 107 3D. STUCCO OVER SHAPED FOAM - SEE DETAL(S) 107 3D. STUCCO OVER SHAPED FOAM - SEE DETAL(S) 107 3D. STUCCO OVER SHAPED FOAM - SEE DETAL(S) 107 3D. STUCCO OVER SHAPED FOAM - SEE DETAL(S) 107 3D. STUCCO OVER SHAPED FOAM - SEE DETAL(S) 107 3D. STUCCO OVER SHAPED FOAM - SEE DETAL(S) 107 3D. STUCCO OVER SHAPED FOAM - SEE DETAL(S) 107 3D. STUCCO OVER SHAPED FOAM - SEE DETAL(S) 107 3D. STUCCO OVER SHAPED FOAM - SEE DETAL(S) 107 3D. STUCCO OVER SHAPED FOAM - SEE DETAL(S) 107 3D. STUCCO OVER SHAPED FOAM - SEE DETAL(S) 107 3D. STUCCO OVER SHAPED		ELEVATION KEY NOTES
15) MANUE, AURHERED STONE VENEER - INSTAUL PER ESR-1394 & MANUE, INSTRUCTIONS 10. INA 11. RESAWN WOOD BEAM - SEE PER PLAN 12. PLANDY HED HARDITISM BATTS - SPACING PER ELEVATION(S) 22. RESAWN WOOD NOCKER - SEE PER PLAN 23. OUTLOKER WITH KREE BRACE (WHERE OCCURS) - SEE PER ELEVATION. 24. OUTLOKER WITH KREE BRACE (WHERE OCCURS) - SEE PER ELEVATION. 25. OUTLOKER WITH KREE BRACE (WHERE OCCURS) - SEE PER ELEVATION. 26. OUTLOKER WITH KREE BRACE (WHERE OCCURS) - SEE PER ELEVATION. 27. WOOD TRAN - SEE DETAL(S) 1/07 28. THARDY HED MANDITISM - SEE PER ELEVATION. 28. STELCOO OVER FLAT ZE RURRING. 39. STELCOO OVER SHAPED ROMAN FIRM - SEE DETAL(S) 1/07 30. STELCOO OVER SHAPED ROMAN FIRM - SEE DETAL(S) 1/07 30. STELCOO OVER SHAPED ROMAN FIRM - SEE DETAL(S) 1/07 30. STELCOO OVER SHAPED ROMAN FIRM - SEE DETAL(S) 1/07 30. STELCOO OVER SHAPED ROMAN SEE DETAL(S) 1/07 30. STELCOO OVER SHAPED ROMAN - SEE DETAL(S) 1/07 30. STELCOO OVER SHAPED ROMAN - SEE DETAL(S) 1/07 30. STELCOO OVER SHAPED ROMAN - SEE DETAL(S) 1/07 30. STELCOO OVER SHAPED ROMAN - SEE DETAL(S) 1/07 30. STELCOO OVER SHAPED ROMAN - SEE DETAL(S) 1/07 30. STELCOO OVER SHAPED ROMAN - SEE DETAL(S) 1/07 30. STELCOO OVER SHAPED ROMAN - SEE DETAL(S) 1/07 30. STELCOO OVER SHAPED ROMAN - SEE DETAL(S) 1/07 31. WAL 32. WALL FLASHING. 33. SELCOO OVER SHAPED ROMAN - SEE PER ELEVATION - SEE DETAL(S) 3/06 & 4/06 34. OUTLOKERS SHAPED ROMAN - SEE PER ELEVATION - SEE DETAL(S) 3/07 36. AL WALLE FLASHING. SEE DETAL(S) 1/07 37. WAL 38. AL ROMON - SEE PER FLOOR PLAN 38. SEE AL SHAPE SHAPED METERS - VERIFY LOCATION(S) WITH UTILITY COMPANIES. 38. SEE AL ROMAN - SEE PER FLOOR PLAN 39. WAL 30. DETERDOR COMCH LIGHT FORTURE 30. WAL 31. WAL 31. WAL 31. SEETOMAL GARAGE DOOR STANDARD WINDOW GROD PANIEL 39. PANIE DETERDOR COMCH LIGHT FORTURE 39. SECTIONAL GARAGE DOOR STANDARD WINDOW GROD PANIEL 39. FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL 39. SECTIONAL GARAGE DOOR STANDARD WINDOW GROD PANIEL 31. FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL 39. SECTIONAL GARAGE DOOR ST	1A	DNE-GOAT STUCOD SYSTEM - OMEGA DIAMOND WALL PER ESR-1194 WITH STAR R FOAM INSULATION POARD PER ESR-1588.
TO RESAWN WOOD BEAM - SIZE PER PLAN 1E 2* HARDY HID HARDITRIM BATTS - SPACING PER ELEVATION(S) 2A. RESAWN WOOD DOCES - SIZE PER PLAN 2B QUILDORGA WITH KNEE BRAZE (WHERE OCCURS) - SIZE PER ELEVATION. 2B QUILT-UP WOOD COLLIAN 2C SIULT-UP WOOD COLLIAN 2C SIULT-UP WOOD CORRELL OUTLICOKER - SIZE PER ELEVATION 2C WOOD TRAN - SEE DET ALS) 1/07 2D 1* HARDY HID HARDITRIM - SIZE PER ELEVATION 3A. STUCCO OVER RIAT 2R RIFREM - SIZE PER ELEVATION 3A. STUCCO OVER SHAPED FORM - SEE DETAL(S) 1/07 3C STUCCO OVER SHAPED FORMS - SEE DETAL(S) 1/07 3C STUCCO OVER SHAPED FORMS - SEE DETAL(S) 1/07 3C STUCCO OVER SHAPED FORMS - SEE DETAL(S) 1/07 3C STUCCO OVER SHAPED FORMS - SEE DETAL(S) 1/07 3C STUCCO OVER SHAPED RECESS 4A. DECORATIVE FORMS ACCENT 4B DECORATIVE FORMS ACCENT 4C DAY 3A. Q.I. WALL FLASHING 3B Q.I. WALL FLASHING 3B Q.I. WALL FLASHING 3C RECTAMEDIAR G.I. ATTIC VENT - SIZE PER ELEVATION 3D STUCCO OVER WOOD FRAMED POTSHELF 3C G.I. INCA-OUT FLASHING. SEE DETAL(S) 4/01 3A. HARDESS SMALE CONTRISES WITH THEIR BUCKSTROUGH AND SELEGIBLE. 3A. AR CONDITIONER CONDENSES LOCATION 3A. DETEROR COMMENSES FORMS - VERY LOCATION(S) WITH UTILITY COMPANIES. 3B SECTIONAL AND SEET FORM PLAN 3C DETEROR COMMENSES LOCATION 3A. WALL 3A. AR CONDITIONER CONDENSES LOCATION 3A. WALL 3B DETEROR COMMENSES LOCATION 3A. WALL 3B DETEROR COMMENSES LOCATION 3A. WALL 3B DETEROR COMMENSES LOCATION 3B SECTIONAL GARAGE DOOR STANDARD WINDOW GROD PANEL 4D STANDARD SECTIONAL GARAGE DOOR STANDARD WINDOW GROD PANEL 4D STANDARD SECTIONAL GARAGE DOOR STANDARD WINDOW GROD PANEL 4D STANDARD SECTIONAL GARAGE DOOR STANDARD WINDOW GROD PANEL 4D STANDARD SECTIONAL GARAGE DOOR STANDARD WINDOW GROD PANEL 4D STANDARD SECTIONAL GARAGE DOOR STANDARD WINDOW GROD PANEL	18	
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30 I **INACO** HILD NARDITIFRE* - SEE** PER ELEVATION 3A STUCCO OVER RIAD FOAM TRIBI - SEE DETAIL(S) 1/07 3C) STUCCO OVER RIAD FOAM TRIBI - SEE DETAIL(S) 1/07 3C) STUCCO OVER SHAPED RECEISS 4A) DECORATIVE SHAPED RECEISS 4A) DECORATIVE SHAPED RECEISS 4A) DECORATIVE SHAPED RECEISS 4B) DECORATIVE SHAPED RECEISS 5C) AN 5A) SL HALL FLASHING 5C) RECTANGULAR SL ATTIC VENT - SEE PER ELEVATION 5TUCCO OVER WOOD RAMED POTSHELF 6C) BL HALL FLASHING 5C) RECTANGULAR SL ATTIC VENT - SEE PER ELEVATION 5D) STUCCO OVER WOOD RAMED POTSHELF 6C) BL HOCK-OUT FLASHING, SEE PER FLEVATION 5D) STUCCO OVER WOOD RAMED POTSHELF 6C) BL HOCK-OUT FLASHING, SEE PER FLEVATION 5D) STUCCO OVER WOOD RAMED POTSHELF 6C) BL HOCK-OUT FLASHING, SEE PER FLOATION(S) WITH HITLITY COMPANIES. 5D) STUCCO OVER WOOD RAMED POTSHELF 7D) SHAPE SHALL BE CONTINST WITH HIRB BACKGROUND AND ELEGRALE. 7D) SHAPE SHALL BE CONTINST WITH HIRB BACKGROUND AND ELEGRALE. 7D) SHAPE SHAPE WE RECEIVE SHAPE LACATION(S) WITH UTILITY COMPANIES. 5D) NA 6A) AR CONDITIONER CONDENSES LIDCATION 6A) CONCRETE STOOP - SEE PER FLOOR PLAN 10A) OPTIONAL WINDOW / DOOR, SEE FLOOR PLAN 10A) OPTIONAL WINDOW / DOOR, SEE FLOOR PLAN 10A) OPTIONAL WINDOW / DOOR, SEE FLOOR PLAN 10B) DETERIOR COACH LIBHT FORTURE 10C) TANALESS WATER TERMINATION CMP - RISTALL PER MFR. INSTRUCTIONS (ITTALE & COVALIST DIRECTLY FROM OUTSIDE) 10D) NA 10E) NA 10E) NA 10E) NA 10F SHAPE SHAPE RECEISS 10B SECTIONAL GARAGE DOOR STANDARD WINDOW GROD PANEL FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE. WINDOW & SHUTTER LEGEND	2E	
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STUCCO OVER SIMPO FOAM TRIM - SEE DETAL(S) 107 SC. STUCCO OVER SHAPPD FOAM - SEE DETAL(S) 107 STUCCO OVER SHAPPD FACES A. DECORATIVE SHUTTER. SCE. AND COMERCIPATION PER ELEVATION - SEE DETAL(S) 306 & 408 68. DECORATIVE FOAM ACCENT 48. DECORATIVE FOAM ACCENT 48. DECORATIVE FOAM ACCENT 59. RECTARGUAR GLATTIC VENT - SCE PER ELEVATION 50. RECTARGUAR GLATTIC VENT - SCE PER ELEVATION 50. STUCCO OVER WOOD FRAMED POTSHELF 60. LI ROCKOUT FLASHING. SEE DETAL(S) 400 A. HISCORDUTY ELIMBANTED ADDRESS PANEL. THAN HIGH HUMBERS WITH STROKE WIDTH OF 1/2 AN HUMBERS SMULE BOOTHREST WITH THIRD BACKGROUND AND BE LEGIBLE. 77A. UTLITY SERVICE PAINLES METERSVERRY LICATION(S) WITH UTLITY COMPANIES. 50. RECTARGUAR CHARLES METERSVERRY LICATION(S) WITH UTLITY COMPANIES. 51. SEE ARCHITECTURAL LEGISMO - SHEET GHS AN AR CONDITIONER CONDENSER LOCATION AND OPTIONAL WINDOW / DOOR, SEE R.DOR PLAN 11A. NA 12A. NA 12B. DETERDIR GOACH LIGHT FOTURE 14D. NA 12C. NA 12C. NA 12C. NA 12C. NA 12C. SECTIONAL GARAGE DOOR STANDARD WINDOW GRID PANEL 13A. SECTIONAL GARAGE DOOR STANDARD WINDOW GRID PANEL 13B. SECTIONAL GARAGE DOOR STANDARD WINDOW GRID PANEL FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE. WINDOW & SHUTTER LEGEND	26	1" HARDY HLO HARDITRIM - SIZE PER ELEVATION
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DECORATIVE SAUTTIES SIZE AND COMPRISENTATION PER FLEVATION - SEE DETAIL, 6) 3:06 & 4/06 46 DECORATIVE SAMA DOCENT 47 NA AN AN AN AN AN AN AN AN A	3D	STUCCO OVER SHAPED RECESS
SIZE AND COMPRIGHATION PER ELEVATION - SEE DETAIL, 9) 306 8 4/09 BB DECRRATIVE ROAM ACCENT AN SA, G.I. WALL FLASHING BB. I.E. FLASHING BC. RECTANGUAR G.I. ATTIC VENT - SIZE PER RLEVATION SCI. RECTANGUAR G.I. ATTIC VENT - SIZE PER RLEVATION SCI. RECTANGUAR G.I. ATTIC VENT - SIZE PER RLEVATION SCI. RECTANGUAR G.I. ATTIC VENT - SIZE PER RLEVATION SCI. RECTANGUAR G.I. ATTIC VENT - SIZE PER RLEVATION SCI. RECTANGUAR G.I. ATTIC VENT - SIZE PER RLEVATION SCI. RECTANGUAR G.I. ATTIC VENT - SIZE PER RLEVATION SCI. RECTANGUAR G.I. ATTIC VENT - SIZE PER RLEVATION AN INTEGRALLY V.LUBBURDE DOTSTELLF SEE AROPTECTURAL LEGISLEMO - SIZE FER RLOATION AN AR CONDITIONER CONDENSER LOCATION SAN CONCRETE STOOP - SIZE PER RLOOR PLAN SAN SIZE RACE SAN STERT ETRIMINATION CAP - RISTALL PER MFR. INSTRUCTIONS SAN SECTIONAL BARAGE DOOR STANDARD WINDOW GROD PAKEL SAN SECTIONAL GAPAGE DOOR STANDARD WINDOW GROD PAKEL FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE. WINDOW & SHUTTER LEGEND		DECORATIVE SHUTTER:
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BA CONCRETE STOOP - SIZE PER FLOOR PLAN 100A OPTIONAL WINDOW / DOOR, SEE FLOOR PLAN 115A NA 128B DETERM COACH LIGHT FRITURE 115C) TARRILESS WATER TERMINATION CAP - RISTALL PER MFR. INSTRUCTIONS (INTARE & BRIMAST DIRECTLY FROM OUTSDE) 120 NA 121E NA 123A SECTIONAL GARAGE DOOR STANDARD WINDOW GRID PANEL 130B SECTIONAL GARAGE DOOR OPTIONAL WINDOW GRID PANEL FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE. WINDOW & SHUTTER LEGEND	7B	N/A
10A) DEPROVAL WINDOW / DOOR, SEE FLOOR PLAN 11A) NA 12B) ECTERROR COACH LIGHT FRITURE 13CC TAMBLESS WATER TEPRIMATION CAP - RISTALL PER MFR. INSTRUCTIONS (INTAKE & SOFWALST DIRECTLY FROM OUTSIDE) 12D NA 12RE NA 12A SECTIONAL GARAGE DOOR STANDARD WINDOW GRID PAREL 13B) SECTIONAL GARAGE DOOR OPPOMAL WINDOW GRID PAREL 13B) SECTIONAL GARAGE DOOR OPPOMAL WINDOW GRID PAREL 15RE DEATHOR UNDER VARIOUS CRID PAREL 15RE DEATHOR OF THE DEATHORS. WINDOW & SHUTTER LEGEND	8A	AIR CONDITIONER CONDENSER LOGATION
112A NA 12B DITERIOR COACH LIGHT ROTURE 12BC TANALESS WATER TERMINATION CAP - RISTALL PER MFR. INSTRUCTIONS (RITAXE & BOHAUST DIRECTLY FROM OUTSIDE) 12D NA 12E NA 13A SECTIONAL GARAGE DOOR STANDARD WINDOW GRID PAREL 13BO SECTIONAL GARAGE DOOR OPTIONAL WINDOW GRID PAREL FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE. WINDOW & SHUTTER LEGEND	9A	CONCRETE STOOP - SIZE PER FLOOR PLAN
128 DETERIOR COMPLIGHT FATURE 128 DETERIOR COMPLIGHT FATURE 120 I MANUESS WATER TERMINATION CAP - RISTALL PER MFR. INSTRUCTIONS 120 NA 125 NA 126 NA 127 INSTRUCTIONAL GARAGE DOOR STANDARD WINDOW GRID PAREL 128 SECTIONAL GARAGE DOOR OPTIONAL WINDOW GRID PAREL FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE. WINDOW & SHUTTER LEGEND	10A	OPTIONAL WINDOW / DOOR, SEE FLOOR PLAN
128) DITERIOR COACH LIGHT FORTURE 1260 I MANILESS WATER TERMINATON CAP - RISTALL PER MFR. INSTRUCTIONS 1270 INA 1280 INA 1281 INA 1281 INA 1282 SECTIONAL GARAGE DOOR STANDARD WINDOW GRID PANEL 1383 SECTIONAL GARAGE DOOR OPTIONAL WINDOW GRID PANEL FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE. WINDOW & SHUTTER LEGEND	11A	N/A
128) DITERIOR COACH LIGHT FORTURE 1260 I MANILESS WATER TERMINATON CAP - RISTALL PER MFR. INSTRUCTIONS 1270 INA 1280 INA 1281 INA 1281 INA 1282 SECTIONAL GARAGE DOOR STANDARD WINDOW GRID PANEL 1383 SECTIONAL GARAGE DOOR OPTIONAL WINDOW GRID PANEL FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE. WINDOW & SHUTTER LEGEND	12A	WA
TANGLESS WATER TERMINATION CAP - RISTALL PER MFR. INSTRUCTIONS (ITANE & EDWARS TORICOTLY FROM OUTDER) 122 NA 123. SECTIONAL GARAGE DOOR STANDARD WINDOW GROP PANEL. 136) SECTIONAL GARAGE DOOR STANDARD WINDOW GROP PANEL. FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE. WINDOW & SHUTTER LEGEND		
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138 SECTIONAL GARAGE DOOR OPTIONAL WINDOW GRID PANEL FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE. WINDOW & SHUTTER LEGEND	12E	N/A
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WINDOW & SHUTTER LEGEND	138	SECTIONAL GARAGE DOOR OPTIONAL WINDOW GRID PANEL
		WINDOW & SHUTTER LEGEND
ENHANCED LOTS ENHANCED LOTS		STANDARD STANDARD AT STANDARD AT
HOTE: WINDOW, TRIM, AND SHUTTER STYLE VARY, SEE ELEVATION.	NOTE: W	



WILLIAM HEZIMALHALCH A R C H I T E C T S I N C. 500 DECUTIVE PARKWAY, SUTE 375, SAI RAMON CA 94833 925-463-1700 www.wharchitectus.com



EXPRESS HOMES

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DR HORTON

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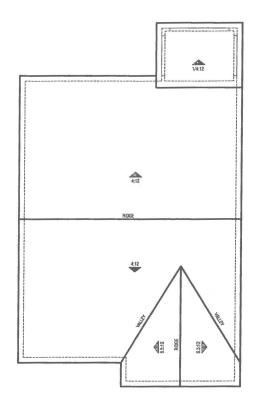
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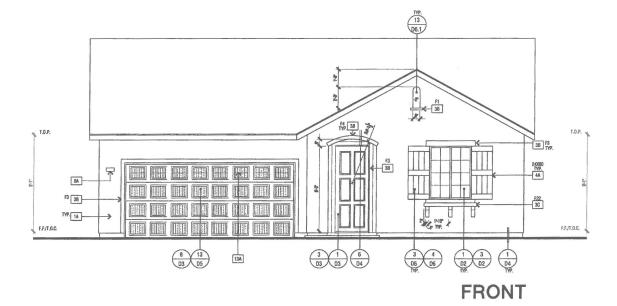
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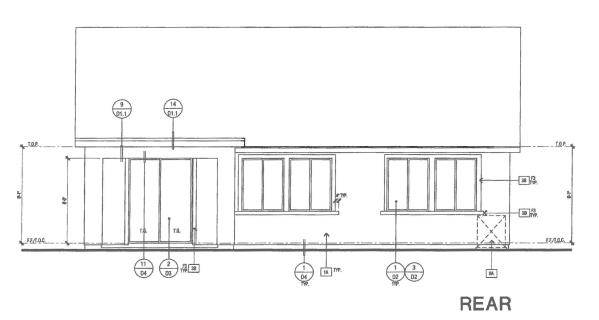
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ELEVATION REFERENCE: D	ELEVATION STY	ELEVATION STYLE:		COTTAGE		
	STANDARD ROOF	FASCIA -	FASCIA - BARGE -		OVERHANG DIM U.N.O.	
ROOF MATERIAL	DETAIL U.N.O.	U.N.D.	U.N.O.	EAVE	RAKE	
COMPOSITION SHINGLES	1 D1.1	2X6	2X6	1'-0"	1'-0"	

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	ROOF PLAN NOTES		
1. 2.	SEE GENERAL NOTES FOR 1000 HOTES. PROPORE ATTE D. SOFT HETHINATION PER CIPC SECTION 1000. PER CIPC SECTION 1000.2. THE MINIMAN MET FREE PROPORE ATTE D. SOFT HETHINATION PER CIPC SECTION 1000. PER CIPC SECTION 1000.2. THE MINIMAN MET FREE VEHILL 1000 AND AS SHALL SE 1000 OF THE MENTED SPACE. DISCEPTION THE MINIMAN MET FREE VEHILL 1000 AND AS SHALL SE 1000 OF THE VEHICLS SPACE AND AS THE SHALL SE 1000 OF THE VEHICL SPACE AND AS THE SHALL SE 1000 AND AS THE MET SHALL SEPARATION AS ADDITIONS LOCATED IN THE EXPORT AND THE PROPORTION OF THE ATTO OR PARTIS SPACE LEPPRE VEHILL ADDITION SHALL SHOULD AND THE MENTED SHALL SHAP VEHILL ADDITION AND AS THAN 3 FEET BEQUIETY THE RIGHT SHAP SHALL SHAP VEHILL ADDITION AND THE MALMADE OF THE ROQUEST OF THE SPACE, MINISTRES VEHILL SHAP SHALL SHALL SHAP WITH SHALL SHALL SHAP SHALL SHAP SHALL SHALL SHAP WITH SHALL SHAP SHALL SHAP SHAP SHALL SHAP SHALL SHAP SHALL SHAP SHAP SHAP SHAP SHAP SHAP SHAP SHAP		
3.	PADAM'S HARRER REQUISED OR TITLE A RESERVE YOUNG MANE SHEET, SPECIAL FEATURES AND MODELME ASSUMPTIONS LOCATED ON SHEETS T-A1-13. RISTALL ROUNT BAPKER ROOF SHEATHING WITH REFLECTIVE SIDE TOWARDS OFFIA TITC. INSTALL ROUND FEATURE RESERVENCE ON GABLE EIGH ROOF CONCIDENDS OFFI THESS WEBS TOWARDS OFFIA TITC. REPRET TO APPENDED OF OF THE 2008 RESIDENTIAL FAUX MANIMAL, SECTION RA-21. ANDWATE PARRIER STRAILATION SHALL OWDERNEN TO STATE OFFI SMAD DISTRICT, SEE DETAIL BOX.		
4.	PROVIDE ALL PLINISING VENT / ROOF PENETRATIONS WITHIN 35° OF RIDGE OR HIP TO ALLOW FOR FUTURE SOLAR PANEL INSTALLATION.		
5.	REFER TO SHEETS R1.1, R2.1, ETC FOR ATTIC VENTILATION CALCULATIONS.		
	INDICATES SLOPE/DIRECTION		
	INDICATES DOWNSPOUT (F REQUIRED). INDICATES ROOF GUTTER (F REQUIRED). NOTE: RADIANT BARRIER TO BE INDICATES LINE OF STRUCTURE. INSTALLED PER DETAIL B/05		





ELEVATIONS - 'D' COTTAGE

1A	ONE-COAT STUCCO SYSTEM - OMEGA DIAMOND WALL PER ESR-1194 WITH STAR R FOAM INSULATION BOARD PER ESR-1588.
18	MANUF, ADHERED STONE VENEER - INSTALL PER ESR-1364 & MANUF, INSTRUCTIONS
1C	₩A
10	RESAWN WOOD BEAM - SIZE PER PLAN
18	2" HARDY HLD HARDFIRIM BATTS - SPACING PER ELEVATION(S)
2A	RESAWN WOOD KICKER - SIZE PER PLAN
28	OUTLOOKER WITH KNEE BRACE (WHERE OCCURS) - SIZE PER ELEVATION.
2C	BUILT-UP WOOD COLLIMN
20	WOOD POST - SIZE PER PLAN
2E	DECORATIVE WOOD CORBEL/ OUTLOOKER - SIZE PER ELEVATION
2F	WOOD TRIM - SEE DETAIL(S) 1/07
26	1* HARDY HLD HARDITRIM - SIZE PER ELEVATION
3A	STUCCO OVER FLAT 2x FURRING
38	STUCCO OVER RIGID FOAM TRIM - SEE DETAIL(S) 1/D7
3C	STUCCO OVER SHAPED FOAM - SEE DETAIL(S) 1/07
30	STUCCO OVER SHAPED RECESS
4A	DECORATIVE SHUTTER: SIZE AND CONFIGURATION PER ELEVATION - SEE DETAIL(S) 3/D6 & 4/D6
48	DECORATIVE FOAM ACCENT
4C	N/A
5A	G.I. WALL FLASHING
58	G.I. FLASHING
5C	RECTANGULAR G.L ATTIC VENT - SIZE PER ELEVATION
50	STUCCO OVER WOOD FRAMED POTSHELF
5E 6A	G.I. KOCK-OUT FLASHMIN. SEE DEFAN.(5) 4/01 INTEGRALLY ILLIMINATED ADDRESS PANEL. 4* MIN. NIGH NUMBERS WITH STROKE WIDTH OF 1. NUMBERS SHALL BE CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
7A	UTILITY SERVICE PAWELS/ METERS - VERIFY LOCATION(S) WITH UTILITY COMPANIES. SEE ARCHITECTURAL LEGENO - SHEET GNS
78	N/A
BA	AIR CONDITIONER CONDENSER LOGATION
9A	CONCRETE STOOP - SIZE PER FLOOR PLAN
10A	OPTIONAL WINDOW / DOOR, SEE FLOOR PLAN
11A	N/A
12A	N/A
128	EXTERIOR COACH LIGHT FOTURE
120	TANCLESS WATER TERMINATION CAP - INSTALL, PER MFR. INSTRUCTIONS (INTAKE & EXHAUST DIRECTLY FROM OUTSIDE)
12D	NA .
12E	N/A
13A	SECTIONAL GARAGE DOOR STANDARD WINDOW GRID PANEL
138	SECTIONAL GARAGE DOOR OPTIONAL WINDOW GRID PANEL
FIN	SHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL



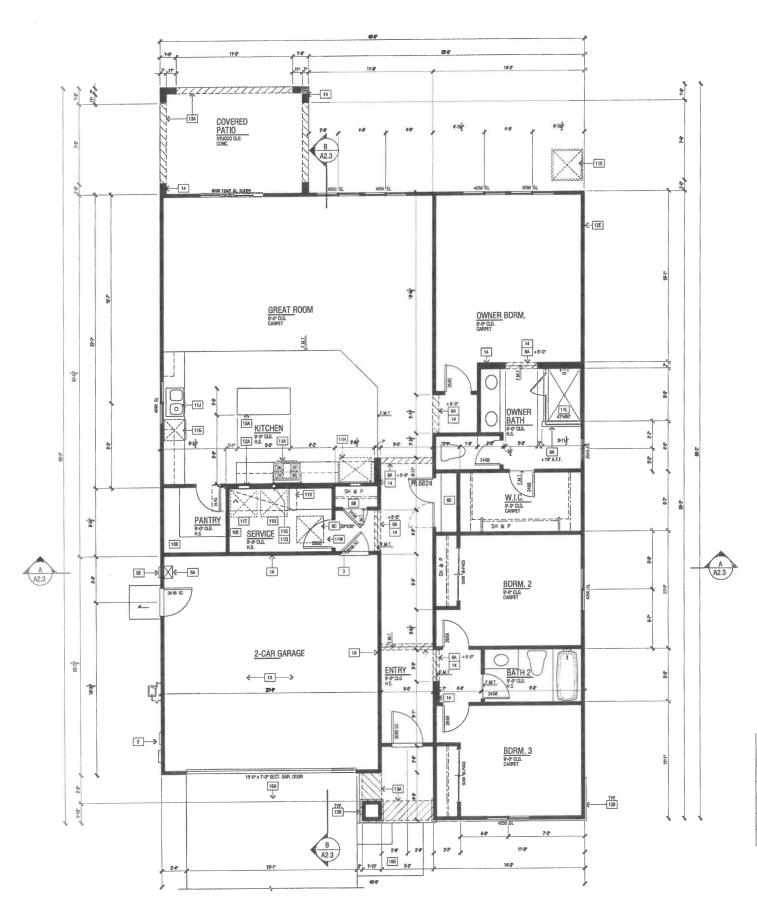
PLAN:			
		1695	
SHEET	TITLE	:	

ELEVATIONS & ROOF PLAN D COTTAGE

PROJECT MANAGER:	589
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY:	
15T BLDG. DEPT. SUBMITTAL:	
SPEC. LEVEL	EXPRESS HOMES-SPEC LEV
JOB NUMBER :	2015040
CAD FILE NAME:	A810
DATE:	SHEET:
06/30/16	A1 10

SCALE: 1/4" = 1'-0"

06/30/16 AI.IU



FLOOR PLAN 'B' REGENCY



FLOOR AREA TABLE PLAN 2.1816B

FIRST FLOOR PLAN 1816 SQ. FT.

GARAGE 423 SQ. FT.

COVERED ENTRY/ PORCH 43 SQ. FT.

REAR COVERED PATIO 140 SQ. FT.

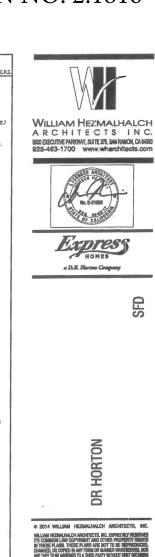
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

SCALE: 1/4" = 1'-0"



COMBUSTION AIR TO FORCED AIR UNIT PER C.M.C. CHAPTER 7. COMBUSTION AIR TO WATER HEATER PER C.P.C. SECTION 507.0.

ENVIRONMENTAL AIR DUCTS PER C.M.C. SECTION 504.
MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER C.M.C. 207.

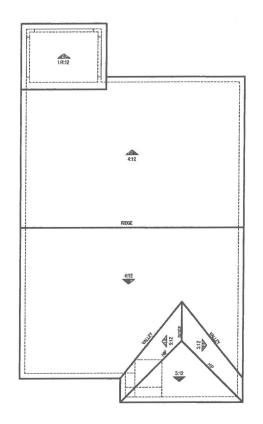


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	2.1816					
SHEE	SHEET TITLE:					

FLOOR PLAN

PROJECT MANAGER:	MH
DESIGNER :	MR
DRAWN BY:	
REVIEWED BY:	
1ST BLOG. DEPT. SUBMITTAL:	
SPEC, LEVEL	EXPRESS HOMES-SPEC LEVE
JOB NUMBER :	2015040
CAD FILE NAME :	A801.0

DATE: SHEET: A2.1



ELEVATION REFERENCE: B	ELEVATION STYLE:		REGENCY		
	STANDARD ROOF	FASCIA -	RARGE -	OVERHANG DIM U.N.O.	
ROOF MATERIAL	DETAIL U.N.O.	U.N.O.	U.N.O.	EAVE	RAKE
COMPOSITION SHINGLES	1 Di	2X6	2X6	1'-0"	1'-0"

		ROOF PLAN NOTES	
1	1.	SEE GENERAL NOTES FOR ROOF NOTES.	
	2.	PROVIDE ATTIC & SOFTH VEHILATION FOR FOR SECTION FROM, PER ORG. SECTION FROM, 2T HE MINIMUM INET FREE VEHILATION AREA SHALL BE 1150 OF THE MARKE OF THE SPACE. EXCEPTION THE MINIMUM INET FREE VEHILATION MARK SHALL BE 1050 OF THE VEHILS SPACE PROVIDED AT LEAST 40 PERCENT AND MOT MORE THAN SPECIAL PROLIFER OF THE MEDILATE OF THE SECTION OF THE SPACE SHALL BE PERMITTED.	
	3.	RADIANT BARRIER REQUIRED PER TITLE 24 ENERGY COMPLIANCE SHEET, SPECIAL FEATURES AND MODELING	

- ASSUMPTIONS LOCATED ON SHEETS T-24.1-3. INSTAUL ROUGHT BARRER PROF SHEATHING WITH REFLECTIVE SET TOWARDS OPEN ATTO. STATUL PROMANT DAMPIGE MISSIANCE ON BASILE FILD ROOF CONDITIONS OVER TILES SWEST TOWARDS OPEN ATTO. REFUT TO AMPRION OF OF THE 2006 RESISTANTIAL CASE AMARDIAL, SECTION RAZI. REQUIRED MISSIANCE PROFESSIONAL CLASS AND ASTRO-TZS. SEE DETAIL ROOS.

 PROVIDE ALL PLIAMBRING VENT / ROOF PENETRATIONS WITHIN 30° OF RIDGE OR HIP TO ALLOW FOR RUTURE SOLAR PAREL INSTAULATION.
- 5. REFER TO SHEETS R1.1, R2.1, ETC... FOR ATTIC VENTRATION CALCULATIONS.



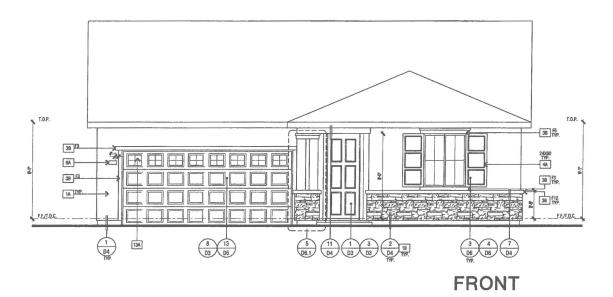
FRIDES ON HIP TO ALLOW FOR AUTURE SOLAR

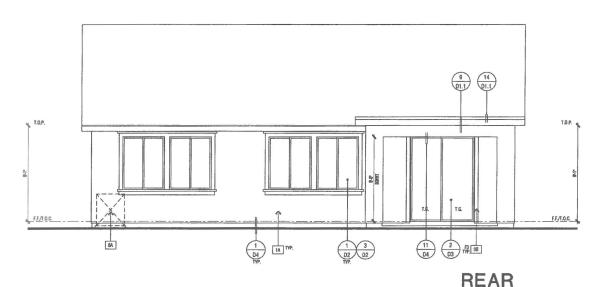
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NOTE:

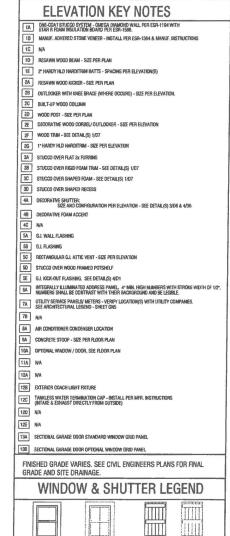
RADIANT BARRIER TO BE

INSTALLED PER DETAIL \$705



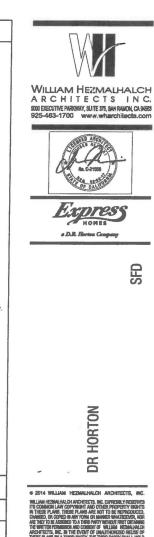


ELEVATIONS - 'B' REGENCY



STANDARD STANDARD AT ENHANCED LOTS

NOTE: WINDOW, TRIM, AND SHUTTER STYLE VARY, SEE ELEVATION



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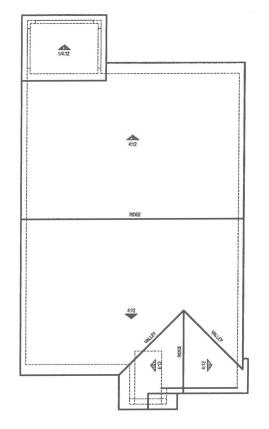
PLAN:

2.1816

ELEVATIONS & ROOF PLAN B REGENCY

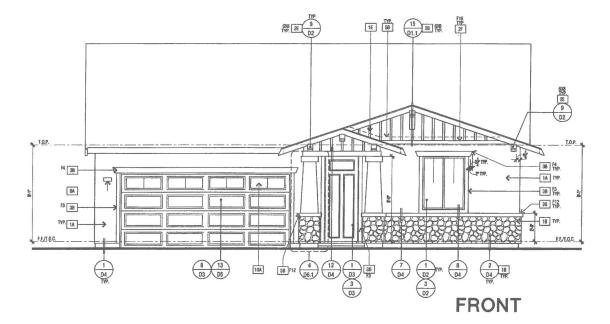
PROJECT MANAGER:	MH
DESIGNER :	MR
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	
SPEC. LEVEL	EXPRESS HOMES-SPEC LEVE
JOB NUMBER :	2015040
CAD FILE NAME :	A804

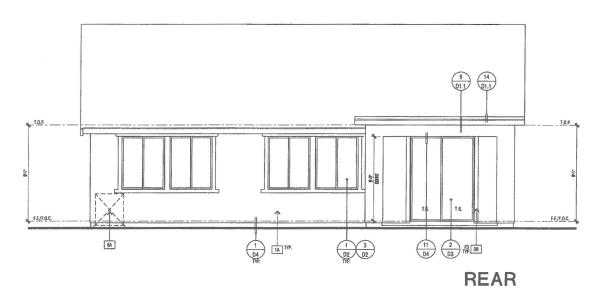
DATE: SHEET: **A2.4**



ELEVATION REFERENCE: C	ELEVATION STY	E:	CRAFT	SMAN	
	STANDARD ROOF	FASCIA -	BARGE -	OVERHANG DIM U.N.O.	
ROOF MATERIAL	DETAIL U.N.O.	U.N.O.	U.N.O.	EAVE	RAKE
COMPOSITION SHINGLES	1 D1	2X8	2X6	2'-0"	1'-0"

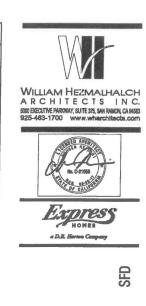
	ROOF PLAN NOTES
1.	SEE GENERAL NOTES FOR ROOF NOTES.
2.	PROVIDE ATTIC & SOFFT VEHTILATION PER CRES SECTION ROOS, PER GRIS SECTION ROOS, 2" THE WIRMLAM HET FREE VEHTILATION RADE ASULL BE VISION OF THE AREA OF THE VEHTILATION RADE ASULL BE VISION OF THE VEHTILATION RADE ASULL BE VISION OF THE VEHTILATION RADE ASULL BE VISION OF THE VEHTILATION RECEIVED VEHTILATION RECEIVED VEHTILATION RECEIVED VEHTILATION RECEIVED VEHTILATION RECEIVED WHEN VEHTILATION RECEIVED VEHTILATION RECEIVE VEHTILATION RECEIVED VEHTILATION RECEIVE VEHTILATION REC
3.	RADAM PONDER ROUNDED PER TITLE AS INSERED COMPLANCES SHEET, SPECIAL FEATURES AND MODELAND ASSIMPTIONS LOCATED ON SHEETS T-24.1-3. METALL RADAMT BANDER ROOF SHEATHING WITH REFLECTIVE SIDE TOWNINGS OFFIR HATCL, RESTALL RADAMT BANDER MARINANCE OF DIRECT CONTROLLES OFFIT TITLES WEBS TOWNINGS OFFI HATCL. REFER TO A PREDICT OF OF THE ZOON RESIDENTIAL ADM ANABLA, SECTION MAZ.L. ROUNDER SADERS TRANSLATION SHALL OFFIT OWNERS OF THE ZOON RESIDENTIAL ADM ANABLA, SECTION MAZ.L. ROUNDER SADERS TRANSLATIONS SHALL OWNERS TO HOMORED AND ASSISTANCES. SECTION FAST. S.
4.	PROVIDE ALL PLUMGING YENT / ROOF PENETRATIONS WITHIN 36° OF RIDGE OR HIP TO ALLOW FOR RUTURE SOLAR PANEL INSTALLATION.
5.	REFER TO SHEETS R1.1, R2.1, ETC FOR ATTIC VENTELATION CALCULATIONS.
	INDICATES SLOPE/DIRECTION
	INDICATES DOWNSPOUT (F REQUIRED). INDICATES ROOF GUTTER (F REQUIRED). NOTE: RADIANT BARRIER TO BE INDICATES LINE OF STRUCTURE. INSTALLED PER DETAIL 8/D5





ELEVATIONS - 'C' CRAFTSMAN

	ELEVATION KEY NOTES			
Iī	1A ONE-COAT STUCCO SYSTEM - OMEGA DIAMOND WALL PER ESR-1194 WITH STAR R FOAM INSULATION BOARD PER ESR-1568			
lī	18 MANUF, ADHERED STONE VENEER - INSTALL PER ESR-1364 & MANUF, INSTRUCTIONS			
١Ē	IC N/A			
١ř	1D RESAWN WOOD BEAM - SIZE PER PLAN			
٦ř	1E 2" HARDY HLD HARDITRIM BATTS - SPACING PER ELEVATION(S)			
١'n	2A RESAWN WOOD KICKER - SIZE PER PLAN			
1 =	28 OUTLOOKER WITH KIGEE BRACE (WHERE OCCURS) - SIZE PER ELEVATION.			
- 15	2C BUILT-UP WOOD COLUMN			
16	2D WOOD POST - SIZE PER PLAN			
- 15	DECORATIVE WOOD CORBEL/ OUTLOOKER - SIZE PER ELEVATION			
10	WOOD TRIM - SEE DETAIL(S) 1/07			
10	1° HARDY HLD HARDITRIM - SZÉ PER ELEVATION			
16	IA STUCCO OVER FLAT 2x FURRING			
Ī	STUCCO OVER RIGID FOAM TRIM - SEE DETAIL(S) 1/07			
I F	C STUCCO OVER SHAPED FOAM - SEE DETAIL(S) 1/D7			
1	STUCCO OVER SHAPEO RECESS			
10	DECORATIVE SHUTTER: SIZE AND CONFIGURATION PER ELEVATION - SEE DETAIL (S) 2/06 & 4/06			
10	B DECORATIVE FOAM ACCENT			
I	C N/A			
5	G.J. WALL FLASHING			
5	B G.I. R.ASHING			
5	RECTANGULAR G.I. ATTIC VENT - SIZE PER ELEVATION			
5	D STUCCO OVER WOOD FRAMED POTSHELF			
5	G.I. NICK-OUT FLASHING. SEE DETAIL(S) 4/D1			
6	TOWNS ASSET BY CONTINUE WITH THEIR BACKSHOUGHD AND SE LEGISLE.			
7	A UTILITY SERVICE PANELS/ METERS - VERIFY LOCATION(S) WITH UTILITY COMPANIES. SEE ARCHITECTURAL LEGEND - SHEET GN5			
7	B _{N/A}			
8	A AIR CONDITIONER CONDENSER LOGATION			
9	CONCRETE STOOP - SIZE PER FLOOR PLAN			
10	10A OPTIONAL WINDOW / DOOR, SEE FLOOR PLAN			
11	A WA			
12	A N/A			
12	B EXTERIOR COACH LIGHT RIXTURE			
12	TANKLESS WATER TERMINATION CAP - INSTALL PER MIFR. INSTRUCTIONS (INTAKE & EXPANSED DIRECTLY FROM OUTSIDE)			
12	_ 1			
12				
13				
13				
13	B SECTIONAL GARAGE DOOR OPTIONAL WINDOW GRID PANEL			
	INISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL IRADE AND SITE DRAINAGE.			
	WINDOW & SHUTTER LEGEND			
	STANDARD STANDARD AT STANDARD AT			
	ENHANCED LOTS ENHANCED LOTS			
I MOTO	: WINDOW, TRIM, AND SHUTTER STYLE VARY, SEE ELEVATION.			



DR HORTON

THE STATE WILLIAM REZMALHALDS ARCHITECTS, BIC.

BILLIAM REGMANIAC CHARCHTECTS, BIC. DOWNERS A RESERVED ITS COMMENT, AND CHIEF TO PROPERTY RESERVED ITS COMMENT, AND CHIEF TO REPROPERTY RESERVED ITS COMMENT, AND CHIEF TO BE REPRODUCED. COMMENT, OF COMMENT AND CHIEF THAN AND CHIEF TO BE REPRODUCED. COMMENT OF COMMENT OF THE TOWNER OF THE T

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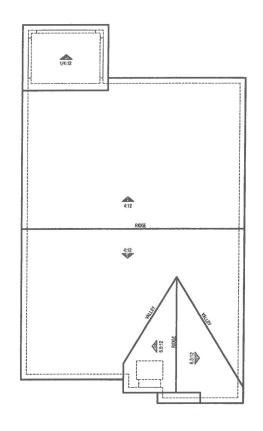
PLAN:

2.1816

SHEET TITLE:
ELEVATIONS &
ROOF PLAN C
CRAFTSMAN

PROJECT MANAGER:	MH
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	
SPEC. LEVEL	EXPRESS HOMES-SPEC LEVEL
JOB NUMBER :	2015040
CAD FILE NAME :	AB07

DATE: SHEET: **A2.7**



ELEVATION STY	Æ	COTTAGE			
STANDARD ROOF DETAIL U.N.O.	FASCIA - U.N.O.	BARGE - U.N.O.	OVERHANG DIM U.N.O.		
			EAVE	RAKE	
1 01.1	2X6	2X6	1'-0°	1'-0"	
	STANDARD ROOF DETAIL U.N.O.	DETALUMO. UMO.	STANDARD ROOF FASCIA-UM.O. BARGE-UM.O. UM.O.	STANDARD ROOF FASCIA- BARGE - OVERHANG O EAVE	

- ROOF PLAN NOTES ROOF PLAN NOTES SEA ROOF MOTES.

 PROVING ATTE A SOFTH TWETTLATTON FOR DOES SECTION ROOF, SECTION ROOF, 2. THE MINIMARM NET FREE.

 PROVING ATTE A SOFTH TWETTLATTON FOR DOES SECTION ROOF, SECTION ROOF, 2. THE MINIMARM NET FREE.

 WENTLATION AREA SHALL BE USED OF THE XEAR OF THE VESTIES SHACE, DESIGN THE MINIMARM NET FREE.

 VESTILATION AREA SHALL BE USED OF THE VESTIES SHACE PROVIDED AT LEAST 40 PERCENT AREA MAY TO AN OFF THE VESTIES SHACE.

 VESTILATION AREA SHALL BE USED OF THE VESTIES SHACE INCOMED BY VESTILATION AREA SHALL BE USED THE PROVINCE OF THE VESTIES SHALL BE LOCATED NO MINE THAN SHE'S ROOF TO AN OFF THE VESTIES SHALL BE LOCATED NO MINE THAN SHE'S ROOF THE VESTIES SHALL BE LOCATED NO MINE THAN SHE'S BEGINN THE

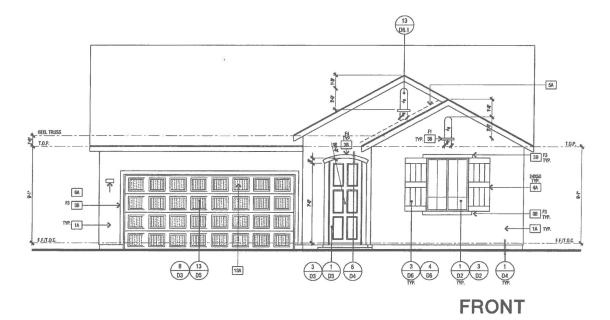
 ROBE OF HIS RESET OF HIS CON CONDINCE HENTS, WHERE THE AREA THAN THE VESTIES OF THE MAIN SHAPE SHALL AND MAY ARE AN OFF THE SHALE SHALL BE FEMALTICE.

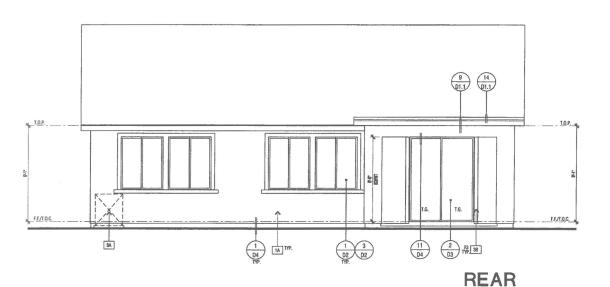
 ON HIS SHE'S TO HOM OF THE SHALL SHALL BE PEMALTICE.

 RAISMAPPINES LOCATED ON SHEET SHALL SHALL BE AND MAY BRANCH AND SHALL HAVE AND MORE AND TO TOWARDS OPEN ATTE. BESTALL ROUNT EASHERS HEMBERARE ON GABE BUD FROOF CONDITIONS OF HE TILLS SHALL BROWN TE ANSWER HEMBERARE ON GABE BUD FROOF CONDITIONS OF HE TILLS SHALL BROWN TE ANSWER HEMBERARE ON GABE BUD FROOF CONDITIONS OF HE TILLS SHALL BROWN TE ANSWER TOWARDS OPEN ATTE. BESTALL ROUNT EASHERS HEMBERARE ON GABE BUD FROOF CONDITIONS OF HE TILLS SHALL BROWN TE ANSWER HEMBERARE ON GABE BUD FROOF CONDITIONS OF HE TILLS SHALL BROWN TE ANSWER HEMBERARE ON GABE BUD FROOF CONDITIONS OF HE TILLS SHALL BROWN TE ANSWER HEMBERARE ON GABE BUD FROOF CONDITIONS OF HE TILLS SHALL BROWN TO ASSET ON THE STAN SHALL BROWN THE ASSET TOWARDS OF HEMBER THE TOWARD HEMBER SHALL BROWN THE ASSET TOWARDS OF HEMBER OF HE WAS TOWARDS OF HEMBER TOWARDS. THE ASSET TOWARDS OF HE ATTE. BESTALL BROWN THE ASSET TOWARDS OF HE ASSET TOWARDS AND THE ATTER. SHALL BROWN TO ASSET ON ASSET TOWARDS. THE ASSET TOWARDS OF THE OTHER TOWARDS.
- PROVIDE ALL PLIMBING VENT / ROOF PENETRATIONS WITHIN 36' OF RIDGE OR HIP TO ALLOW FOR RUTURE SOLAR PANEL INSTALLATION.
- REFER TO SHEETS R1.1, R2.1, ETC... FOR ATTIC VENTILATION CALCULATIONS. INDICATES SLOPE/DIRECTION INDICATES DOWNSPOUT (IF REQUIRED) INDICATES ROOF GUTTER (F REQUIRED).

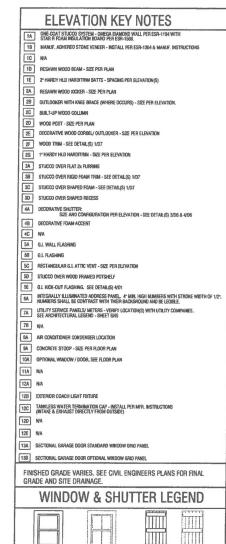
INDICATES LINE OF STRUCTURE.

RADIANT BARRIER TO BE INSTALLED PER DETAIL 8/D5





ELEVATIONS - 'D' COTTAGE



STANDARD AT ENHANCED LOTS NOTE: WINDOW, TRIM, AND SHUTTER STYLE VARY, SEE ELEVATION.





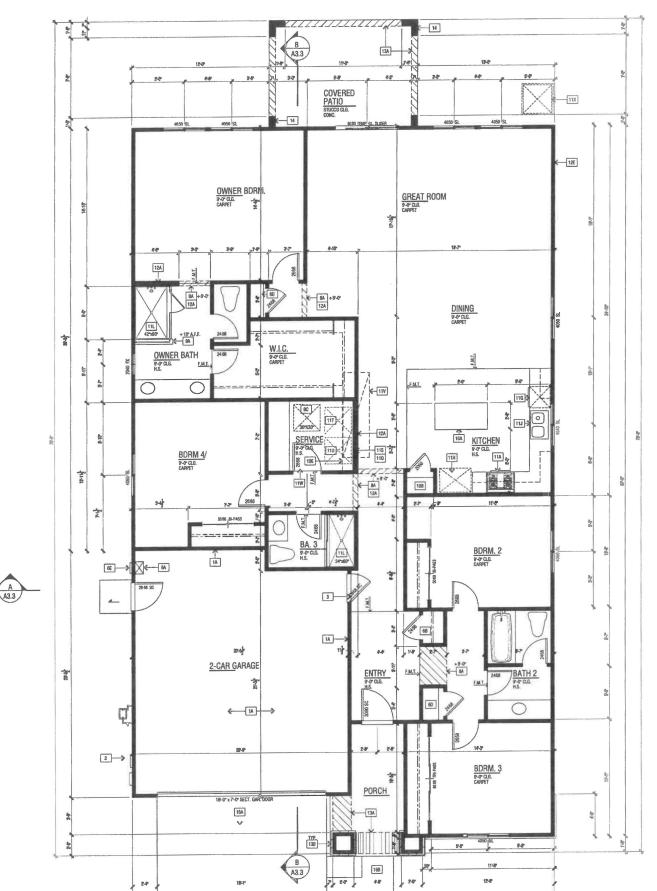
DR HORTON

PLAN:

SHEET TITLE: **ELEVATIONS & ROOF PLAN D** COTTAGE

PROJECT MANAGER:	MH
DESIGNER:	MR
DRAWN BY :	
REVIEWED BY:	
1ST ELDG. DEPT. SUBMITTAL :	record to the
SPEC, LEVEL	EXPRESS HOMES-SPEC LEVEL
JOB NUMBER :	2015040
CAD FILE NAME :	A810

06/30/16 A2.10



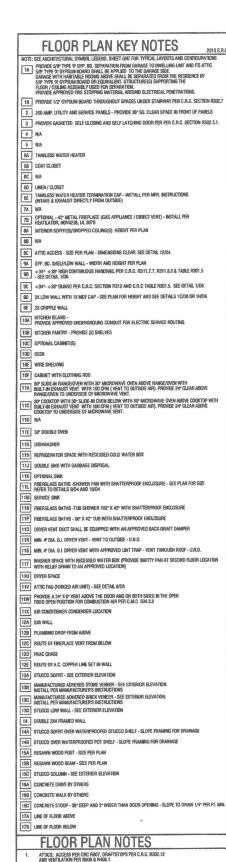


FLOOR PLAN 'B' REGENCY



FLOOR AREA TABLE	PLAN 3.2080B
FIRST FLOOR PLAN	2080 SQ. FT.
GARAGE	463 SQ. FT.
COVERED ENTRY/ PORCH	74 SQ. FT.
REAR COVERED PATIO	140 SQ. FT.

SCALE: 1/4" = 1'-0"



NOW TETLI ALTHOR TETLI FORD OF MANUEL.

HERGEBUCY ESCAPE AND RESOLUE OPENINGS PER C.R.C. R202 & R310.

HEAMS OF ERRORS PER C.R.C. R311.

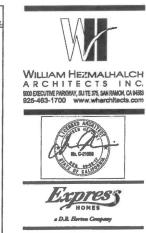
GLAZIME PER C.R.C. R308, R303.1 & R301.2.1.2

FACTORY-QUILT FIREPLACES AND CHAMIEYS PER C.R.C. R1004, R1005, R1006

AND ALAID, RALE 46.

ENVIRONMENTAL AIR DUCTS PER C.M.C. SECTION 504.
MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER C.M.C. 307.

COMBUSTION AIR TO FORCED AIR UNIT PER C.M.C. CHAPTER 7. COMBUSTION AIR TO WATER HEATER PER C.P.C. SECTION 507.0.



DR HORTON

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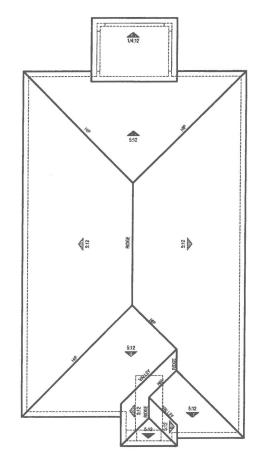
PLAN:

SHEET TITLE:

FLOOR PLAN

PROJECT MANAGER:	MH
DESIGNER :	MR
DRAWN BY:	
REVIEWED BY :	
1ST BLDG. DEPT. SUBMITTAL :	
SPEC. LEVEL	EXPRESS HOMES-SPECILEV
JOB NUMBER :	2015040
CAD FILE NAME :	AB01.0

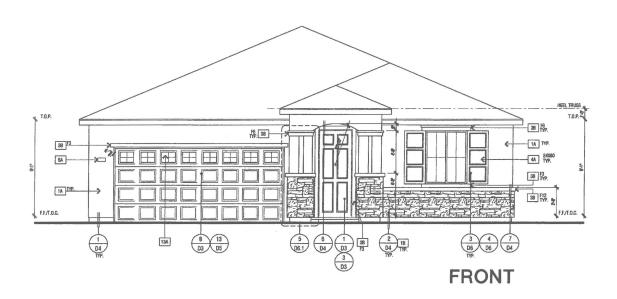
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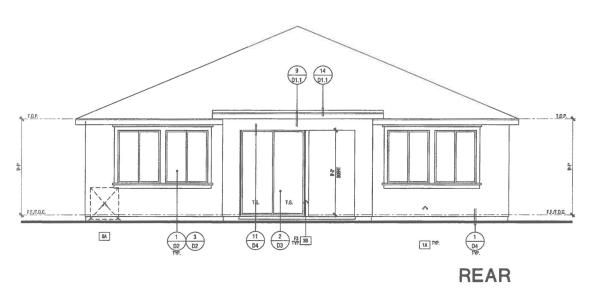


ELEVATION REFERENCE: B	ELEVATION STY	Æ:	REGENCY		
	STANDARD ROOF FAS	FASCIA - U.H.O.	BARGE - U.N.O.	OVERHANG DIM U.N.O.	
ROOF MATERIAL	DETAIL UULO.			EAVE	RAKE
COMPOSITION SHINGLES	1 01	2X6	2X6	1'-0"	1'-0"

ROOF PLAN NOTES ROOF PLAN NOTES SEE GENERAL NOTES FOR FOOD FORTS FROMOG ATTIC & SORFIT VENTLATION PER ORD SECTION ROOS, PER DOS SECTION ROOS, 2. THE AMBRIMAN MET FREE PROMOG ATTIC & SORFIT VENTLATION PER ORD SECTION ROOS, PER DOS SECTION ROOS, 2. THE AMBRIMAN MET FREE VENTLATIVIS AREA SHALL BE 1910 OF THE AREA OF THE VENTLE SHARE. SOUR PROMOG PER OR THE MEMBRIMAN MET FREE VENTLATION REASON ROOS SECTION ROOS SHARE AREA SE PROMOCED BY VENTLATIONS DUCATION IN THE MEMBRIMAN OF THE REQUIRED VENTLATION OR ARTTER SPACE UPPER VENTLATIONS SHALL BE LOCATED IN THE MEMBRIMAN SETE FELOW THE MORE OF HORSE POWER OF THE SHARE AREA MEMBRING SHARE THE LOCATION OF WHALL OR ROOF FRAMMING INSMIRED VENTLATION PROMOGED BY LAY OR CORNOCK VENTLA, WHITE THE ALMACE OF THE REQUIRED OR HUBBEST FORM OF THE SHALLATION OF PERPER VENTLATIONS, INSTALLATION MORE THAN 3 FEET BELOW THE BRIDGE OR HUBBEST FORM OF THE SHALL SHARE AREA SHARE AND SHARE ALMACED AREA SHARE AREA SHARE AND SHARE AND SHARE AREA SHARE AND SHA ON HIBREST FUNIT OF THE WIND SHALL BY PENNI ILL BY SHALL PROVIDE ALL PLUMBING VENT / ROOF PENETRATIONS WITHIN 36° OF RIDGE OR HIP TO ALLOW FOR PUTURE SOLAR PANEL INSTALLATION. REFER TO SHEETS R1.1, R2.1, ETC... FOR ATTIC VENTILATION CALCULATIONS. INDICATES SLOPE/DIRECTION INDICATES DOWNSPOUT (IF REQUIRED). INDICATES LINE OF OVERHANG. INDICATES LINE OF STRUCTURE. RADIANT BARRIER TO BE

INSTALLED PER DETAIL 8/D5

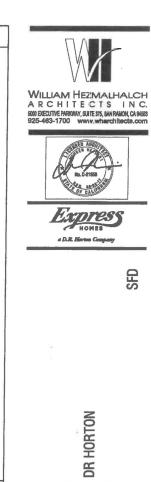




ELEVATIONS - 'B' REGENCY

	ELEVATION KEY NOTES
1A	ONE-COAT STUCCO SYSTEM - OMEGA DIAMOND WALL PER ESR-1194 WITH STAR R FOAM INSULATION BOARD PER ESR-1566.
18	MANUF, ADHERED STONE VENEER - INSTALL PER ESR-1364 & MANUF, INSTRUCTIONS
10	N/A
1D	RESAWN WOOD BEAM - SIZE PER PLAN
1E	2" HARDY HLD HARDITRIM BATTS - SPACING PER ELEVATION(S)
2A	RESAWN WOOD KICKER - SIZE PER PLAN
2B	OUTLOOKER WITH KNEE BRACE (WHERE OCCURS) - SIZE PER ELEVATION.
2C	BUILT-UP WOOD COLUMN
20	WOOD POST - SIZE PER PLAN
2E	DECORATIVE WOOD CORBEL/ OUTLOCKER - SIZE PER ELEVATION
2F	WOOD TRUM - SEE DETAIL(S) 1/07
26	1" HARDY HLD HARDITRIM - SIZE PER ELEVATION
3A	STUCCO OVER FLAT 2x FURRING
38	STUCCO OVER RIGIO, FOAM TRIM - SEE DETAIL(S) 1/07
3C	STUCCO OVER SHAPED FOAM - SEE DETAIL(S) 1/07
3D	STUCCO OVER SHAPED RECESS
4A	DECORATIVE SHUTTER: SIZE AND CONFIGURATION PER ELEVATION - SEE DETAIL(S) 3/D6 & 4/D6
48	DECORATIVE FOAM ACCENT
4C	N/A
5A	B.I. WALL FLASHING
58	G.I. FLASHING
5C	RECTANGULAR G.I. ATTIC VENT - SIZE PER ELEVATION
50	STUCCO OVER WOOD FRAMED POTSHELF
5E	G.I. KICK-OUT FLASHING. SEE DETAIL(S) 4/D1
6A	INTEGRALLY ILLUMINATED ADDRESS PANEL. 4" MIN. HIGH NUMBERS WITH STROKE WIDTH OF 1/2". NUMBERS SHALL BE CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
7A	UTILITY SERVICE PANELS/ MÉTERS - VERIFY LOCATION(S) WITH UTILITY COMPANIES. SEE ARCHITECTURAL LEBEND - SHEET GNS
78	N/A
BA	AIR CONDITIONER CONDENSER LOCATION
9A	CONCRETE STOOP - SIZE PER FLOOR PLAN
10A	OPTIONAL WINDOW / DOOR, SEE FLOOR PLAN
11A	N/A
12A	N/A
12B	EXTERIOR COACH LIGHT POTURE
12C	TAINSLESS WATER TERMINATION CAP - INSTALL PER MFR. INSTRUCTIONS (INTAIX & EXHAUST DIRECTLY FROM OUTSIDE)
_	N/A
	N/A
\equiv	SECTIONAL GARAGE DOOR STANDARD WINDOW GRID PANEL
_	
138	SECTIONAL GARAGE DOOR OPTIONAL WINDOW GRID PANEL
	SHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL DE AND SITE DRAINAGE.
	WINDOW & SHUTTER LEGEND
	STANDARD STANDARD AT STANDARD

NOTE: WINDOW, TRIM, AND SHUTTER STYLE VARY, SEE ELEVATION.



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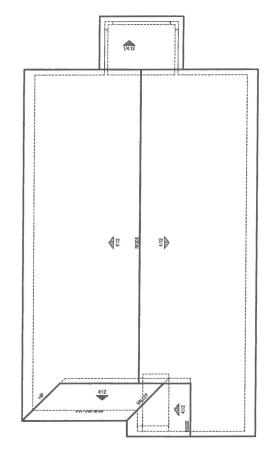
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REVISIONS					
NO.	DATE	DESCRIPTION			
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+					

3.2080

SHEET TITLE: **ELEVATIONS & ROOF PLAN B** REGENCY

PROJECT MANAGER:	MH
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY :	
1ST BLDG. DEPT. SUBMITTAL :	
SPEC. LEVEL	EXPRESS HOMES-SPEC LEVEL 2
JOB HUMBER :	2015040
CAD FILE NAME :	A804

06/30/16 A3.4



ELEVATION REFERENCE:	ELEVATION STYLE:		CRAFTSMAN			
		STANDARD ROOF	FASCIA -	BARGE -	OVERHANG DIM U.N.O.	
ROOF MATERIAL		DETAIL U.N.O.	U.N.O.	U.NLO.	EAVE	RAKE
COMPOSITION S	HINGLES	1 D1	2X6	2X6	2'-0"	1'-0"
	DC.	OF PLAN	NOTES			

1. SEE GENERAL NOTES FOR ROOF NOTES. 2. PROVIDE ATTIC & SOFTH VEHILLATION FER FIRE SECTION RISO. PEL CRC SECTION RISO.2. THE MINIMAM NET FREE VEHILLATION RACE SHALL BE VEHILLATION FOR THE VEHICLE SHACE. DESPTION THE MINIMAM NET FREE VEHILLATION RACE SHALL BE VEHILLATION SECTION OF THE MINIMAM NET FREE VEHILLATION SECTION RISO SECTION RISO SECTION OF THE MINIMAM VEHILLATION SECTION RISO SECTION OF THE MINIMAM VEHILLATION SECTION RISO SECTION RISO

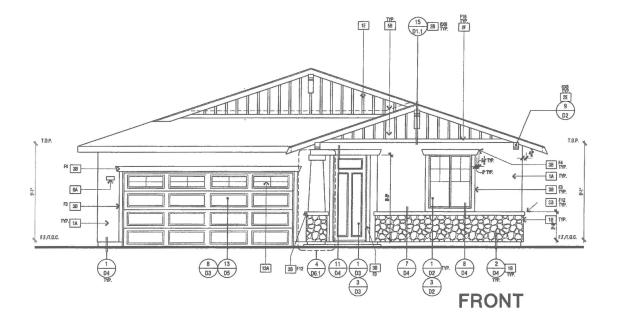
- 3. HIGHEST TUMIN OF THE SPACE SHALL SEPTION TO USE A STATE OF SPACE AFFAITURES AND MODELAND ADMINISTRATION ROLLING THE SHERING COMPANIENCE SHEET, SPECIAL FEATURES AND MODELAND ASSISTANCE HOS SEED TO SELECT A SHEAR AND MODELAND ASSISTANCE OF THE SPACE AND MODELAND ASSISTANCE AND MODELAND ASS
- PROVIDE ALL PLUMESNS VENT / ROOF PENETRATIONS WITHIN 35" OF RIDGE OR HIP TO ALLOW FOR FUTURE SOLAR
 PANEL INSTALLATION.
- 5. REFER TO SHEETS R1.1, R2.1, ETC... FOR ATTIC VENTILATION CALCULATIONS.

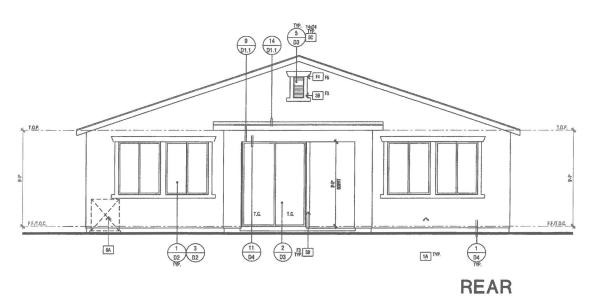
INDICATES SLOPE/DIRECTION

INDICATES DOWNSPOUT (IF REQUIRED).

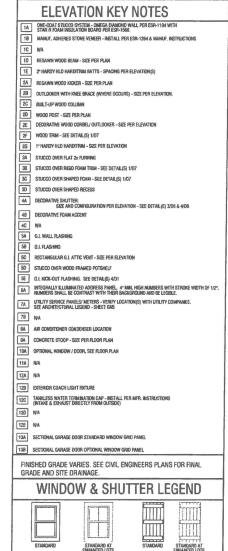
INDICATES LINE OF OVERHANG.
INDICATES LINE OF STRUCTURE.

NOTE: RADIANT BARRIER TO BE INSTALLED PER DETAIL 8/D5

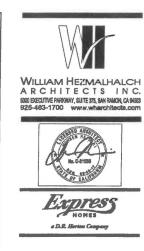




ELEVATIONS - 'C' CRAFTSMAN



NOTE: WINDOW, TRIM, AND SHUTTER STYLE VARY, SEE ELEVATION



SFD

DR HORTON

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	REV	ISIONS	3
NO.	DATE	DESCRIPTION	V
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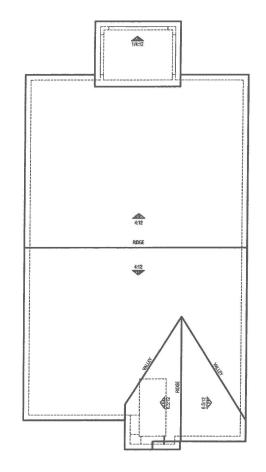
3.2080

SHEET TITLE:
ELEVATIONS &
ROOF PLAN C

CRAFTSMAN

PROJECT MANAGER: MM
DESIGNER: MR
DRAWN BY:
REVIEWED BY:
15T BLOB. DEPT. SUBNITIAL:
SPEC. LEVEL
JOB NUMBER: 2015040
CAD FILE NAME: ABOY

DATE: SHEET: A3.7



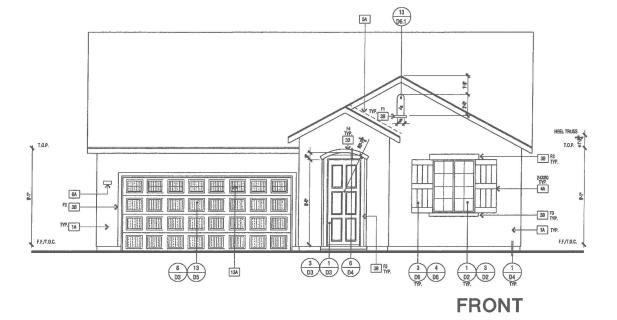
ELEVATION STYLE:		COTTAGE		
STANDARD ROOF	FASCIA -	BARGE -	OVERHANG DIM U.N.O.	
DETAIL U.N.O.	U.N.O.	U.N.O.	EAVE	RAKE
1 D1.1	2X6	2X6	1'-0"	1'-0"
	STANDARD ROOF DETAIL U.N.O.	STANDARD ROOF FASCIA- DETAIL U.N.O. U.N.O.	STANDARD ROOF FASCIA- DETAL U.N.O. U.N.O. BARGE - U.N.O. U.N.O.	STANDARD ROOF FASCIA- DETAL U.N.D. U.N.D. BARGE - U.N.D. EAVE

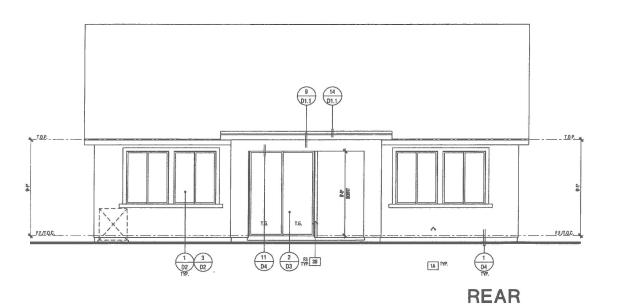
ROOF PLAN NOTES ROOF PLAN NOTES IN ROP ROPE STORE. PROVIDE ATTO A SOFTH YEATH ATTOM PRIS OND SCHOOL PRO ODS. SECTION RODG. THE MINIMAL HIS TIPES. PROVIDE ATTO A SOFTH YEATH ATTOM PRIS OND SCHOOL PROS. PRIS OND SECTION RODG. THE MINIMAL HIS TIPES. PROVIDED ATTOM AREA SHALL BE 1/300 OF THE WARTED SPACE. EXCEPTION THE MINIMAL HIS TIPES. VEHTLATION AREA SHALL BE 1/300 OF THE WARTED SPACE PROVIDED AT LEAST AN PERCENT AREA NOT MORE THAN SO PROGRESS OF THE REQUIRED WHITTAM AREA IS PROVIDED BY WEITHLATOR LOATED HIS HE REPORT PROTION OF THE ATTOC OR RAPTIES SPACE. UPPER WEITHLATORS SHALL BE LOADER HO MORE THAN IS FEET BELOW THE BODGE OR REGISTED TOWN TO FEET WHITTAM AREA SHALL BE LOADER HOW WEITHLATOR HOW THE POWER THE WEITHLATOR HOW THE POWER OF THE SPACE SHALL RESIDENCE WHITTAM FOR SHALL RESIDENCE THE RECOUNTER RODGE OR HEREST TOWN OF THE SPACE SHALL BE FEBRATION. PROVIDED AT THE SPACE SHALL BE FEBRATION. PROVIDED ATTOC HIS TIPE SHALL SHALL BE AS A SHALL BANDER AS REPARTED WHITE SHALL SHALL HOW THE RODGE OF THE SPACE SHALL ROUNTE SHAPE SHALL BE A SHALL BE A SHALL BE A SHALL BE A SHALL BANDER HERE SHALL BE A SHALL BANDER HERE AND SHALL BE A SHA

- REFER TO SHEETS R1.1. R2.1. ETC... FOR ATTIC VENTILATION CALCULATIONS.

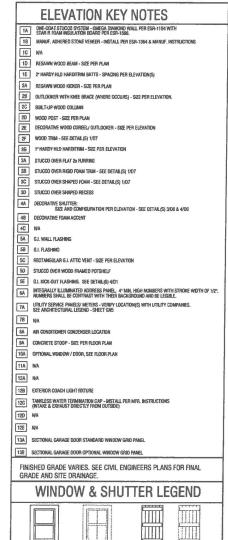


RADIANT BARRIER TO BE INSTALLED PER DETAIL 8/D5

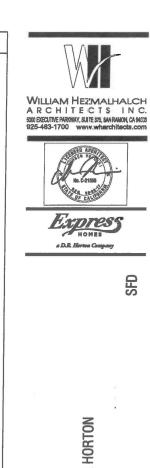




ELEVATIONS - 'D' COTTAGE



STANDARD AT ENHANCED LOTS NOTE: WINDOW, TRIM, AND SHUTTER STYLE VARY, SEE ELEVATION.



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DR

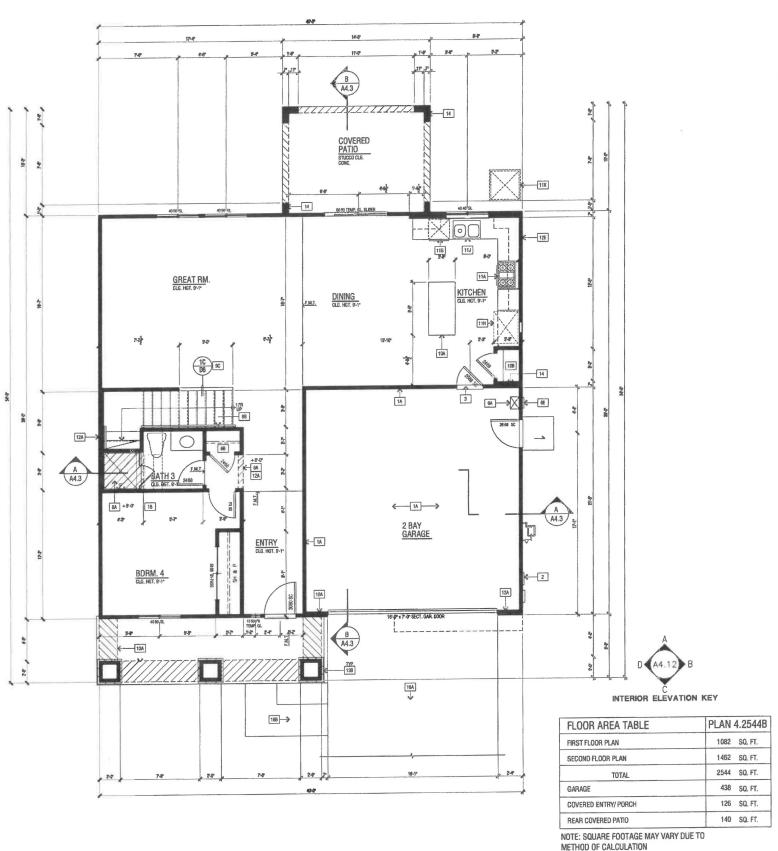
REVISIONS NO. DATE DESCRIPTION

PLAN: 3.2080

SHEET TITLE: **ELEVATIONS & ROOF PLAN D** COTTAGE

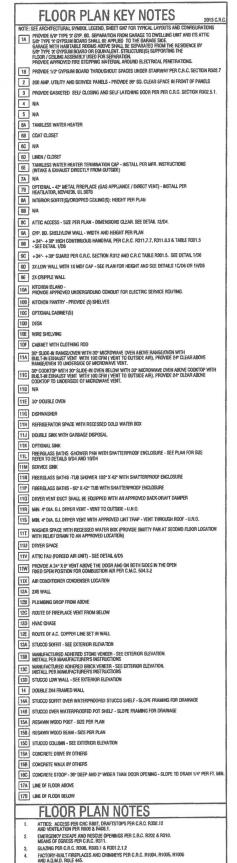
PROJECT MANAGER:	MH
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY :	
1ST BLOG. DEPT. SUBMITTAL	
SPEC. LEVEL	EXPRESS HOMES-SPEC LEVEL 2
JOB HUMBER :	2015040
CAD FILE NAME:	AB10

06/30/16 A3.10

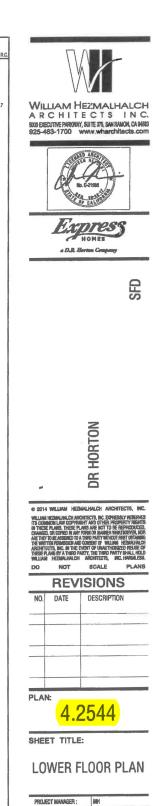


LOWER FLOOR PLAN 'B' REGENCY

SCALE: 1/4" = 1'-0"



AND A.D.M. P.REL #45
COMBISSTION AN FORCED ARE UNIT PER C.M.C. CHAPTER 7.
COMBISSTION AN TO WATER REATER FER C.P.C. SECTION 507.0.
CHAPTER 7.
C



REVIEWED BY

SPEC. LEVEL

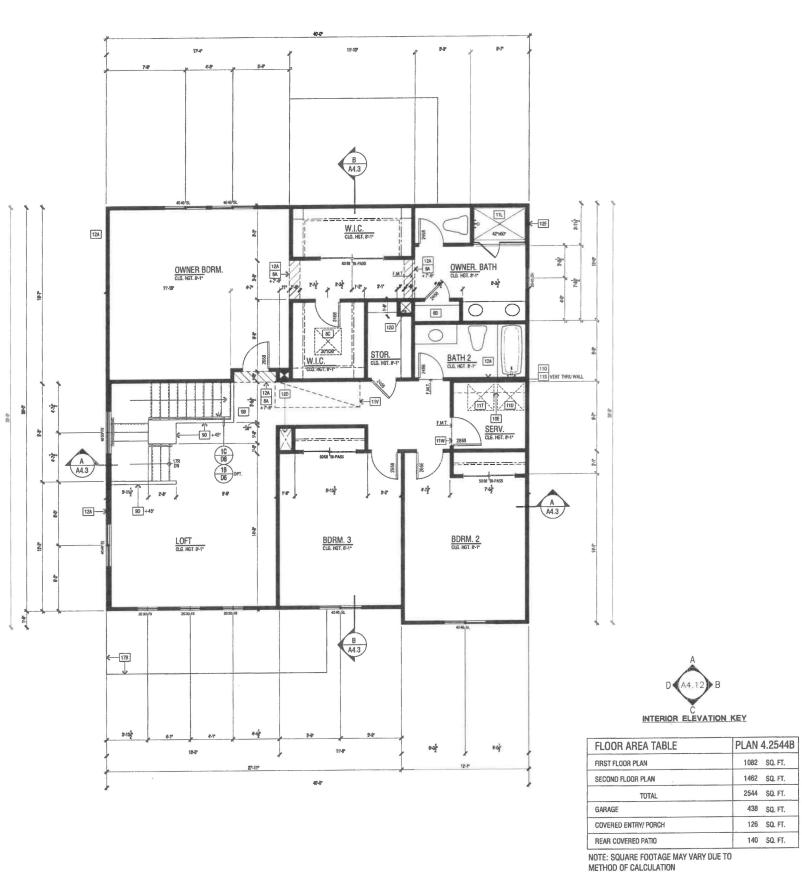
JOB NUMBER:

CAD FILE NAME:

1ST BLDG, DEPT, SUBMITTAL

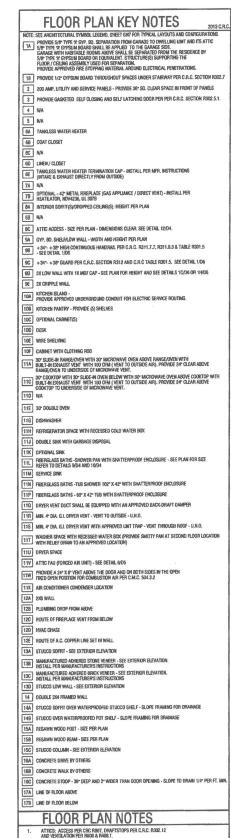
AB01.0

06/30/16 A4.1



UPPER FLOOR PLAN 'B' REGENCY

SCALE: 1/4" = 1'-0"



CHARGE HOUSE SAND RESCUE OPENINGS PER C.R.C. R202 & R310.
MEANS OF ERRORS PER C.R.C. R310, R310 2.1.2
FACTORY CHART REPORT AS R03.1 & R301 2.1.2
FACTORY CHART REPORT AS AND CHIMNEYS PER C.R.C. R1004, R1005, R1006
AND A.D.M.D. RIJE 445.

ENMROWMENTAL AIR DUCTS PER C.M.C. SECTION 504.
MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER C.M.C. 307.

COMBUSTION AIR TO FORCED AIR UNIT PER C.M.C. CHAPTER 7. COMBUSTION AIR TO WATER HEATER PER C.P.C. SECTION 507.0.

WILLIAM HEZMALHALCH ARCHITECTS INC. 5000 EXECUTIVE PARKWAY, SUITE 375, SAN RAMON, CA 94583 925-463-1700 www.wharchitects.com Expres a D.R. Horton Company

DR HORTON

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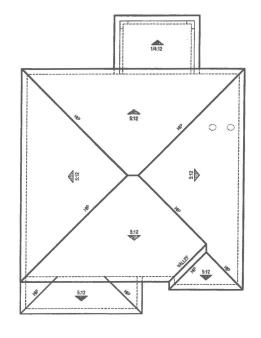
PLAN:

SHEET TITLE:

UPPER FLOOR PLAN

PROJECT MANAGER:	MH
DESIGNER :	MR
DRAWN BY:	
REVIEWED BY:	
1ST BLDG, DEPT. SUBMITTAL :	
SPEC. LEVEL	EXPRESS HOMES-SPEC LEVE
JOB NUMBER :	2015040
CAD FILE NAME :	A801.1

SHEET: 06/30/16 A4.1.1



ELEVATION REFERENCE: B		ELEVATION STYLE:		REGENCY		
BOOK MATERIAL		STANDARD ROOF	FASCIA -	BARGE -	OVERHANG DIM U.N.O.	
ROOF MATERIAL		DETAIL U.N.O.	U.N.O.	U.N.O.	EAVE	RAKE
COMPOSITION S	HINGLES	1 D1	2X6	2X6	1'-0"	1'-0"

ROOF PLAN NOTES 1. SEE GENERAL NOTES FOR ROOF NOTES. 2. PROVIDE ATTIC A SOFFIT VEHTLATION FER ORG SECTION ROOS, 2, THE MINIMAM NET FREE VEHTLATION AREA SHALL BE VISO OF THE AREA OF THE VEHTLO SPACE. DOCKFRONE THE MINIMAM NET FREE VEHTLATION AREA SHALL BE VISO OF THE VEHTLO SPACE PROVIDED AT LICEAT OF PRECIPIT MEN ON THOSE THAN SO PERCENT HE OF THE VEHTLATION AREA SHALL BE VISO OF THE VEHTLO SPACE PROVIDED AT LICEAT OF PRECIPIT MEN ONT MADE AND AN ADVENTION OF THE ART OF ROOF AND THAN OF THE OFFICE PROTION OF THE ARMAD SHALL BE LOCATED IN THE UPPLY PROTION OF THE ARMAD SHALL BE LOCATED AT THE PROVIDED AND ADVENTION OF THE ARMAD SHALL BE LOCATED AT THE FILLING THE PROVIDED AND ADVENTION OF THE POWER VEHTLATION OF SHALL BE LOCATED AT THE FILLING THE PROVIDED AND ADVENTION OF THE POWER VEHTLATION OF LIFES AND ADVENTION OF THE POWER SHALL BE LOCATED AT THE ROOF ON THE SPACE SHALL BE PERMITTED. 2. BANAMET ARROWS PROVIDED BY THE 24 REFINER FOR THE SPACE AND PROVIDED AND FOR THE SPACE SAME MORE THAN A THE TIES OF THE POWER SHALL BE LOCATED AND ADDRESS AND MORE THAN A THE TIES OF THE POWER SHALL BE LOCATED AND ADDRESS AND MORE THAN A THE TIES OF THE POWER SHALL BE LOCATED AND ADDRESS AND MORE THAN A THE TIES OF THE POWER SHALL BE LOCATED AND ADDRESS AND MORE THAN A THE TIES OF THE POWER SHALL BE LOCATED AND ADDRESS AND MORE THAN A THE TIES OF THE POWER SHALL BE LOCATED AND ADDRESS AND MORE THAN A THE TIES OF THE POWER SHALL BE LOCATED AND ADDRESS AND MORE THAN A THE TIES OF THE POWER SHALL BE LOCATED AND ADDRESS AND MORE THAN A THE TIES OF THE POWER SHALL BE PERMITTED.

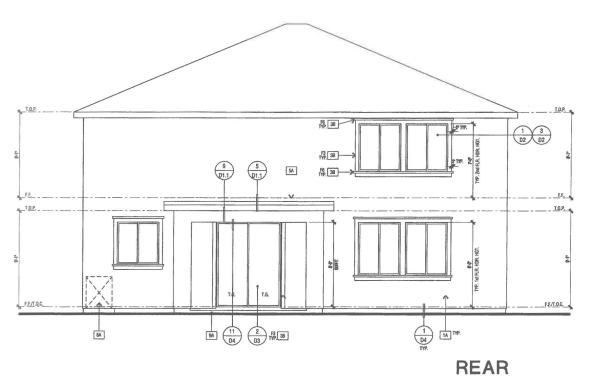
- OR HIGHEST PORT OF THE SPACE SHALL BE PERMITTED.

 PROAMTH SIGNER REQUIRED FOR TITLE A PERSON'S COMPLANCE SHEET, SPECIAL, FEATURES AND MODELING ASSUMPTIONS LOCATED ON SHEETS T-64-1-3. RESTALL FACAMANT MAPRIER PROF SHEATHING WITH REFLECTIVE SOOT TOWNARDS OFFOR ATTIC. RESTALL MOMENT BURNERS HERWINGHOUS CHARGE LIFE OND GO CONCINCTION OFFOR TIPLES WEST TOWNARDS OFFIR ATTIC. REFIRST TO APPRIENCE OF THE 200 RESIDENTIAL ADAM MANUAL, SECTION 14-2.1., PAQUANT BURNERS BISCHALTON SHALL ORDINGNING STATE CHARGE AND THE 200 RESIDENTIAL ADAM MANUAL. SECTION 14-2.1.
- 4. PROVIDE ALL PLIANIBING VEHT / ROOF PENETRATIONS WITHIN 30° OF RIDGE OR HIP TO ALLOW FOR RUTURE SCHAR PANEL INSTALLATION.
- 5. REFER TO SHEETS R1.1, R2.1, ETC... FOR ATTIC VENTILATION CALCULATIONS
- INDICATES SLOPE/DIRECTION

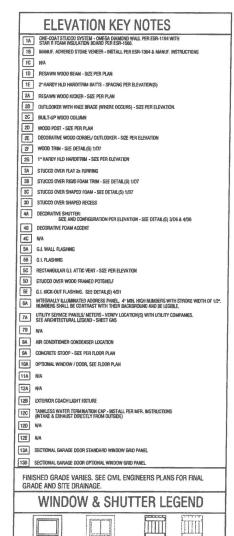
 INDICATES DOWNSPOUT (IF REQUIRED).

 INDICATES ROOF GUTTER (IF REQUIRED).
- INDICATES LINE OF OVERHANG.
- RADIANT BARRIER TO BE INSTALLED PER DETAIL 8/D5

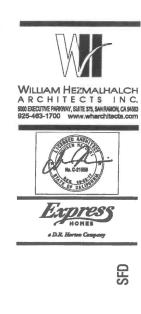




ELEVATIONS - 'B' REGENCY



STANDARD AT ENHANCED LOTS



DR HORTON

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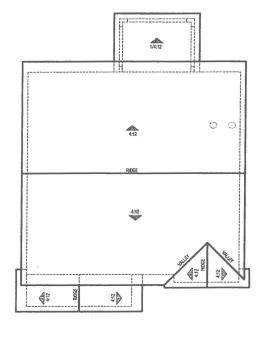
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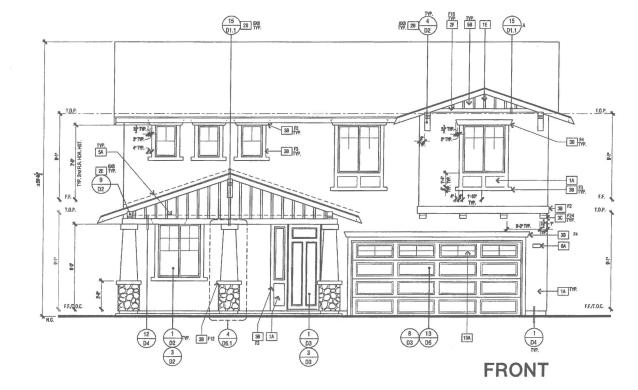
4.2544

ELEVATIONS &
ROOF PLAN B
REGENCY

PROJECT MANAGER:	MH
DESIGNER :	MR
DRAWN BY:	
REVIEWED BY :	
1ST BLOG. DEPT. SUBMITTAL :	
SPEC. LEVEL	EXPRESS HOMES-SPEC LEVE
JOB NUMBER :	2015040
CAD FILE NAME :	A804

DATE: SHEET: **A4.4**





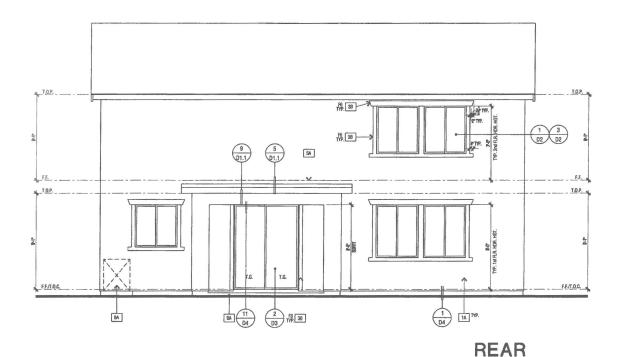
	STANDARD POOF DETAIL U.N.O.	FASCIA - U.N.O.	BARGE - U.N.Q.	OVERHANG DIM U.N.O.	
ROOF MATERIAL				EAVE	RAKE
COMPOSITION SHINGLES	1 D1	2X6	2X6	2'-0"	1'-0'

- ROOF PLAN NOTES SEE GENERAL NOTES FOR ROOF NOTES.

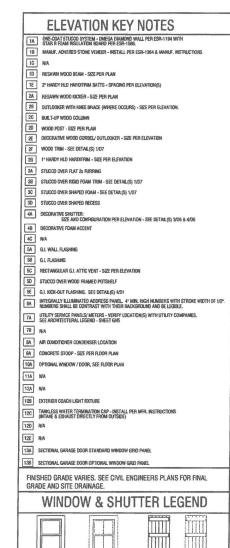
- REPER TO SHEETS R1.1, R2.1, ETC... FOR ATTIC VENTILATION CALCULATIONS. INDICATES SLOPE/DIRECTION

INDICATES DOWNSPOUT (# REQUIRED). INDICATES ROOF GUTTER (IF REQUIRED). INDICATES LINE OF OVERHANG.

RADIANT BARRIER TO BE INSTALLED PER DETAIL 8/D5

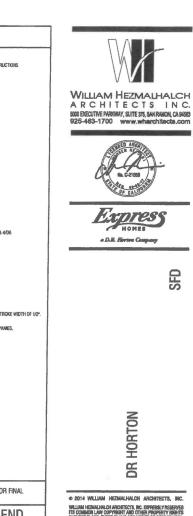


ELEVATIONS - 'C' CRAFTSMAN



STANDARD AT ENHANCED LOTS

NOTE: WINDOW, TRIM, AND SHUTTER STYLE VARY, SEE ELEVATION.



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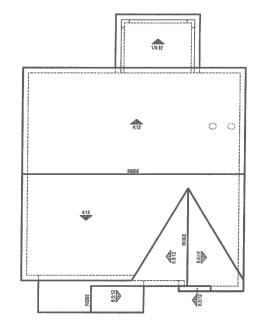
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REVISIONS								
NO.	DATE	DESCRIPTION	I					
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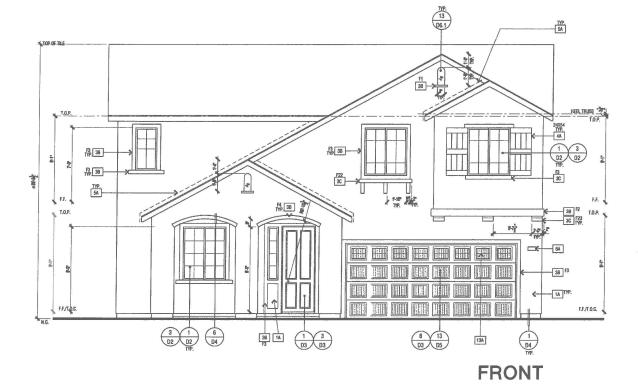
PLAN: 4.2544

SHEET TITLE: ELEVATIONS & ROOF PLAN C **CRAFTSMAN**

PROJECT MANAGER:	MH
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY :	
1ST BLDG. DEPT. SUBMITTAL :	
SPEC. LEVEL	EXPRESS HOMES-SPEC LEVEL
JOB KUMBER :	2015040
CAD FILE NAME :	A807

06/30/16 A4.7



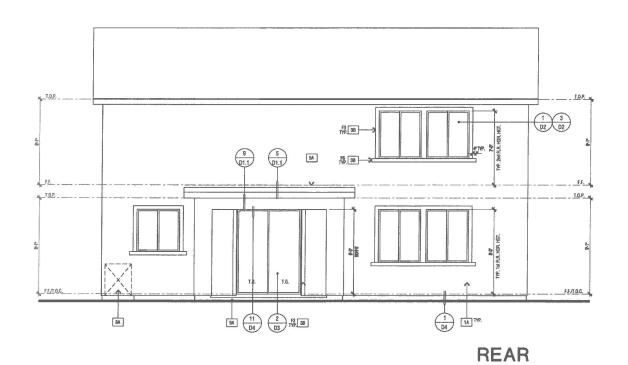


STANDARD ROOF FASCIA - U.N.O. BARGE - U.N.O. GAVE RAKE ROOF MATERIAL (1) (D1.1) COMPOSITION SHINGLES 2X6 2X6 1'-0" 1'-0" ROOF PLAN NOTES ROOF PLAN NOTES SO ROOM NOTES. PROVIDE ATTO A SOFTH VEHILLATION PER ORG SECTION ROOM, PER ORG SECTION ROOM, THE MINIMUM NET FREE VEHILLATING ARGA SHALL BE VISO OF THE AFRED OF THE VEHILD SHALE. DOZETNISH: THE MINIMUM NET FREE VEHILLATION AND SHALL BE VISO OF THE AFRED OF THE VEHILLATION SHALE DOZETNISH AND NOT MORE THAN SO FEDERAL OF AN OWN THE AFRED SHALL BE VISON OF THE VEHILLATION SHALE BE VISON OF THE VEHILLATION SHALE BE VISON OF THE VEHILLATION SHALE BE VISON OF THE VEHILLATION OF THE VEHILLATIO PROVIDE ALL PLIMBING VENT / ROOF PENETRATIONS WITHIN 38° OF RIDGE OR HIP TO ALLOW FOR RUTURE SOLAR PANEL INSTALLATION. REFER TO SHEETS R1.1, R2.1, ETC... FOR ATTIC VENTILATION CALCULATIONS. INDICATES SLOPE/DIRECTION INDICATES ROOF GUTTER (IF REQUIRED). INDICATES LINE OF OVERHANG. BADIANT BARRIER TO BE INSTALLED PER DETAIL 8/D5

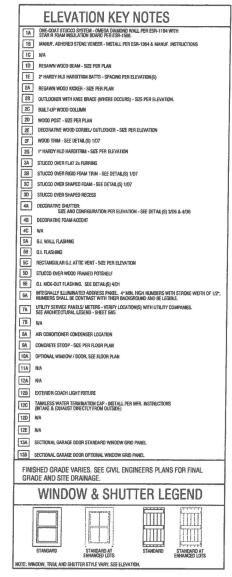
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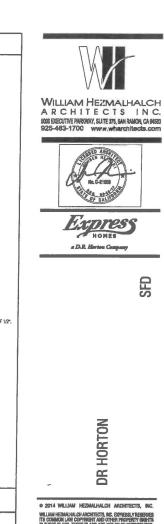
ELEVATION STYLE: COTTAGE

ROOF PLAN



ELEVATIONS - 'D' COTTAGE





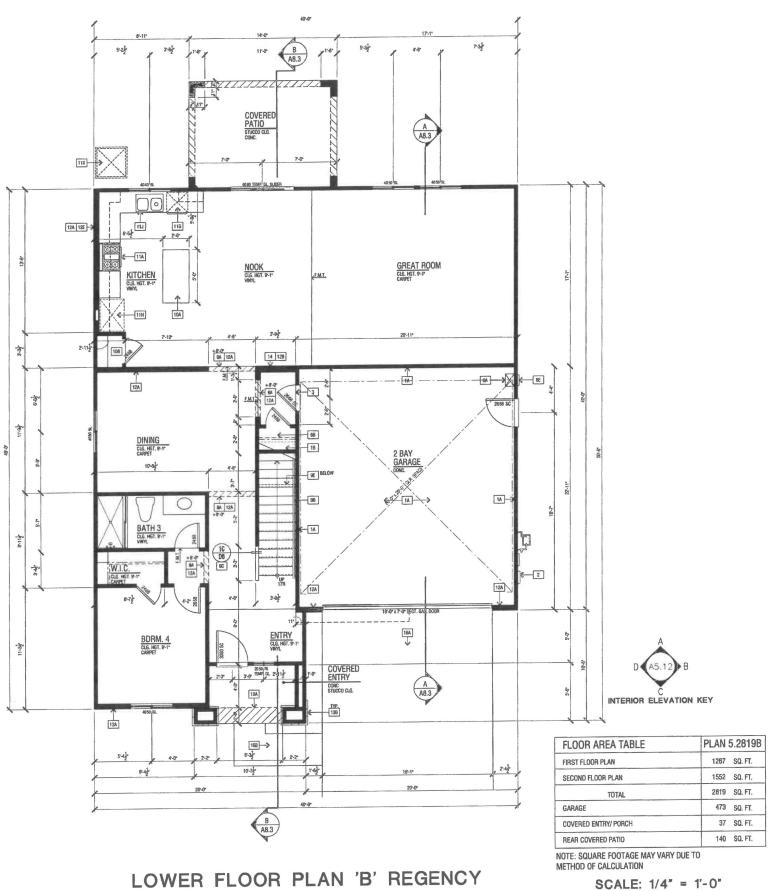
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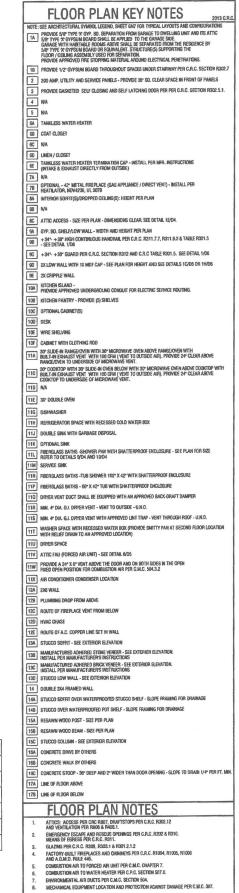
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ELEVATIONS & ROOF PLAN D COTTAGE

PROJECT MANAGER:	MH
DESIGNER :	MR
DRAWN BY :	
REVIEWED BY :	
1ST BLDG. DEPT. SLEMETTAL :	
SPEC. LEVEL	EXPRESS HOMES-SPEC LEVEL
JOB NUNZBER :	2015040
CAD FILE NAME :	A810

DATE: SHEET: A4.10







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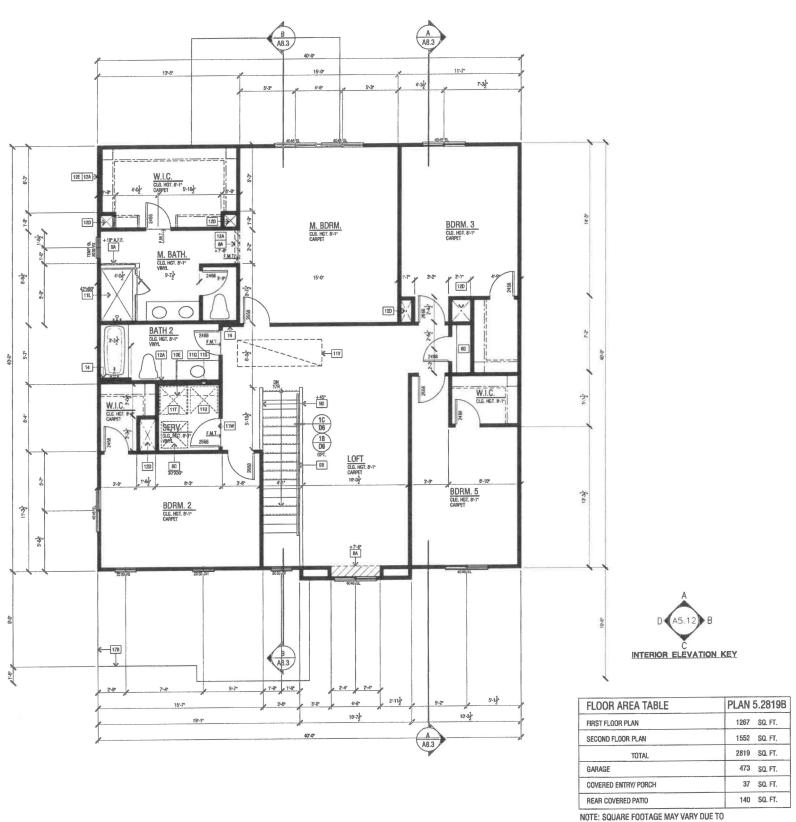
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SHEET TITLE:

LOWER FLOOR PLAN

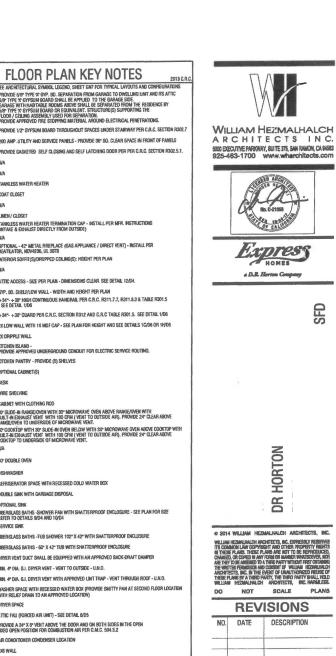
PROJECT MANAGER:	MH
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	
SPEC, LEWEL	EXPRESS HOMES-SPEC LEVEL 2
JOB NUMBER :	2015040
CAD FILE NAME :	AB01.0
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DATE: 06/30/16 A5.1



NOTE: SEE ARCHITECTURAL SYMBOL LEGEND, SHEET GN7 FOR TYPICAL LAYOUTS AND THE SET WAS THE CLUSTERS STRONG CLUSTERS, WERE A SEPARATION FROM THE PROPERTY OF THE SET 1B PROVIDE 1/2" GYPSUM BOARD THROUGHOUT SPACES UNDER STAIRWAY PER C.R.C. SECTION R302. 2 200 AMP, UTILITY AND SERVICE PANELS - PROVIDE 36' SQ. CLEAR SPACE IN FRONT OF PANELS PROVIDE GASKETED SELF CLOSING AND SELF LATCHING DOOR PER PER C.R.C. SECTION R302.5.1. GA TANKLESS WATER HEATER 68 COAT CLOSET 7B OPTIONAL - 42" METAL RREPLACE (GAS APPLIANCE / DIRECT VENT) - INSTALL PER HEATRATOR, NOV4236, UL 307B BC ATTIC ACCESS - SIZE PER PLAN - DIMENSIONS CLEAR. SEE DETAIL 12/D4. 9A GYP. 80. SHELF/LOW WALL - WIDTH AND HEIGHT PER PLAN 99 +34" +38" HIGH CONTINUOUS HANDRAIL PER C.R.C. R311.7.7, R311.8.3 & TABLE R301.5 -SEE DETAIL 1/D6 9C +34*- +38* GUARD PER C.R.C. SECTION R312 AND C.R.C TABLE R301.5. SEE DETAIL 1/D6 90 2X LOW WALL WITH 1X MOF CAP - SEE PLAN FOR HEIGHT AND SEE DETAILS 1C/06 OR 1H/06 9E 2X CRIPPLE WALL KITCHEN ISLAND - PROVIDE APPROVED UNDERGROUND CONDUIT FOR ELECTRIC SERVICE ROUTING. 10C OPTIONAL CABINET(S) 10E WIRE SHELVING 10F CABINET WITH CLOTHING ROD TIC 30" COOKTOP WITH 30" SLIDE-IN OVEN BELOW WITH 30" MICROWAVE OVEN ABOVE COOKTOP WITH 30" MICROWAVE OVEN ABOVE COOKTOP WITH SIZE AREA BOVEN OF MICROWAVE OF IN LIBERATURE OF MICROWAVE VEHT. 110 N/A 11E 30" DOUBLE OVEN 11G DISHWASHER 11.J DOUBLE SINK WITH GARBAGE DISPOSAL FRERBLASS BATHS -SHOWER PAN WITH SHATTERPROOF ENCLOSURE - SEE PLAN FOR SIZE REFER TO DETAILS 9/04 AND 10/04 11U DRYER SPACE 11V ATTIC FAU (FORCED AIR UNIT) - SEE DETAIL 6/05 PROVIDE A 24" X 6" VENT ABOVE THE DOOR AND ON BOTH SIDES IN THE OPEN FRED OPEN POSITION FOR COMBUSTION AIR PER C.M.C. 504.3.2 11X AIR CONDITIONER CONDENSER LOCATION 12A 2X6 WALL 12B PLUMEING DROP FROM ABOVE 12C ROUTE OF FIREPLACE VENT FROM BELOW 120 HVAC CHASE 12E ROUTE OF A.C. COPPER LINE SET IN WALL 13A STUCCO SOFRT - SEE EXTERIOR ELEVATION 138 MANUFACTURED ADHERED STONE VENEER - SEE EXTERIOR ELEVATION INSTALL PER MANUFACTURERS INSTRUCTIONS 13D STUCCO LOW WALL - SEE EXTERIOR ELEVATION 14 DOUBLE 2X4 FRAMED WALL 14A STUCCO SOFFIT OVER WATERPROOFED STUCCO SHELF - SLOPE FRAMING FOR DRAMAGE 14B STUCCO OVER WATERPROOFED POT SHELF - SLOPE FRAMING FOR DRAMAGE 15A RESAWN WOOD POST - SIZE PER PLAN 158 RESAWN WOOD BEAM - SIZE PER PLAN 15C STUCCO COLLIMN - SEE EXTERIOR ELEVATION 16A CONCRETE DRIVE BY OTHERS 16B CONCRETE WALK BY OTHERS 18C CONCRETE STOOP - 38" DEEP AND 2" WIDER THAN DOOR OPENING - SLOPE TO DRAIN 1/4" PER FT. 7A LINE OF FLOOR ABOVE 78 LINE OF FLOOR BELOW **FLOOR PLAN NOTES** ATTICS: ACCESS PER CRC R807, DRAFTSTOPS PER C.R.C. R302.12
AND VENTILATION PER R808 & R408.1. EMERGENCY ESCAPE AND RESCUE OPENINGS PER C.R.C. R202 & R310. MEANS OF EGRESS PER C.R.C. R311. MEMSO DE GÉRIESOS PER C.R.C. R311.
CAZING PER C.R.C. R300, R302,1 & R301 2.1.2
FACTION PAULT FREPLACES AND CHAMBENS PER C.R.C. R1004, R1005, R1005
AND A.D.M.D. RULE 445.
COMBISTION AND FORGED ARE WRIT PER C.M.C. CHAPTER 7.
COMBISTION ARE TO WACTER HEATER PER C.P.C. SECTION 507.0.

ENVIRONMENTAL AIR DUCTS PER C.M.C. SECTION 504.
MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER C.M.C. 307.



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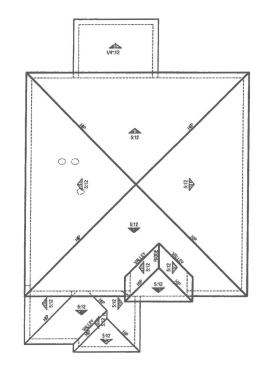
UPPER FLOOR PLAN

PROJECT MANAGER:	MH
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY :	
1ST BLDG. DEPT. SUBMITTAL :	
SPEC. LEVEL	EXPRESS HOMES-SPEC LEVE
JOB NUMBER :	2015040
CAD FILE NAME:	A801.1

06/30/16 A5.1.1

UPPER FLOOR PLAN 'B' REGENCY SCALE: 1/4" = 1'-0"

METHOD OF CALCULATION

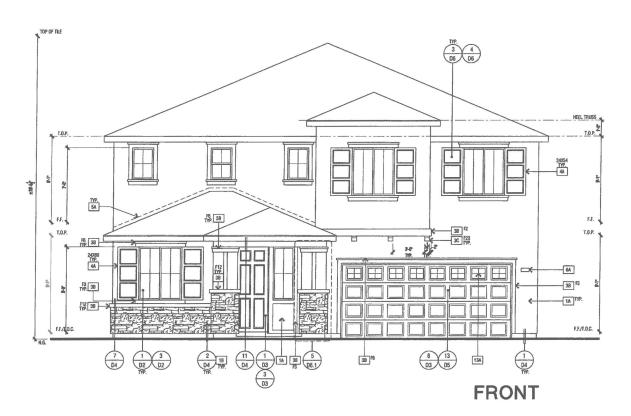


ELEVATION REFERENCE: 8	ELEVATION STYLE:		REGENCY		
	STANDARD ROOF DETAIL U.N.O.	FASCIA - U.N.O.	BARGE - U.N.O.	OVERHANG DIM U.N.O.	
ROOF MATERIAL				EAVE	RAKE
COMPOSITION SHINGLES	1 Di	2X6	2X6	1'-0"	1'-0"

	ROOF PLAN NOTES				
1.	SEE GENERAL NOTES FOR ROOF NOTES.				
2.	PROVIDE ATTIC & SUFTI VEHILLATION PER CRE-SECTION RODG. PER CRE-SECTION RODG. IT IS IMMINIAM NET FREE VEHILLATION AREA SHALL BE VISIO OF THE MERCH AT THE VEHILDE SWACE. DECREPTION THE NIMINIAM NET FREE VEHILLATION AREA SHALL BE VISIO OF THE VEHILDE SWACE. DECREPTION AREA SHALL BE VISIO OF THE VEHILDE SWACE PROVIDED AN LEAST 40 PRICEST AND NOT MONE THAN DIST MAN DET HAND PRESENT OF THE REQUIRED VEHILLATION AREA SE ROMOVED OF VEHILLATION SCALED IN THE LIPEST PRITTION OF THE ATTIC OR NOTTICE AWAY. DEVELOPED IN VEHILLATION OF MALE SHALL PROVIDE AWAY. DEVELOPED THE RECOVER OF THE CONTROL OF THE AWAY OF THE RECOVER OF THE RECOVER OF THE CONTROL OF THE CONTROL OF THE AWAY OF THE RECOVER OF THE RECOVER OF THE CONTROL OF THE CONTROL OF THE SECONDAL OF THE PROME MEMBERS COMPLICITS WITH THE RESTALLATION OF UPPER VEHILLATION, INSTALLATION MORE THAN 3 FEET BELOW THE PROGE ON HEIGHT OF THE SPECIAL SHALL DE PRESENTED OF THE SPECIAL DEPREMENTATION.				

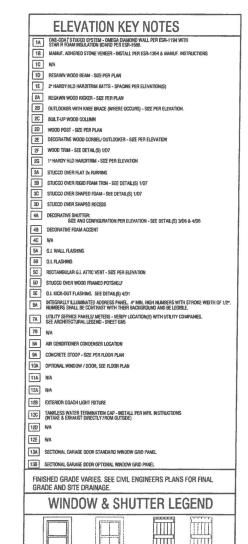
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- REFER TO SHEETS R1.1, R2.1, ETC... FOR ATTIC VENTILATION CALCULATIONS.







ELEVATIONS - 'B' REGENCY



STANDARD AT ENHANCED LOTS NOTE: WINDOW, TRIM, AND SHUTTER STYLE VARY, SEE ELEVATION



DR HORTON

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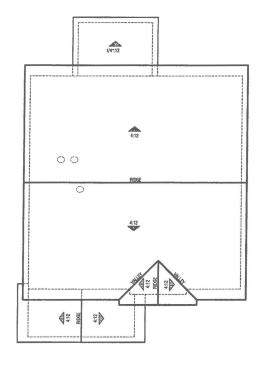
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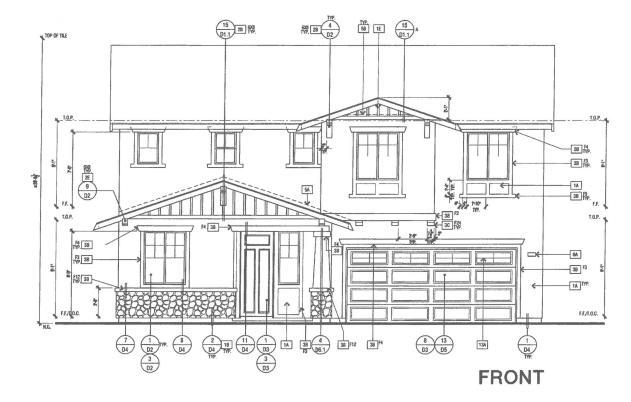
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SHEET TITLE: **ELEVATIONS & ROOF PLAN B** REGENCY

PROJECT MANAGER:	NOT
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY:	
1ST BLOG, DEPT. SUBMITTAL:	
SPEC. LEVEL	EXPRESS HOMES-SPEC LEVEL
JOB NUMBER :	2015040
CAD FILE NAME :	A804
DATE:	SHEET:

06/30/16 A5.4





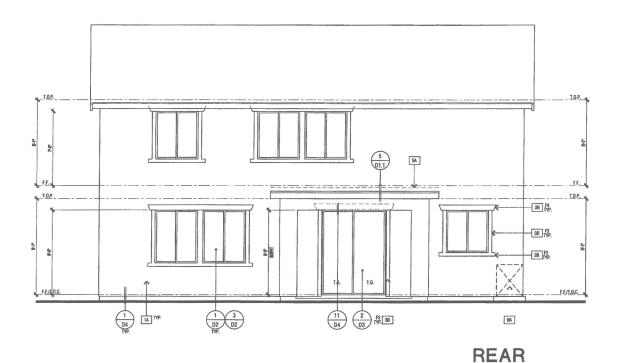
STANDARD ROOF FASCIA - BARGE - OVERHANG DIM. - U.N.O. EAVE RAKE ROOF MATERIAL (1) (D1) COMPOSITION SHINGLES 2X6 2X6 2'-0" 1'-0" ROOF PLAN NOTES SEE GENERAL NOTES FOR FOOT MOTES. PROVIDE ATTO. SO STITL SHITMATED WERD FOR SECTION 1880. PER CRIS SECTION 1880.2. THE IMMINIAN NET FREE PROVIDE ATTO. SO STITL SHIPMATED WERD FOR SECTION 1880. PER CRIS SECTION 1880.2. THE IMMINIAN NET FREE SECTION 1880.2. THE SECTION 1880.2. SECTION 1880.2. SECTION 1880.2. THE SECTION 1880.2. SECTION 1880.2. SECTION 1880.2. THE SECTION 1880.2. SECTI SEE GENERAL NOTES FOR ROOF NOTES. WEBS TOWARDS OPEN ATTIC. REFER TO APPENDIX TO OF THE 2003 RESIDENTIAL ACM MANNIAL SECTION R4.2.1.. RADIANT BARRIER INSTALLATION SHALL CONFORM TO ASTM C-1158 AND ASTM C-727. SEE DETAIL 8/D5. PROVIDE ALL PLIMBING VENT / ROOF PENETRATIONS WITHIN 36° OF RIDGE OR HIP TO ALLOW FOR FUTURE SOLAR PANEL INSTALLATION. REFER TO SHEETS R1.1. R2.1. ETC... FOR ATTIC VENTILATION CALCULATIONS INDICATES SLOPE/DIRECTION INDICATES DOWNSPOLIT (IF REQUIRED) INDICATES LINE OF OVERHANG. RADIANT BARRIER TO BE INSTALLED PER DETAIL 8/D5

SCALE: 1/8" = 1'-0"

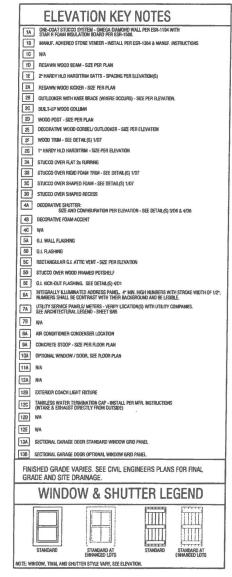
CRAFTSMAN

ROOF PLAN

ELEVATION REFERENCE:



ELEVATIONS - 'C' CRAFTSMAN





DR HORTON

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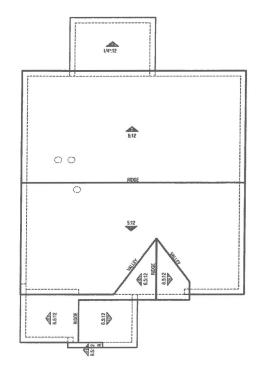
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ELEVATIONS & ROOF PLAN C CRAFTSMAN

PROJECT MANAGER:	MH
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL :	
SPEC. LEVEL	EXPRESS HOMES-SPEC LEVEL
JOB NUMBER :	2015040
CAD FILE NAME :	A807
	,
DATE:	SHEET:

06/30/16 A5.7



ELEVATION REPERENCE: D		ELEVATION STYLE:		COTTAGE		
		STANDARD ROOF	FASCIA -	BARGE -	OVERHANG DIM U.N.O.	
ROOF MATERIAL		DETAIL U.M.O.	U.N.O.	U.N.O.	EAVE	RAKE
COMPOSITION S	SHINGLES	1 D1.1	2X6	2X6	1'-0"	1'-0"

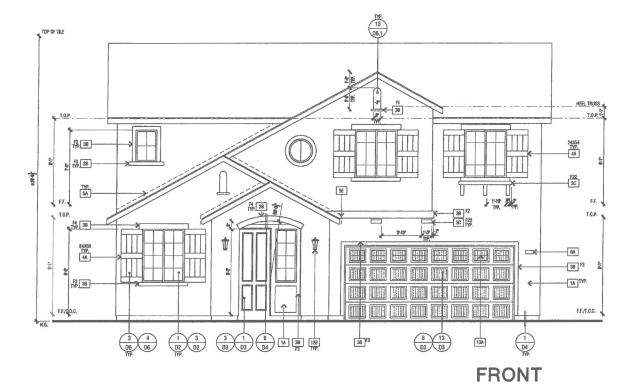
	ROOF PLAN NOTES
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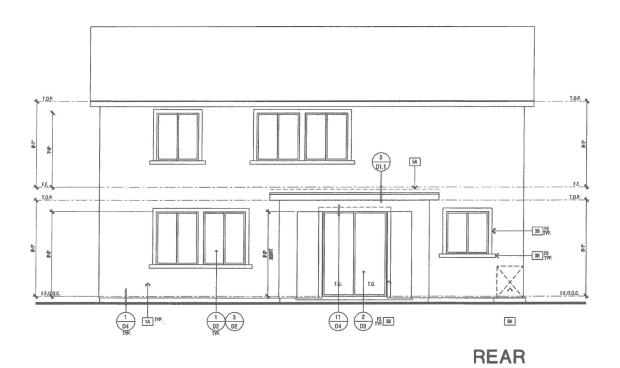
- ON HORSES FURST IN THE STREET SHARE. SHALL BE PERSON FOR PLANCE SHEET, SPECIAL FEATURES AND MODELING SASSIAMTIONS LOCATED ON SEEEST 5-24.1-3. NOTAL RADAMT BURGER ROOF SHEATH MAY REFER SHAD MODELING SASSIAMTIONS LOCATED ON SEEEST 5-24.1-3. NOTAL RADAMT BURGER ROOF SHEATH ROOF SHEATH REFER SHAD FOR SHEATH ROOF SHEATH ROOF SHEATH REFER SHAD WITH SHEATH SHAD FOR SHEATH ROOF SHEAT
- REFER TO SHEETS R1.1, R2.1, ETC... FOR ATTIC VENTILATION CALCULATIONS.

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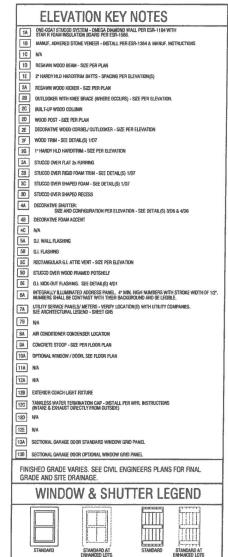
INDICATES LINE OF OVERHANG.
INDICATES LINE OF STRUCTURE.

RADIANT BARRIER TO BE **INSTALLED PER DETAIL 8/D5**

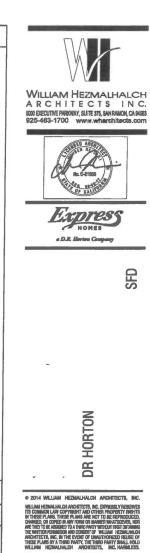




ELEVATIONS - 'D' COTTAGE



NOTE: WINDOW, TRIM, AND SHUTTER STYLE VARY, SEE ELEVATION



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SHEET TITLE: ELEVATIONS & ROOF PLAN D COTTAGE

PROJECT MANAGER:	MH
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMETTAL:	
SPEC. LEVEL	EXPRESS HOMES-SPEC LEVEL 2
JOB NUMBER :	2015040
CAD FILE NAME:	A810

06/30/16 A5.10



119 Fox Street • Lemoore, California 93245 • (559) 924-6700 • Fax (559) 924-9003

Staff Report

To: Lemoore Planning Commission Item No. 6

From: Steve Brandt, City Planner

Date: December 23, 2016 Meeting Date: January 9, 2017

Subject: Zoning Text Amendment No. 2016-03: Amendments to portions of the

following articles within the Lemoore Municipal Code related to Zoning and Subdivisions: Article A of Chapter 4 of Title 9 (Land Use Definitions); Article B of Chapter 4 of Title 9 (Allowed Uses and Required Entitlements); Article D of Chapter 4 of Title 9 (Accessory Dwelling Units, Manufactured Homes, and Shopping Carts); Article E of Chapter 5 of Title 9 (Standards for Off Street Parking); Article F of Chapter 5 of Title 9 (Standards for Permanent On Site Signs and Flags); and Chapter 10 of Title 7 (Public Facilities Maintenance Districts and Homeowner's Associations) and Article C of Chapter 5 of Title 9 (Design Standards for Big Box Stores, Discount Clubs, and Discount

Superstores.)

Proposed Motion:

Planning Commission, by motion, adopt Resolution #2017-02, recommending approval of Zoning Text Amendment No. 2016-03, (as amended by the Planning Commission.)

Project Proposal:

Staff is bringing forward for consideration several text amendments for the Planning Commission and the City Council to consider. Some are considered clean-up amendments to make the Zoning Ordinance more understandable and internally consistent. Some are Staff's attempts to be proactive and make changes before they become issues. Some are in response to changes in State law.

The specific wording change is shown in Attachment A of the draft resolution with new wording in <u>underline</u> and wording to be removed in strikeout. The following is a summary of each proposed change.

1. Assembly uses. Currently meeting facilities for clubs or groups, halls, churches, community centers and multipurpose facilities are all grouped into one land use

called assembly uses. City Staff is proposing that these uses be divided into three sub groups as enumerated below:

- 1) Club, Lodge, or Private Meeting Hall
- 2) Community Center or Facility
- 3) Religious Institution or Facility

Each of these three uses would have their own definition. The purpose for dividing them into three uses is so that they can be regulated differently by zone district. Table 9-4B-2 would be amended to show where these new uses would be allowed.

- 2. Outdoor Commercial Barbeques. This use is currently not regulated by zone. The text proposes a definition and that this use only be allowed in non-downtown commercial zones, and be required to obtain an administrative use permit.
- 3. Vaping Shops. City staff is proposing new text and a definition regarding vaping shops. Under the new ordinance wording that would be regulated the same as a smoke shop.
- 4. Second Dwelling Units. State law requires that cities allow second dwelling units in single-family residential zones by right, but allows cities to apply certain design standards. State law was recently changed pursuant to (SB 1069), and these proposed changes would bring Lemoore's requirements into compliance with the new law. The most obvious change is that the State would like these uses to be called "accessory dwelling units."
- 5. Manufactured Homes. State law requires that manufactured homes be allowed wherever traditionally built single-family homes are built. However, cities may put certain limits on design and on the age of new installations. Lemoore previously did not have these limits. The proposed new text would require certain design changes to ensure that the home looks and operates like a single-family home. Additionally, the change and would only allow manufactured homes that are less than 10 years old to be installed in the city.
- 6. Shopping Carts. The new text would require that new retail stores with shopping carts place disabling devices on the carts that prevent them from being taken offsite. Disabling devices could include wheel locks that automatically engage or poles taller than the doorway that prevent the cart from being taken outside.
- 7. Freestanding Signs in the Downtown. The current code was inconsistent about whether freestanding signs are allowed downtown. The proposed text would clarify that they are allowed. The maximum size would be 20 sq.ft. and the maximum height would be 4 feet.
- 8. Paved Surfaces in Front Yards. The new text proposed a new way to determine the amount a front yard that can be paved. This new text would be more restrictive than the current code. It would allow additional paving 12 feet wide beyond the width of

the garage. Residences with no front-facing garage would be allowed paving a maximum of 20 feet wide.

- 8. Flags and Flagpoles. The new text allows for larger flags and taller flagpoles in some zones. Very large flags would be allowed in the Industrial and Regional Commercial zones when appropriate setbacks and met. Flag size and dimension requirements are based on established protocols for U.S. flags.
- 10. Homeowner's Associations and Public Facilities Maintenance Districts. The new text would require that a public facilities maintenance districts be formed even when and homeowner's association is proposed. This provides an alternative in the event that the homeowner's association fails to meet its obligations.
- 11. Big Box Store Design Standards. These new standards provide additional guidance to the architectural elements of retail stores with over 50,000 square feet. They are based on standards previously adopted and successfully implemented by the City of Tehachapi, and will ensure quality architectural treatments be incorporated into these large buildings.

Environmental Assessment:

The project is covered by the general rule that the California Environmental Quality Act (CEQA) applies only to projects which have the potential for causing a significant effect on the environment. It can be seen with certainty that there is no possibility that this project may have a significant effect on the environment; therefore, the activity is not subject to CEQA. [Reference: State CEQA Guidelines sec. 15061(b)(3), General Rule Exemption]

Recommended Findings:

- 1. The Zoning Ordinance Amendment is consistent with the General Plan goals, policies, and implementation programs.
- 2. The Zoning Amendment promotes the health, safety, peace, morals, comfort, and general welfare.

Attachments:

Draft Resolution with revised Ordinance wording

RESOLUTION #2017-02

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LEMOORE RECOMMENDING APPROVAL OF ZONING TEXT AMENDMENT 2016-03:

AMENDMENTS TO PORTIONS OF THE FOLLOWING ARTICLES WITHIN THE LEMOORE MUNICIPAL CODE RELATED TO ZONING AND SUBDIVISIONS: ARTICLE A OF CHAPTER 4 OF TITLE 9 (LAND USE DEFINITIONS); ARTICLE B OF CHAPTER 4 OF TITLE 9 (ALLOWED USES AND REQUIRED ENTITLEMENTS); ARTICLE D OF CHAPTER 4 OF TITLE 9 (ACCESSORY DWELLING UNITS, MANUFACTURED HOMES, AND SHOPPING CARTS); ARTICLE E OF CHAPTER 5 OF TITLE 9 (STANDARDS FOR OFF STREET PARKING); ARTICLE F OF CHAPTER 5 OF TITLE 9 (STANDARDS FOR PERMANENT ON SITE SIGNS AND FLAGS); AND CHAPTER 10 OF TITLE 7 (PUBLIC FACILITIES MAINTENANCE DISTRICTS AND HOMEOWNER'S ASSOCIATIONS) AND ARTICLE C OF CHAPTER 5 OF TITLE 9 (DESIGN STANDARDS FOR BIG BOX STORES, DISCOUNT CLUBS, AND DISCOUNT SUPERSTORES.)

At a Regular Meeting of the Planning Co	nmission of the Ci	ity of Lem	oore duly	called and h	nelo
on January 9, 2017, at 7:00 p.m. on said	ay, it was moved h	by Commi	ssioner		
seconded by Commissioner	and carried	that the	following	Resolution	be
adopted:					

WHEREAS, City staff has proposed several text amendments to the City of Lemoore Municipal Code; and

WHEREAS, the project is covered by the general rule that the California Environmental Quality Act (CEQA) applies only to projects which have the potential for causing a significant effect on the environment. It can be seen with certainty that there is no possibility that this project may have a significant effect on the environment; therefore, the activity is not subject to CEQA. [Reference: State CEQA Guidelines sec. 15061(b)(3), General Rule Exemption]; and

WHEREAS, the Lemoore Planning Commission held a duly noticed public hearing at its January 9, 2017, meeting.

NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Lemoore hereby makes the following findings regarding the proposed conditional use permit:

- 1. The Zoning Ordinance amendment is consistent with the General Plan goals, policies, and implementation programs.
- 2. The zoning amendment promotes the health, safety, peace, morals, comfort, and general welfare.

BE IT FURTHER RESOLVED that the Planning Commission of the City of Lemoore recommends approval of Zoning Text Amendment 2016-03 as worded in Exhibit A attached hereto.

AYES: NOES: ABSTAINING: ABSENT:	APPROVED:	
ATTEST:		, Chairperson
Kristie Baley Commission Secretary	-	

Passed and adopted at a Regular Meeting of the Planning Commission of the City of Lemoore held on January 9, 2017, by the following votes:

Exhibit A

4A-5: DESCRIPTION OF LAND USES:

A. "A" Definitions:

ASSEMBLY USES: Include any of the following uses:

- 1. Meeting facilities for organizations including facilities for business associations, civic, social, and fraternal organizations, labor unions and similar organizations, political organizations, professional membership organizations, and other membership organizations;
- 2. Churches and other religious institutions, including living quarters for ministers and staff, but excluding other establishments maintained by religious organizations such as educational institutions and daycare, which are separately regulated; and
- 3. Community centers and other multipurpose meeting and recreational facilities that include one or more meeting or multipurpose facilities, kitchens, and outdoor barbecue facilities available for use by various groups for meetings, parties, receptions, dances, etc.
- C. "C" Definitions:
- CLUB, LODGE, OR PRIVATE MEETING HALL: A large room or building used for public gatherings where membership or invitation is typically required to attend. It can include a dance floor, lodge rooms, conference rooms, dining rooms, drinking establishments for members and their guests only, and exhibit rooms.
- <u>COMMUNITY CENTER OR FACILITY: An assembly building used typically for non-profit social, recreational, and cultural activities.</u>
- D. "D" Definitions:
- DWELLING, SECOND ACCESSORY UNIT: An attached or detached dwelling unit which provides complete independent living facilities for one or more persons, with permanent provisions for living, sleeping, eating, cooking, and sanitation sited on the same parcel as the primary dwelling unit. This definition includes granny flats.
- O. "O" Definitions.
- OUTDOOR COMMERCIAL BARBEQUE: An outdoor facility at an approved location for cooking food for commercial sale directly over hot coals, fire, or other method approved by the County Health Department.
- R. "R" Definitions.
- RELIGIOUS INSTITUTION OR FACILITY: A facility used primarily to gather for religious worship and related religious activities. This use can include living quarters for staff, kitchens, multipurpose facilities, but does not include educations institutions or daycare, which are separately regulated.

S. "S" Definitions:

SMOKE <u>OR VAPE</u> SHOP: An establishment that either devotes more than fifteen percent (15%) of its total floor area to smoking, <u>vaping</u>, drug, and/or tobacco paraphernalia, or devotes more than a ten foot by five foot (10' x 5') (2 feet in depth maximum) section of shelf space for display for sale of smoking, <u>vaping</u>, drug, and/or tobacco paraphernalia.

9-4B-2: ALLOWED USES AND REQUIRED ENTITLEMENTS; BASE ZONING DISTRICTS:

TABLE 9-4B-2 ALLOWED USES AND REQUIRED ENTITLEMENTS FOR BASE ZONING DISTRICTS

Р	=	Permitted by right	N	=	Not permitted
Α	=	Administrative use permit required	С	=	Conditional use permit required

	Residential Zoning Districts						Special Purpose Zoning Districts			Mixed Use Zoning Districts			Office, Commercial, And Industrial Zoning Districts							
Land Use/ Zoning District	A R	R V L D	R L D	R N	R L M D	R M D	R H D	w	A G	P R	C F	D M X - 1	D M X -	D M X -	M U	N C	R C	P O	M	M
Assembly uses	A	N	E	C	A	A	A	N	N	A	A	A	A	A	A	A	A	₽	E	N
Club, lodge, or private meeting hall	N	N	N	N	N	N	N	N	N	A	Α	А	A	A	A	А	A	Р	N	N
Community center or facility	N	N	С	С	С	С	С	N	N	A	Α	Р	Р	A	Р	Р	С	Р	N	N
Religious institution or facility	N	N	С	С	С	С	С	N	N	N	Α	N	N	С	С	С	N	С	N	N
Outdoor commercial barbeque										<u>A</u>	<u>A</u>				<u>A</u>	<u>A</u>	<u>A</u>			

9-4D-12: ACCESSORY SECOND DWELLING UNITS:

- A. Purpose And Applicability: This section applies to <u>accessory</u> second dwelling units within the city. <u>Accessory</u> Second dwelling units are permitted upon issuance of an administrative use permit in the agricultural and residential zoning districts subject to the standards of this section. The purpose of this section is to regulate <u>accessory</u> second dwelling units in residential zoning districts and on residential property consistent with state law. Implementation of this section is intended to expand housing opportunities for low income and moderate income or elderly households by increasing the number of rental units available within existing neighborhoods while maintaining the primarily single-family residential character of the area.
- B Development Standards: Pursuant to Government Code section 65852.2, <u>accessory dwelling</u> second units shall be permitted on agricultural and residential parcels when the following conditions are met:
- 1. Second units shall only be located on lots with an area of five thousand (5,000) square feet or larger. The parcel contains an existing single-family dwelling.
- 2. Second units shall be compatible with the architectural style, materials, and colors of the primary dwelling unit.
- 32. No more than one accessory dwelling second unit shall be allowed per parcel.
- 43. The property owner shall occupy either the primary unit or <u>accessory dwelling</u> second unit. The property owner shall record a declaration acknowledging owner occupancy, recorded with the property as a condition of the administrative permit.
- 54. An accessory dwelling A second unit shall not exceed:
- a. Thirty percent (30%) Fifty percent (50%) of the existing living area of the primary dwelling when attached to the primary dwelling. For purpose of this standard, "living area" shall mean the interior habitable area of a dwelling unit, including basements, attics, bedrooms, kitchens, living room, etc. It does not include a garage or any accessory structure; or
- b. One thousand two hundred (1,200) square feet when detached from the primary dwelling.
- 65. Building setbacks for attached accessory dwelling second units shall comply with all required building setbacks for the primary dwelling unit.
- 76. The maximum height of a detached <u>accessory dwelling</u> second unit shall not exceed the height of the primary dwelling unit.
- 87. No accessory dwelling second unit may be sold separately from the primary dwelling unit.
- 9. Second dwelling units are not permitted within planned unit development (PUD) overlay zoning districts unless specifically authorized by the overlay zoning district.

TABLE 9-5E-4-A1 REQUIRED MINIMUM PARKING RATIOS

	Land Use	Minimum Required Parking Spaces				
R	esidential and overnight stay uses:					
	Caretaker housing	1 per bedroom				
	Child daycare facility - family daycare home, large	1 additional beyond dwelling				
	Child daycare facility - family daycare home, small	0 additional beyond dwelling				
	Dwelling, multi-family - studio and 1 bedroom units	1.5 per unit				
	Dwelling, multi-family - 2 or more bedrooms	2 per unit				
	Dwelling, second accessory unit	No additional beyond primary dwelling				

9-4D-19: MANUFACTURED HOMES:

The provisions of this section shall apply to all mobile homes and manufactured homes not located in an approved mobile home park:

- A. No mobile home or manufactured home shall be installed that was manufactured more than ten (10) years from the date of application for a building permit for installation.
- B. All manufactured homes shall meet the following site or architectural standards:
- 1. Garages and Carports. A minimum of a one-car garage or carport shall be provided for every manufactured house. The parking requirements of Chapter 5, Article E shall also apply.
- 2. Minimum Width and Floor Area. The width and floor area of a manufactured housing unit shall be at least eighty (80) percent of the average of other adjacent residences in the zone district in which it is located.
- 3. Roof Overhangs. All manufactured housing units and garages shall have a pitched roof with a minimum sixteen (16) inch roof overhang on each of the perimeter walls such that the overhang is architecturally integrated into the design of the dwelling unit.
- 4. Roofing Materials. All manufactured housing units and garages and carports located on the lot shall have a roof constituted of asphalt composition, clay, tile, concrete or metal tile or panels, slate or built-up asphaltic-gravel materials.
- 5. Siding Materials. All manufactured housing units and garages located on the lot shall have similar exterior siding materials consisting of wood, masonry, concrete, stucco, Masonite, or metal lap. The exterior siding material shall extend to the ground level, except that when a solid concrete or masonry perimeter foundation is used, the siding material need not extend below the top of the foundation.

- 6. Foundations. All manufactured housing units and garages and carports shall be placed on a permanent foundation which meets the applicable building code requirements and/or the provisions of Section 18551 of the State Health and Safety Code such that the floor elevation of the dwelling is reasonably compatible with the floor elevations of the surrounding dwelling units.
- 7. Utility connections. The mobile home electrical, gas, water and drain connections shall be made permanent in a manner applicable to permanent buildings. Gas shut-off valves, meters and regulators shall not be located beneath the manufactured homes.
- 8. Deviations. The community development department may approve deviations from one or more of the standards of this subsection on the basis of a finding that the architectural style proposed provides compensating design features and that the proposed dwelling will be compatible and harmonious with existing structures in the vicinity.
- C. Surrender of Registration. Subsequent to applying for a building permit, and prior to the occupancy of a mobilehome or manufactured home on a permanent foundation, a certification of occupancy is to be issued by the building official pursuant to Section 18551 of the State Health and Safety Code. Thereafter, any vehicle license plate, certificate of ownership, and certificate of registration issued by a state agency shall be surrendered back to the issuing state agency. Any mobile/manufactured home on a permanent foundation shall bear a state insignia or federal label pursuant to Section 18550 of the State Health and Safety Code.

9-4D-20: SHOPPING CARTS:

- A. Retail uses established after April 1, 2017, that provide shopping carts shall install and maintain disabling devices on all carts that prevent the use of the carts off the premises. This requirement shall be applicable in all zone districts, and shall be in addition to the requirements in Chapter 5 of Title 4 of the City Municipal Code.
- B. A shopping cart shall be defined per Section 4-5-2.

9-5F-5: STANDARDS FOR PERMANENT ON SITE SIGNS:

B. General Standards: Except as provided in subsections C, "Menu/Order Board Signs For Drive-In And Drive-Through Uses", and D, "Highway Oriented Signs", of this section, permanent on site signs shall be consistent with the standards listed in table 9-5F-5-B1 of this section as listed by base zoning district. The types of signs permitted in each district are specified in table 9-5F-5-B2, "Allowed Types Of Permanent On Site Signs By Zoning District", of this section. Only those signs specified in the tables shall be permitted.

	Development Standards								
Sign Type	Maximum Number Permitted	Maximum Height							
Downtown mixed use districts (DMX-1, DMX-2, DMX-3):									
Building attached signs	No maximum	2 square feet/1 linear foot on primary frontage and 1.5 square feet/1 linear foot on secondary frontage; maximum 100 square feet per sign and 200 cumulative square feet per establishment	Roofline						
Freestanding signs	Non-residential uses only: 1 per site	20 square feet	4 feet						
Mixed use district MU):									
Building-attached signs	No maximum	1.5 square feet/1 linear foot collectively, maximum 150 square feet	Roofline						
Freestanding signs:									
A-frame sign	1 per establishment	8 square feet maximum	5 feet						
Freestanding sign	1 per project entrance	50 square feet per sign	4 feet						
Neighborhood commercial district (NC):									
Building-attached signs	No maximum	2 square feet/1 linear foot collectively, maximum 200 square feet	Roofline						
Freestanding signs	1 per site	50 square feet per sign	4 feet						

egional commercial strict (RC):			
Building-attached signs	No maximum	2.5 square feet/1 linear foot collectively, maximum 400 square feet	Roofline
Freestanding signs	1 per street frontage	100 square feet per sign	See standards by sign type in table 9-5F-5-B2 of this section

9-5E-5: DESIGN AND DEVELOPMENT STANDARDS FOR OFF STREET PARKING AREAS:

- 6. Parking may be provided within the front and street side yard setback, as follows:
- a. Vehicle parking (including driveways) in residential areas shall be provided on permanent paved surfaces.
- b. No more than fifty percent (50%) of a front yard area shall be covered with permanent paved surfaces. Permanent paved surfaces in the front yard area shall be limited to a maximum 5-foot wide walkway to the front door of the residence, a driveway that no wider than the width of the garage or carport, and an area between the driveway and closest interior lot line that is no wider than 12 feet wide. Sites without a garage or carport are limited to a driveway-type parking area in the front yard area that is a maximum 20 feet wide.

9-5F-2: ADMINISTRATIVE PROVISIONS:

- 2. Exempt Signs With Limitations: The following signs are exempt from sign permit and city review, provided that they meet the size, height, duration, and/or maximum number limitations listed:
- a. Window signs in conformity with this article.
- b. Temporary signs in conformity with this article.
- c. Flags, provided they meet the following requirements: requirements in Section 9-5F-4B-10.
- (1) Flagpoles shall be located a minimum of ten feet (10') from the public right of way.
- (2) The maximum height for flagpoles is twenty five feet (25').
- (3) The maximum size for any one flag is twenty five (25) square feet.

9-5F-4: DESIGN STANDARDS FOR SIGNS:

- B. Design Standards For Specific Sign Types: In addition to the general sign design requirements in subsection A, "General Sign Design Requirements", of this section, the following requirements shall apply to the specific sign types:
- 10. Flags and flagpoles. Flagpoles may be mounted on the ground, a roof, or a building wall.

 Ground-mounted flagpoles shall not be located within any required side or rear yard setback areas. Flags and flagpoles shall also meet the following size standards:
- a. Ground-mounted flagpoles located in the RC, ML, or MH zones shall have a maximum height of fifty (50) feet or a maximum height equal to twice the distance from the base of the pole to the closest lot line, to a maximum of one hundred (100) feet, whichever is greater.
- b. Ground-mounted flagpoles located in the AR, RVLD, RLD, RN, RLMD, RHD, W, AG, PR, or DMX-3 zones shall have a maximum height of thirty (30) feet, mounted on the ground.
- c. Ground-mounted flagpoles located in the DMX-1, DMX-2, MU, CN, PO, or CF zones shall have a maximum height of fifty (50) feet.
- d. Roof-mounted flagpoles shall have a maximum height equal to the height of the building plus thirty (30) feet.
- e. The maximum width (hoist) of an individual flag on a ground-mounted or roof-mounted flagpole shall be equal to 20% of the height of the flagpole upon which it is located. The maximum length (fly) of an individual shall be twice the allowed width (hoist.)

7-10-10: COORDINATION WITH SUBDIVISION APPROVALS:

The following procedures, unless otherwise provided by law, shall be utilized to ensure coordination with approved subdivisions of land.

A. Tentative Map Approval and Conditioning: The planning commission shall approve the tentative map as provided in title 8, chapter 7, "Land Division", of this code. The tentative map shall be conditioned such that the subdivider agrees to participation in any public facilities maintenance district(s) required by the city. Public facilities maintenance districts(s) shall be required even when some or all facilities will be maintained by a homeowner's association.

<u>9-5C-6: DESIGN STANDARDS FOR BIG BOX STORES, DISCOUNT CLUBS, AND DISCOUNT SUPERSTORES</u>

The following standards shall apply to all general retail, warehouse club retail, and other retail stores over 50,000 square feet in size.

A. Allowed treatments:

- 1. Architectural elements shall be incorporated into the facades of the building creating visual interest and achieving compatibility within the design of the surrounding commercial structures.
- 2. Building forms shall be designed to create visual interest on all sides of the structure and the architectural concept shall be consistent on all sides of the building.
- 3. Second and third story volumes shall be stepped, sloped or grouped with one-story volumes to reduce the apparent mass to human scale.
- 4. Entries to individual building and public spaces between buildings, shall be emphasized with highlighted massing and articulated roof forms.
- 5. Building facades shall be recessed or projected at a minimum of every sixty feet.
- 6. The building height/roof pitch shall be varied.
- 7. Building facade colors shall be earth-toned, muted colors. Building trim may be accented with brighter and contrasting colors.
- 8. Where appropriate, courtyards and/or outdoor seating areas shall be incorporated into the site plan design.
- B. Prohibited treatments.
- 1. The following architectural elements and treatments are prohibited:
- a. Large scale uninterrupted walls, not otherwise articulated by form fenestration, or materials;
- b. Massive building elements, such as timber beams and/or columns that are out of scale with the architectural style;
- c. False facades and other applied ornamentation unrelated to the rest of the building or structure;
- d. High contrast color, brightly colored glazed tile or highly reflective surfaces; and
- e. Bold application of colors such as stripes, accents, or super graphics.
- 2. Use of the following materials is prohibited:
- a. Heavy textured stucco, such as Spanish lace, swirl, or heavy trowel;
- b. Vinyl, corrugated metal or aluminum siding;
- c. Common plywood or masonite siding;

- d. Standard concrete block;
- e. Rustic materials utilized as primary wall surfaces and dark earth tone colors; and
- f. Over application of bright accents or trim colors.
- C. Building Entrance: Commercial structures subject to this Section shall provide customers with at least two building entrances in order to encourage greater distribution of parking activity. Additional entrances can be located at one of the two sides of the building and/ or the rear of the building. If multiple entries are not practical the structure shall have the appearance of having two entries and in this regard the distinction between the front and rear of the structure shall be blurred through the application of similar architectural treatments.
- <u>D. Pedestrian Linkage. The site plan shall reflect and facilitate safe pedestrian access linking the building to sidewalks adjacent to project street(s).</u>
- 1. At least five (5) percent of the total interior area devoted to parking shall be landscaped.
- 2. A landscaped area shall be provided at a minimum of every eight (8) parking spaces.
- 3. <u>Landscaping shall be provided at the building entrance between the parking lot and the front of the building.</u>
- E. Property Maintenance. Commercial properties supporting a big box store as defined by this Section, whether occupied or vacant, shall be maintained so that the structure and surrounding property are not allowed to fall into a state of deferred maintenance and neglect. This includes the building exterior, parking lot maintenance and landscaping on the property.