

LEMOORE PLANNING COMMISSION
Regular Meeting
AGENDA
Lemoore Council Chamber
429 'C' Street

July 9, 2018
7:00 p.m.

1. Pledge of Allegiance
2. Call to Order and Roll Call
3. Public Comment

This time is reserved for members of the audience to address the Planning Commission on items of interest that are not on the Agenda and are within the subject matter jurisdiction of the Commission. It is recommended that speakers limit their comments to 3 minutes each and it is requested that no comments be made during this period on items on the Agenda. The Commission is prohibited by law from taking any action on matters discussed that are not on the Agenda. Prior to addressing the Commission, any handouts for Commissioners will be provided to the Planning Commission Secretary for distribution to the Commissioners and appropriate staff.

4. Approval – Minutes – Regular Meeting, May 14, 2018
5. Public Hearing – Major Site Plan Review No. 2018-04 and Conditional Use Permit No. 2018-01: a request by Pacific West Communities, Inc. to construct a 28-unit senior housing apartment complex. The project is the second phase of the existing Cinnamon Villas located at 335 W. Cinnamon Drive. The site is to be located on the southeast corner of W. Cinnamon Drive and Follett Street (APN: 021-500-007.)
6. Director's Report – Judy Holwell
7. Commission's Reports and Requests for Information
8. Adjournment

Upcoming Meetings

Regular Meeting of the Planning Commission, August 13, 2018

Agendas for all Planning Commission meetings are posted at City Hall, located at 119 Fox Street, at least 72 hours prior to the meeting. Any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection at the Community Development Department, located at 711 W. Cinnamon Drive, during normal business hours.

The City of Lemoore complies with the Americans with Disabilities Act (ADA of 1990). The Council Chamber is accessible to the physically disabled. Should you need special assistance, please call (559) 924-6740, at least four (4) business days prior to the meeting.

CERTIFICATION OF POSTING

I, Kristie Baley, Planning Commission Secretary for the City of Lemoore, do hereby declare that I posted the above Planning Commission Agenda for the Regular Meeting of Monday, July 9, 2018 at 7:00 p.m. at City Hall, 119 Fox Street in accordance with applicable legal requirements.

Posted this 6th day of July 2018.

//s//

Kristie Baley, Commission Secretary

**Minutes of the
LEMOORE PLANNING COMMISSION
May 14, 2018**

PLEDGE OF ALLEGIANCE

MEETING CALLED TO ORDER

At 7:00 p.m., the meeting was called to order.

ROLL CALL	Chair:	Clement
	Commissioners:	Franklin, Koelewyn, Marvin
	Absent:	Etchegoin, Meade
	Arrived Late:	Boerkamp

City Staff and Contract Employees Present: Community Development Director Holwell; City Planner Brandt; Planner Staff Member Jessica Bispels; Commission Secretary Baley

PUBLIC COMMENTS AND INQUIRIES

ITEM NO. 3

There was no comment from the public.

REQUESTS FOR APPROVAL

ITEM NO. 4 MINUTES – REGULAR MEETING, APRIL 9, 2018

Motion by Commissioner Marvin, seconded by Commissioner Franklin, to approve the Minutes of the Planning Commission Regular Meeting of April 9, 2018.

Ayes: Marvin, Franklin, Koelewyn, Clement

Absent: Boerkamp, Etchegoin, Meade

PUBLIC HEARINGS

ITEM NO. 5 PUBLIC HEARING – AMENDMENT TO THE CONDITIONS OF TRACT 839: A REQUEST BY G.J. GARDNER HOMES TO AMEND THE CURRENT SETBACK REQUIREMENTS OF TRACT 839 TO NOW HAVE A FRONT YARD SETBACK BE A MINIMUM 18 FEET AND A MAXIMUM 25 FEET WITH A 2-FOOT STAGGER BETWEEN HOMES, AND TO NOW HAVE A MINIMUM SIDE YARD SETBACK TO BE 5 FEET ON EACH SIDE; AND MAJOR SITE PLAN REVIEW NO. 2018-01: A REQUEST BY G.J. GARDNER HOMES TO ACCEPT MASTER HOME PLANS (FLOOR PLANS AND ELEVATIONS PLANS) FOR TRACT 839. THE SITE IS LOCATED BETWEEN VINE STREET AND 19TH AVENUE AT THE WEST END OF CABRILLO STREET AND OTERO STREET, AND BETWEEN STATE ROUTE HIGHWAY 198 AND IONA AVENUE, IN THE CITY OF LEMOORE (APN 023-170-013.)

The public hearing opened at 7:34 p.m.

Bispels presented the project and provided staff's recommendation.

Jim Collins, Representative for G.J. Gardner, spoke.

Don Robbins, 787 Champion Street, spoke against residential projects in the Iona Avenue area.

Holwell provided clarification that the Tentative Subdivision Map had been approved in 2006 and that Commission's roll was to determine 1) whether the house plans and elevations submitted by G.J. Gardner Homes were appropriate for the location, and 2) whether the request for modification to setbacks was appropriate.

The public hearing closed at 7:25 p.m.

Chair Clement announced, for the record, that Commissioner Boerkamp arrived during the public hearing.

Motion by Commissioner Franklin, seconded by Commissioner Koelewyn to approve Resolution No. 2018-03, a Resolution of the Planning Commission approving the amendment to Conditions of Approval for Tract 839 (setbacks) and Major Site Plan Review No. 2018-01 (house plans and elevations).

Ayes: Franklin, Koelewyn, Boerkamp, Marvin, Clement

Absent: Etchegoin, Meade

COMMUNITY DEVELOPMENT DIRECTOR'S REPORT

ITEM NO. 6

Director Holwell provided the Commission with the following information:

Commissioners are invited to attend the upcoming tour of NAS Lemoore on May 24, 2018.

COMMISSIONER'S REPORTS AND REQUESTS FOR INFORMATION

ITEM NO. 7

There were no reports or requests for information.

ADJOURNMENT

At 7:31 p.m., the meeting adjourned.

Approved the 9th day of July 2018.

APPROVED:

Bob Clement, Chairperson

ATTEST:

Kristie Baley, Commission Secretary



119 Fox Street • Lemoore, California 93245 • (559) 924-6700 • Fax (559) 924-9003

Staff Report

To: Lemoore Planning Commission **Item No. 5**
From: Steve Brandt, City Planner
Date: June 28, 2018 **Meeting Date:** July 9, 2018
Subject: Public Hearing to consider **Major Site Plan Review No. 2018-04 and Conditional Use Permit No. 2018-01:** a request by Pacific West Communities, Inc. to construct a 28-unit Senior Affordable Apartment complex. The project is the second phase of the existing Cinnamon Villas apartments.

Proposed Motion:

Move to adopt Resolution No. 2018-04, approving Major Site Plan Review No. 2018-04 and Conditional Use Permit No. 2018-01, with the attached conditions.

Project Proposal:

The applicant, Pacific West Communities, Inc. requests a Conditional Use Permit and Major Site Plan Review to construct Phase II, the last phase of the Cinnamon Villas Project on the proposed 1.86-acre lot, east of the existing Phase I site.

Phase II of the project will contain 28 senior affordable living apartments, a laundry room building, an outdoor BBQ area, a fenced dog park area, and covered parking. The site will consist of 5 separate building structures: 3 Type C buildings that provide eight 1-bedroom units, 1 Type B building that provides four 2-bedroom units, and the laundry building.

Parking for the villas will include 31 parking spaces. All but three of the spaces will be covered. Three of the spaces will be van accessible parking spaces.

The project proposes to include landscaping, outdoor lighting, the existing 6 ft. wood fence dividing the property to the east, and ADA accessible trash enclosure, bench areas, bike racks and one identification sign.

Amenities include a fenced dog park and an ADA accessible picnic table and barbecue area. Residents of Phase II will also be able to enjoy the pool, recreation room, and other amenities and services offered at Phase I of The Cinnamon Villas.

Applicant	Pacific West Communities, In., Tim Sciacqua, Consultant
Location	Southeast corner of Cinnamon Drive and Follett Street
Existing Land Use	Vacant
APN(s)	021-500-007
Site Size	1.86 Acres
Zoning	RLMD (Low-Medium Density Residential)
General Plan	Low-Medium Density Residential

Adjacent Land Use, Zone and General Plan Designation

<u>Direction</u>	<u>Current Use</u>	<u>Zone</u>	<u>General Plan</u>
North	Single-family homes	RLD	Low Density Residential
South	Single-family homes	RLMD	Low-Medium Density Residential
East	Single-family homes	RLMD	Low-Medium Density Residential
West	Cinnamon Villas Phase I senior apartments	RMD	Medium Density Residential

Previous Relevant Actions:

The applicant, Pacific West Communities Inc., also developed the first phase of the project. The Planning Commission passed and adopted Resolution No. 2009-05 on July 13, 2009, approving the first phase of the Cinnamon Villas, and with the anticipation of the second phase to be constructed at a later date. The first phase has proven to be a successful and a thriving affordable senior housing complex.

In 2014, the applicant applied for a Conditional Use Permit for phase two of Cinnamon Villas, and the permit was approved. Since then, the applicant has received 2 one-year extensions, the 2nd one expiring August of 2018. Because the final extension is ending soon, the applicant is requesting approval the project again. The project requested right now is almost identical to the project that was approved in 2014.

Zoning/General Plan:

The project site is currently zoned as Low-Medium Density Residential. This Zone requires a minimum site area of 3,000 square feet for every dwelling unit. At 1.86 acres (or 81,021

square feet), the site is normally allowed 27 units. However, because the dwelling units will be committed to senior housing, the Zoning Ordinance provides a density bonus of up to 20%, meaning that the site would be allowed up to 32 units. The proposed site plan shows 28 units, which is less than the acceptable maximum after the density bonus is applied.

Access and Right of Way:

Access to the property will be from two locations, one on Follett Street and one on Cinnamon Drive. The Follett Street access is aligned with the existing drive access across the street on the first phase of Cinnamon Villas. Staff supports having two access points because it will allow for better circulation in and out of the property for residents, visitors, fire emergency vehicles, and refuse vehicles.

Parking / On-site Circulation:

Parking for the villas will include 31 parking spaces. The number of off street parking spaces is in accordance with the municipal code, as the code requires 1 space per unit for Senior Housing. Phase 2 of Cinnamon Villas includes 28 units, so the proposed parking has exceeded the requirement.

Architectural and Site Design Standards:

The site meets the City's site design standards for height, setbacks, and parking. The plans show that the project will have similar architecture, building colors, and landscaping as the existing Phase I project.

The site's existing grade is currently lower than the adjacent streets. Therefore, the developer will likely bring in dirt to raise the site. This will reduce the grade difference between the site and the adjacent properties to the east.

Staff recommends that the existing wood fence along the east property line be replaced with a vinyl fence similar to the fence at the Phase I site.

Signage:

All new signage would be required to meet the City Zoning Ordinance. The project would be allowed building signage and monument signage per the standards in the Ordinance.

Environmental Assessment:

Pursuant to California Environmental Quality Act (CEQA) Guidelines, Section 15303 New Construction, it has been determined that this project is categorically exempt from additional CEQA processes.

Recommended Approval Findings:

A conditional use permit shall be granted only when the designated approving authority determines that the proposed use or activity complies with all of the following findings:

1. The proposed use is consistent with the general plan, any applicable specific plans, and all applicable provisions of this title. The project is within the allowed density.
2. The establishment, maintenance, or operation of the use applied for will not, under the circumstances of the particular case (location, size, design, and operating characteristics), be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or working in the neighborhood of such use or to the general welfare of the city. The use is compatible with the zone and existing uses in the vicinity.
3. The site of the proposed use is physically suitable for the type, density, and intensity of the use and related structures being proposed. Given the proposed plans, access to and from the site is suitable for the intensity of traffic. Follett Street and Cinnamon Drive are classified as collector streets under the City of Lemoore's General Plan, and will provide connection between the proposed site for higher density apartments, downtown, and other parts of the city.
4. The project will not be contrary to the specific intent clauses, development regulations, or performance standards established for the zoning district in which it is located. The proposed use and related structures are compatible with other land uses, transportation, and service facilities in the vicinity. Due to the existing Phase I of the Cinnamon Villas, residents of the second phase will have access to the adjacent phase, with aligned accesses to both housing complexes. Residents will be eligible for use of the amenities provided by the existing first phase of the existing Cinnamon Villas.

Major Site Plan Review

The following standards from the City Zoning Ordinance shall be met:

9-2B-15: MAJOR SITE PLAN AND ARCHITECTURAL REVIEW:

Review Required: A major site plan and architectural review is required for new multi-family residential developments (e.g., apartments, condominiums, townhomes)

9-5A-2: HEIGHT LIMITS MEASUREMENT AND EXCEPTIONS:

The maximum height shall not exceed 35ft. The proposed height of the building structure is 20ft. 10in.

9-5A-3: SETBACK DETERMINATION AND REQUIREMENTS:

The front setback minimum for the proposed site at Cinnamon Drive is 20 feet. The proposed setback is 15 feet, which would not comply with the code. However, pursuant to ordinance 9-5A-3-C-2: 'Yard Exceptions for Infill Development', and ordinance 9-5G-4-C-1: Available Incentives and Concessions, the 15-foot setback can be allowed, and is supported by City Staff.

9-5B-2: NOISE, ODOR, AND VIBRATION PERFORMANCE STANDARDS:

Because the site is adjacent to residential uses, delivery times are limited to between 7:00am and 7:00pm.

No obnoxious odors or fumes shall be emitted that are perceptible without instruments by a reasonable person at the property line of the site.

9-5B-3: PROPERTY AND UTILITY IMPROVEMENTS:

Installation of new drive approaches and street lights on Follett Street and Cinnamon Drive shall be required to be installed at developer expense. An encroachment permit shall be obtained prior to commencement of work.

9-5B-4: OUTDOOR LIGHTING:

All on-site outdoor lighting shall be recessed and/or constructed with full downward shielding in order to reduce light and glare impacts on trespass to adjoining properties and public rights of way. Each fixture shall be directed downward and away from adjoining properties and public rights of way, so that no light fixture directly illuminates an area outside of the project site.

Maximum lighting height is 18 feet if the light pole is less than 10 feet from a property line and 24 feet if it is more than 10 feet from a property line.

Outdoor lighting shall utilize energy efficient fixtures and lamps, such as high pressure sodium, metal halide, low pressure sodium, hard wired compact fluorescent, or other lighting technology that is of equal or greater efficiency. All new outdoor lighting fixtures shall be energy efficient with a rated average bulb life of not less than ten thousand (10,000) hours.

Architectural features may be illuminated by up lighting, provided that the lamps are low intensity to produce a subtle lighting effect and no glare or light trespass is produced.

Wherever feasible, solar powered fixtures should be used.

9-5F-5: STANDARDS FOR PERMANENT ONSITE SIGNS:

All signage shall meet the requirements of Chapter 9-5F of the Zoning Ordinance. Signage shall not be placed so as to impair traffic line of site. The following signage is the maximum allowed:

One new monument sign is allowed. It can be on either side of a drive approach. The maximum height is 4 feet. The maximum total sign face size is 50 square feet.

A maximum 100 square feet of building signage is allowed. The total amount can be divided into multiple signs. City design standards must be met.

9-5G-2: ELIGIBILITY FOR DENSITY BONUS AND INCENTIVES AND CONCESSIONS:

A senior citizen housing development. (9-5G-2-3) is eligible for a 20% density bonus.

Recommended Conditions of Conditional Use Permit

Staff recommends that the approval be conditioned upon the following:

1. The project shall be developed as per proposed Site Plan. Any deviation from the approved plans shall require an amendment to the prior approvals or approval of a new permit as determined by the City.
2. The applicant shall submit a Site Photometric (lighting) Plan at time of building permit submittal consistent with 9-5B-4 of the City Municipal Code. The plan shall demonstrate how project lighting shall be designed, located, installed, and maintained in order to prevent glare, light trespass, and light pollution.
3. The applicant shall submit a master landscape plan at time of building permit submittal. The landscape plan shall be compliant with MWEL0, including but not limited to the following conditions:
 - a. Plan shall include square footages of landscaped area shown, water use calculations, and the material to be utilized in the dog park.
 - b. Turf shall be limited to no more than 25% of total landscape area. Fescue is not a permitted ground cover, per the City Ordinance.
 - c. Water use classifications shall be based on WUCOLS IV
4. An encroachment permit shall be obtained prior to commencement of work in a public right of way.
5. Delivery times shall be limited to between 7:00am and 7:00pm.
6. No on-street parking shall be allowed on Follett Street.
7. Trash enclosures shall be designed to accommodate refuse and recycling bins. The trash enclosure shall also include a roof structure and enclosed by a finished block wall.
8. The existing 8" wide brick stamping behind the curb shall remain consistent with Phase I stamping.
9. The project shall connect to existing sewer and water lines. Sewer and water services shall be installed per plans approved by the City Engineer.
10. Apartment unit identification shall be appropriately sized and located on buildings as directed by police and fire departments. Fire hydrant and fire department connection locations shall be located according to Fire Department recommendation.
11. Trees shall be planted in the parkway between the curb and sidewalk with a spacing of approximately 40' on center using trees from the City Street Tree list. Groundcover shall also be planted in the parkway.

12. The proposed grasses shall be drought tolerant grass.
13. Where the final grade difference between the project site and adjacent properties to the east is more than one foot, a block retaining wall shall be installed at least to the height of the grade of the higher property.
14. New 6' vinyl fencing, similar in style to the Phase I fencing shall be installed along the easterly project boundary. It may be installed on top of any required retaining wall.
15. A separate sign application and administrative approval process will be required before ordering or installing any signage or lease up signage and flags so that it is in conformity with the city's sign ordinance.
16. The developer shall comply with the San Joaquin Valley Air Pollution Control District (SJVAPCD) standards, and the City of Lemoore dust control requirements. The project will be required to meet Rule 9510 (indirect source review) and submit a construction notification to the district for the project and that compliance with the Districts Regulation VIII (fugitive dust) Rules will be monitored.
17. Outdoor lighting shall utilize energy efficient fixtures and lamps, such as LED, high pressure sodium, metal halide, low pressure sodium, hard wired compact fluorescent, or other lighting technology that is of equal or greater efficiency. All new outdoor lighting fixtures shall be energy efficient with a rated average bulb life of not less than ten thousand (10,000) hours.
18. Architectural features may be illuminated by up lighting, provided that the lamps are low intensity to produce a subtle lighting effect and no glare or light trespass is produced. Wherever feasible, solar powered fixtures should be used.
19. If not exercised within two years from the date of approval, this conditional use permit shall expire and become void, except where an extension of time has been approved in compliance with the Zoning Ordinance.

Attachments:

- Aerial Photo of Site
- Draft Resolution for Approval
- Development Package containing Site Plan, Conceptual Landscape Plans, Floor Plans, Elevation Plans, Color and Materials Palette, and Lighting Photometric Plan

RESOLUTION NO. 2018-04

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LEMOORE APPROVING MAJOR SITE PLAN REVIEW NO. 2018-04 AND CONDITIONAL USE PERMIT NO. 2018-01 TO ALLOW A 28-UNIT SENIOR AFFORDABLE APARTMENT COMPLEX LOCATED ON THE SOUTHEAST CORNER OF CINNAMON DRIVE AND FOLLETT STREET

At a Regular Meeting of the Planning Commission of the City of Lemoore duly called and held on July 9, 2018, at 7:00 p.m. on said day, it was moved by Commission Member _____, seconded by Commission Member _____ and carried that the following Resolution be adopted:

WHEREAS, Pacific West Communities, Inc., represented by Tim Sciacqua, has requested a conditional use permit to allow a 28-unit senior affordable apartment complex located on the southeast corner of Cinnamon Drive and Follett Street; and

WHEREAS, the site is currently vacant; and

WHEREAS, the zoning on the parcel is RLMD (Low/Medium Density Residential); and

WHEREAS, the project is categorically exempt from California Environmental Quality Act (CEQA) requirements per the new small structures exemption in Section 15303 of the CEQA Guidelines.

WHEREAS, the Lemoore Planning Commission held a duly noticed public hearing at their July 9, 2018, meeting.

NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Lemoore hereby makes the following findings regarding the proposed conditional use permit:

1. The proposed use is consistent with the general plan, any applicable specific plans, and all applicable provisions of this title. The project is within the allowed density.
2. The establishment, maintenance, or operation of the use applied for will not, under the circumstances of the particular case (location, size, design, and operating characteristics), be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or working in the neighborhood of such use or to the general welfare of the city. The use is compatible with the zone and existing uses in the vicinity.
3. The site of the proposed use is physically suitable for the type, density, and intensity of the use and related structures being proposed. Given the proposed plans, access to and from the site is suitable for the intensity of traffic. Follett Street and Cinnamon Drive are classified as collector streets under the City of Lemoore's General Plan and will provide connection between the proposed site for higher density apartments, downtown, and other parts of the city.
4. The project will not be contrary to the specific intent clauses, development regulations, or performance standards established for the zoning district in which it is located. The proposed use and related structures are compatible with other land uses, transportation, and service facilities in the vicinity. Due to the existing Phase I of the Cinnamon Villas, residents of the second phase will have access to the adjacent phase, with aligned accesses to both housing complexes. Residents will be eligible

for use of the amenities provided by the existing first phase of the existing Cinnamon Villas.

BE IT FURTHER RESOLVED that the Planning Commission of the City of Lemoore approves Major Site Plan Review No. 2018-05 and Conditional Use Permit No. 2018-01, subject to the following conditions:

1. The project shall be developed as per proposed Site Plan. Any deviation from the approved plans shall require an amendment to the prior approvals or approval of a new permit as determined by the City.
2. The applicant shall submit a Site Photometric (lighting) Plan at time of building permit submittal consistent with 9-5B-4 of the City Municipal Code. The plan shall demonstrate how project lighting shall be designed, located, installed, and maintained in order to prevent glare, light trespass, and light pollution.
3. The applicant shall submit a master landscape plan at time of building permit submittal. The landscape plan shall be compliant with MWEL0, including but not limited to the following conditions:
 - a. Plan shall include square footages of landscaped area shown, water use calculations, and the material to be utilized in the dog park.
 - b. Turf shall be limited to no more than 25% of total landscape area. Fescue is not a permitted ground cover, per the City Ordinance.
 - c. Water use classifications shall be based on WUCOLS IV
4. An encroachment permit shall be obtained prior to commencement of work in a public right of way.
5. Delivery times shall be limited to between 7:00am and 7:00pm.
6. No on-street parking shall be allowed on Follett Street.
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8. The existing 8" wide brick stamping behind the curb shall remain consistent with Phase I stamping.
9. The project shall connect to existing sewer and water lines. Sewer and water services shall be installed per plans approved by the City Engineer.
10. Apartment unit identification shall be appropriately sized and located on buildings as directed by police and fire departments. Fire hydrant and fire department connection locations shall be located according to Fire Department recommendation.
11. Trees shall be planted in the parkway between the curb and sidewalk with a spacing of approximately 40' on center using trees from the City Street Tree list. Groundcover shall also be planted in the parkway.

12. The proposed grasses shall be drought tolerant grass.
13. Where the final grade difference between the project site and adjacent properties to the east is more than one foot, a block retaining wall shall be installed at least to the height of the grade of the higher property.
14. New 6' vinyl fencing, similar in style to the Phase I fencing shall be installed along the easterly project boundary. It may be installed on top of any required retaining wall.
15. A separate sign application and administrative approval process will be required before ordering or installing any signage or lease up signage and flags so that it is in conformity with the city's sign ordinance.
16. The developer shall comply with the San Joaquin Valley Air Pollution Control District (SJVAPCD) standards, and the City of Lemoore dust control requirements. The project will be required to meet Rule 9510 (indirect source review) and submit a construction notification to the district for the project and that compliance with the Districts Regulation VIII (fugitive dust) Rules will be monitored.
17. Outdoor lighting shall utilize energy efficient fixtures and lamps, such as LED, high pressure sodium, metal halide, low pressure sodium, hard wired compact fluorescent, or other lighting technology that is of equal or greater efficiency. All new outdoor lighting fixtures shall be energy efficient with a rated average bulb life of not less than ten thousand (10,000) hours.
18. Architectural features may be illuminated by up lighting, provided that the lamps are low intensity to produce a subtle lighting effect and no glare or light trespass is produced. Wherever feasible, solar powered fixtures should be used.
19. If not exercised within two years from the date of approval, this conditional use permit shall expire and become void, except where an extension of time has been approved in compliance with the Zoning Ordinance.

Passed and adopted at a Regular Meeting of the Planning Commission of the City of Lemoore held on July 9, 2018, by the following votes:

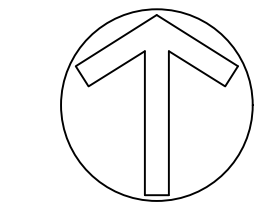
AYES:
NOES:
ABSTAINING:
ABSENT:

APPROVED:

Bob Clement, Chairperson

ATTEST:

Kristie Baley, Commission Secretary

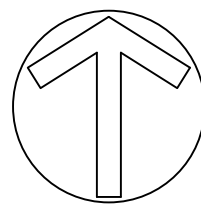


PROPOSED SITE PLAN

SCALE: 1" = 30'-0"

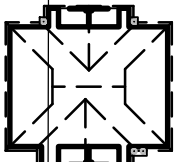


PROJECT LOCATION



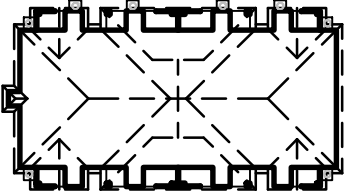
VICINITY MAP
N.T.S.

BLDG. TYPE B



BUILDING TYPE B - (4) 2 BDRM UNITS
(1) BUILDINGS TOTAL
FOOTPRINT - 4,191.26 S.F.
MAXIMUM HEIGHT - 21'-5"
(1) STORY - MULTIFAMILY RESIDENTIAL
OCCUPANCY R-2
FULLY SPRINKLERED PER NFPA 13-R
CONSTRUCTION TYPE: VB

BLDG. TYPE C



BUILDING TYPE C - (8) 1 BDRM UNITS
(3) BUILDINGS TOTAL
FOOTPRINT - 5,429 S.F.
MAXIMUM HEIGHT - 20'-11"
(1) STORY - MULTIFAMILY RESIDENTIAL
OCCUPANCY R-2
FULLY SPRINKLERED PER NFPA 13-R
CONSTRUCTION TYPE: VB

LAUNDRY



LAUNDRY FACILITY
(1) BUILDING TOTAL
FOOTPRINT - 379 S.F.
MAXIMUM HEIGHT - 12'-7"
(1) STORY - MULTIFAMILY RESIDENTIAL
OCCUPANCY B, FULLY SPRINKLERED PER NFPA 13-R
CONSTRUCTION TYPE: VB

APPLICANT

LEMOORE PACIFIC ASSOCIATES III, CA LP
KENNETH KUGLER
5140 WEST CYPRESS AVE.
VISALIA, CA 93277
(559) 627-3700

ARCHITECT

DG GROUP ARCHITECTURE
DOUGLAS GIBSON, CALIFORNIA ARCHITECT C29792
430 E. STATE STREET, SUITE 100
EAGLE, IDAHO 83616
(208) 908-4871

ACCESSIBILITY

	# OF UNITS	PERCENTAGE
ADAPTABLE UNITS (ALL GROUND FLOOR UNITS REQ.)	23	82.15%
ACCESSIBLE UNITS (10% TOTAL)	3	10.71%
SENSORY IMPAIRED UNITS (4% TOTAL)	2	7.14%

UNIT MIX SUMMARY

SQ. FOOTAGES

UNIT TYPE A1 (24) 1-BEDROOM UNITS	(24) X 600 S.F. = 14,400 S.F.
UNIT TYPE B1 (4) 2-BEDROOM UNITS	(4) X 948 S.F. = 3,792 S.F.

(28) UNITS TOTAL 14,400 S.F. + 3,792 S.F. = 18,192 S.F.

LAUNDRY BLDG. 379 S.F.

TOTAL 18,571 S.F.

SITE COVERAGE

	SQ. FEET	PERCENTAGE
BUILDING FOOTPRINTS	21,044 S.F.	26 %
PRIVATE CONC. PATIOS (GROUND FLR.)	2,784 S.F.	3.41 %
CONDENSER UNIT PADS	509 S.F.	.63%
ON-SITE A.C. PAVING	15,020 S.F.	18.5 %
SITE AMENITIES (BBQ, TOT LOT, POOL)	509.8 S.F.	.62 %
BIKE RACK & BENCH AREAS	210 S.F.	.26 %
CONC. WALKS & GROUND FLOOR BREEZEWAYS	8,929 S.F.	11.02 %
LANDSCAPE & OPEN SPACE	33,625 S.F.	40.03 %
TOTAL AREA	81,892 S.F. = (1.88 ACRES ±)	100.00 %

NOTE: ALL NUMBERS PROVIDED ARE **ESTIMATED** FOR SITE COVERAGE

PARKING SUMMARY

REQUIRED - 1 SPACE PER UNIT (ZONING ORDINANCE 9.12.3.1) = 28 UNITS x 1 = 28 SPACES
PROVIDED - (3) ACCESSIBLE COVERED SPACES + (1) ACCESSIBLE UNCOVERED SPACES +
(25) STANDARD COVERED SPACES + (2) STANDARD UNCOVERED SPACES = 30 SPACES

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PROJECT

CINNAMON VILLAS PHASE II

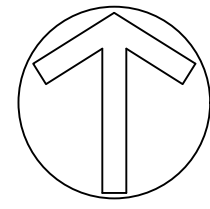
SEC CINNAMON DRIVE & FOLLETT STREET
LEMOORE, CA

A1.1

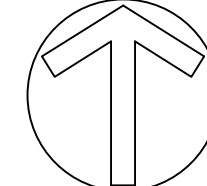
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PROJECT
LOCATION



VICINITY MAP
N.T.S.



OVERALL SITE PLAN

SCALE: 1" = 40'-0"

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PROJECT

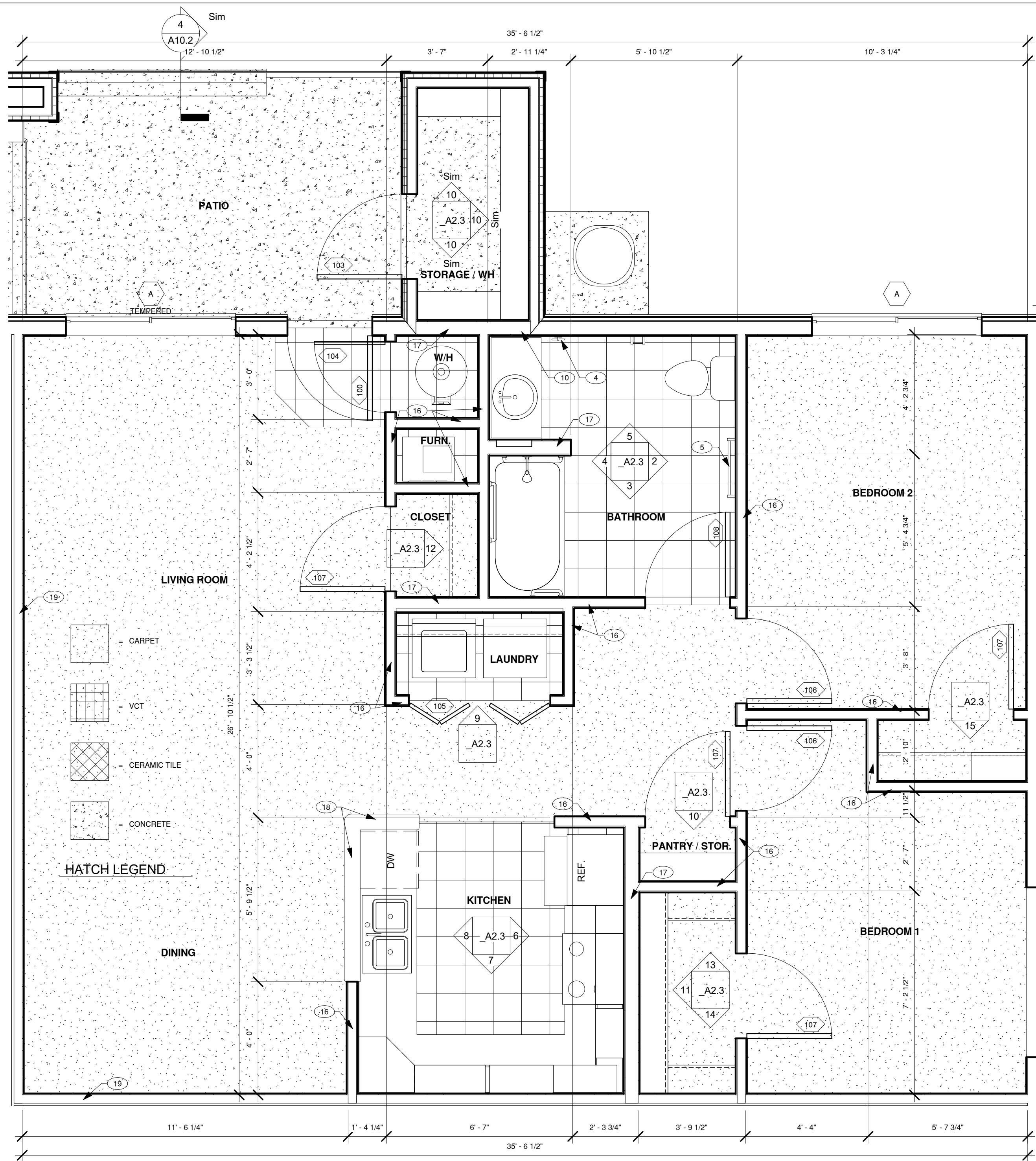
CINNAMON VILLAS PHASE II

LEMOORE, CA

SEC CINNAMON DRIVE & FOLLETT STREET

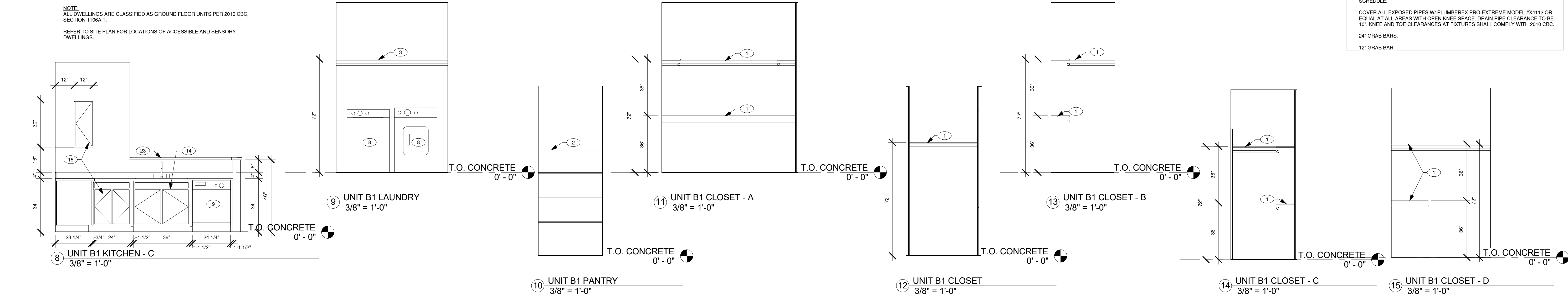
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A1.2



1 B1 UNIT PLAN - 2-BEDROOM UNIT (948 S.F.)
3/8" = 1'-0"

NOTE:
ALL DWELLINGS ARE CLASSIFIED AS GROUND FLOOR UNITS PER 2010 CBC, SECTION 1106A.1.
REFER TO SITE PLAN FOR LOCATIONS OF ACCESSIBLE AND SENSORY DWELLINGS.



6 UNIT B1 KITCHEN - A
3/8" = 1'-0"

7 UNIT B1 KITCHEN - B
3/8" = 1'-0"

9 UNIT B1 LAUNDRY
3/8" = 1'-0"

11 UNIT B1 CLOSET - A
3/8" = 1'-0"

13 UNIT B1 CLOSET - B
3/8" = 1'-0"

10 UNIT B1 PANTRY
3/8" = 1'-0"

12 UNIT B1 CLOSET
3/8" = 1'-0"

14 UNIT B1 CLOSET - C
3/8" = 1'-0"

15 UNIT B1 CLOSET - D
3/8" = 1'-0"

- GENERAL NOTES: STANDARD & ADAPTABLE UNITS**
- ALL GROUND FLOOR UNITS TO COMPLY WITH CBC 2010, SECTION 11B.
 - AT WATER CLOSET REINFORCEMENT FOR GRAB BARS SHALL BE LOCATED AT THE HEIGHT OF 32" TO 36". REINFORCEMENT SHALL BE ON BOTH SIDES OF TOILET, OR ON SIDE AND IN BACK OF TOILET. BACK REINFORCEMENT IS A MIN. OF 40" IN LENGTH. SIDE REINFORCEMENT IS ALIGNED WITH THE FRONT OF THE TANK AND EXTENDS A MIN. OF 26" IN FRONT OF TOILET EXPOSURE.
 - AT TUB REINFORCEMENT AT THE HEAD & FOOT OF TUB SHALL EXTEND A MIN. OF 24" FROM EDGE OF THE TUB TO THE BACK WALL. REINFORCEMENT AT THE BACK WALL OF THE TUB SHALL EXTEND FROM 6" ABOVE THE RIM TO 36" ABOVE THE FINISH FLOOR OR LEVEL. THE REINFORCEMENT SHALL EXTEND TO WITHIN 6" OF BOTH ENDS OF THE TUB W/ A MIN. LENGTH OF 48".
 - GRAB BAR REINFORCEMENTS SHALL BE CAPABLE OF SUPPORTING A POINT LOAD OF 250# MIN. REINFORCEMENTS SHALL BE A MIN. OF 6" HIGH. G.C. TO PROVIDE BLOCKING AS REQUIRED.
 - FAUCET CONTROLS SHALL BE OPERABLE WITH ONE HAND AND SHOULD NOT REQUIRE A TIGHT GRASP, PINCHING OR TWISTING OF WRIST. A MAX. 5# FORCE SHALL BE REQUIRED TO OPERATE CONTROLS. SELF-CLOSING VALVES SHALL REMAIN OPEN FOR AT LEAST 10 SECONDS.
 - ALL GROUND FLOOR UNITS ARE TO HAVE SOLID SURFACE COUNTERTOPS PER 2010 CBC, SECTION 1133A.1. EXCEPTION #1: PROVIDE SOLID COUNTER TOP, BACK SPLASH, AND ASSOCIATE ASSEMBLIES AT KITCHEN AND BATHROOM CABINETS. PER SPECIFICATIONS. TOP SHALL BE WITHIN ACCEPTABLE RANGES PER THE FAIR HOUSING ACT/UFAS. UNCO. MATERIAL TO BE GRANITE.
 - THE TOP OF BOX OF THE OPERATING HANDLE OF SWITCHES USED TO CONTROL LIGHTS, THERMOSTATS, AND OTHER ENVIRONMENTAL CONTROLS SHALL BE LOCATED NO HIGHER THAN 48", AND BOTTOM OF BOX NO LOWER THAN 15" ABOVE THE FLOOR. IF THE REACH IS OVER AN OBSTRUCTION BETWEEN 20" & 25" IN DEPTH, THE MAX. HEIGHT IS REDUCED TO 44". OBSTRUCTIONS MAY NOT EXCEED MORE THAN 25" FROM THE WALL BENEATH THE RECEPTACLE. PER CBC 11B6A.2.
 - ELECTRICAL OUTLETS TO BE LOCATED 15" MIN. FROM FINISH FLOOR OR CARPET SURFACE TO BOTTOM OF OUTLET BOX.
 - EVERY PRIMARY ENTRANCE TO A DWELLING UNIT SHALL BE PROVIDED WITH A DOOR BUZZER, BELL, CHIME, OR EQUIVALENT INSTALLATION, MOUNTED A MAX. OF 48" ABOVE THE FLOOR CONNECTED TO PERMANENT WIRING.
 - ALL FLOORING TRANSITION STRIPS TO COMPLY WITH THE FAIR HOUSING ACT/UFAS.
 - EXTERIOR DOOR THRESHOLDS TO COMPLY WITH THE FAIR HOUSING ACT/UFAS.
 - EVERY ENTRY, OPENING OR PASSAGE DOOR MUST PROVIDE A MIN. OF 32" NOMINAL CLEAR SPACE BETWEEN THE FACE OF THE DOOR & THE STOP. WHEN THE DOOR IS IN THE 90 DEG. OPEN POSITION, A 34" DOOR IS ACCEPTABLE. A STANDARD 6'-0" SLIDING PATIO DOOR ASSEMBLY IS ACCEPTABLE.
 - INTERIOR PASSAGE DOORS SHALL HAVE HARDWARE CENTERED BETWEEN 30" & 44" ABOVE THE FLOOR. HALLWAYS, WHERE OCCUR, SHALL BE A MIN. OF 36" WIDTH.
 - ALL INTERIOR DOORS SHALL HAVE A LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS, EXTENDING 18" PAST THE STRIKE EDGE OF THE DOOR.
 - DISCHARGE POINT FOR EXHAUST AIR SHALL BE AT LEAST 3'-0" FROM ANY OPENING WHICH ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING. REQUIRED EXHAUST FANS IN BATH AND/OF LAUNDRY ROOMS MUST CONNECT DIRECTLY TO THE OUTSIDE AND MUST PROVIDE FOR (5) AIR CHANGES PER HOUR PER CBC.
 - ALL AREAS RECEIVING GYP. BRD. ARE TO BE TAPED AND MUDDED AND RECEIVE FINISH AS NOTED ON FINISH SCHEDULE AND/OR SPECIFICATIONS.
 - SEE DOOR, WINDOW, AND FINISH SCHEDULES FOR INFORMATION ON DOORS, HARDWARE, WINDOWS, AND INTERIOR INFORMATION.
- KEY NOTES: STANDARD & ADAPTABLE UNITS**
- WIRE SHELF & CLOTHING ROD. AT LOWER LOCATION PROVIDE CLOTHING ROD ONLY.
 - (4) EQUALLY SPACED SHELVES.
 - WIRE SHELF, CLOTHING ROD AT HIGH SHELF IN LAUNDRY CLOSET.
 - TOWEL RING, G.C. TO VERIFY LOCATION, SET MIN. 6" FROM MIRROR.
 - TOWEL BAR, G.C. TO VERIFY LOCATION.
 - TUB/SHOWER. SEE PLUMBING DRAWINGS & SPECIFICATIONS. PROVIDE BACKING FOR FUTURE GRAB BARS WHERE INDICATED AS REQUIRED BY GENERAL NOTES.
 - TOILET PAPER DISPENSER WITHOUT STOPS.
 - WASHER & DRYER SUPPLIED BY TENANT. HOOK-UPS INSTALLED BY G.C. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS.
 - APPLIANCE. SUPPLIED & INSTALLED BY G.C. SEE SPECIFICATIONS.
 - MEDICINE CABINET. SUPPLIED & INSTALLED BY G.C. SEE SPECIFICATIONS. WHERE LOCATED ON RATED WALL, SURFACE MOUNT OR INSTALLED WITHIN ONE HOUR POCKET.
 - MIRROR, G.C. TO VERIFY SIZE. SUPPLIED & INSTALLED BY G.C. SEE SPECIFICATIONS.
 - WATER CLOSET. SUPPLIED & INSTALLED BY G.C. TOILET SEAT SHALL BE A MIN. OF 15" FROM FLOOR SURFACE. SEE PLUMBING DRAWINGS & SPECIFICATIONS.
 - CABINET SUPPLIER TO INSTALL CHASE FOR VENTING FROM TOP OF HOOD TO CEILING. CHASE TO BE A MAX. OF 2" WIDER THAN EXHAUST DUCT. COORDINATE WITH MECH. DRAWING SERIES.
 - AT ADAPTABLE UNITS INSTALL REMOVABLE BASE CABINETS. BASE CABINETS DIRECTLY BELOW KITCHEN SINK, WORK SURFACE AND LAVATORIES, INCLUDING TOE BOARD AND SHELVING SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE. TO PROVIDE KNEE CLEARANCE FOR WHEEL CHAIR. ALL SURFACES THAT WILL BE EXPOSED BY REMOVAL OF BASE CABINETS SHALL BE FINISHED INCLUDING FLOOR, BASE, AND CABINETS. REQUIRED AT GROUND FLOOR UNITS ONLY.
 - MILLWORK. SUPPLIED & INSTALLED BY G.C. SEE SPECIFICATIONS. BRACKETS AND SUPPORTS PROVIDED BY VENDOR.
 - 2x4 INTERIOR WALL W/ 5/8" GYP. EACH SIDE. FINISH PER SPECIFICATIONS & ROOM FINISH SCHEDULE. SEE SHEET A11.1.
 - 2x6 INTERIOR WALLS W/ 5/8" GYP. EACH SIDE. FINISH PER SPECIFICATIONS & ROOM FINISH SCHEDULE. SEE SHEET A11.1.
 - PARTIAL HEIGHT WALL. SEE BUILDING SECTIONS.
 - 1-HOUR FIRE SEPARATION WALL BETWEEN DWELLINGS. SEE DETAIL 11A10.1.
 - GYP. BOARD CEILING AT MECHANICAL CLOSET, MIN. 7'-0" A.F.F.
 - DROPPED CEILING. AREAS TO BE A MIN. HEIGHT OF 7'-6". MIN. HEIGHT IS FINISHED SURFACE TO FINISHED SURFACE. SEE DETAIL 5A10.1.
 - BACKERS FOR FUTURE GRAB BARS AT GROUND FLOOR UNITS ONLY. SEE GENERAL NOTES.
 - CAP AT HALF WALL TO MATCH COUNTERTOP MATERIAL PER INTERIOR FINISH SCHEDULE.
 - COVER ALL EXPOSED PIPES W/ PLUMBEREX PRO-EXTREME MODEL #K4112 OR EQUAL AT ALL AREAS WITH OPEN KNEE SPACE. DRAIN PIPE CLEARANCE TO BE 10". KNEE AND TOE CLEARANCES AT FIXTURES SHALL COMPLY WITH 2010 CBC.
 - 24" GRAB BARS.
 - 12" GRAB BAR.

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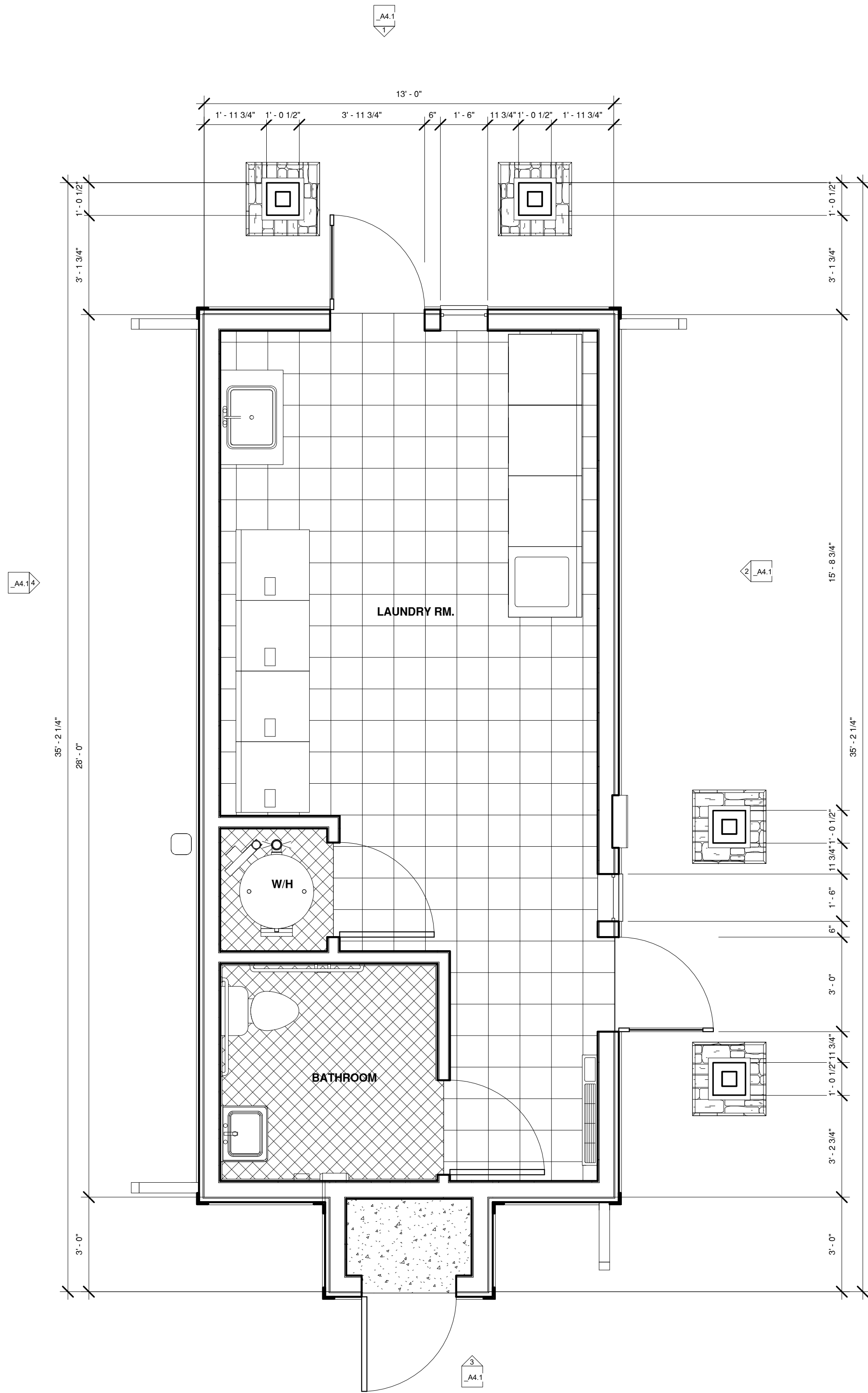
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SECCINNAMON DRIVE & FOLLETT STREET
LEMOORE, CA

CINNAMON VILLAS PHASE II

SCHEMATIC SET / NOT FOR CONSTRUCTION

_A2.3



1 LAUNDRY ROOM - FLOOR PLAN (379 S.F.)
3/8" = 1'-0"

LAUNDRY FACILITY WILL INCLUDE A
MINIMUM OF (3) WASHERS AND (3) DRYERS

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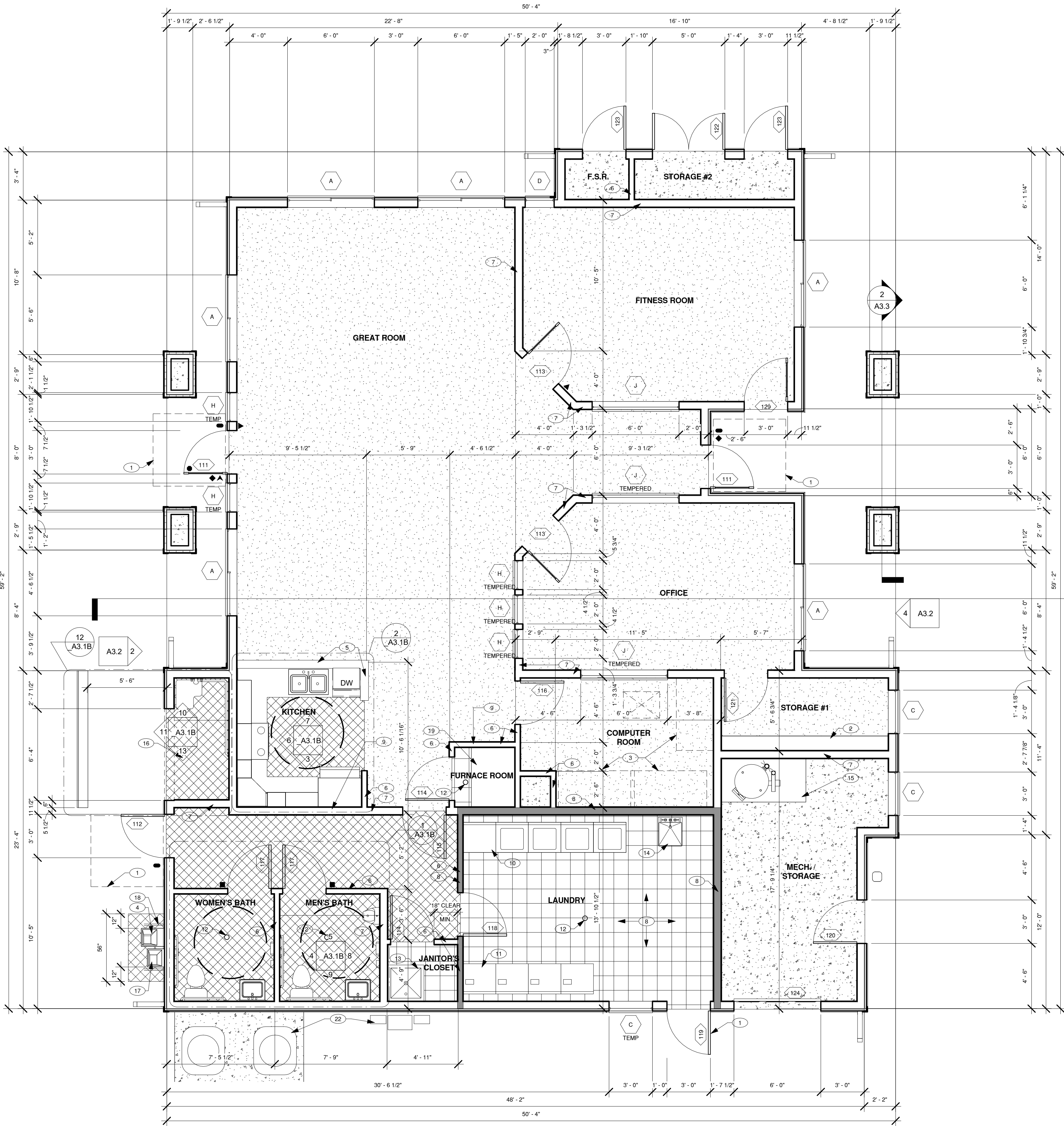
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CINNAMON VILLAS PHASE II

SEC CINNAMON DRIVE & FOLLETT STREET
LEMOORE, CA

SCHEMATIC SET / NOT FOR CONSTRUCTION

_A3.1



EXISTING PHASE I COMMUNITY
BUILDING - FLOOR PLAN (2,469 S.F.)
1/4" = 1'-0"

- KEY NOTES**
- AT ALL EXTERIOR EGRESS LOCATIONS, PROVIDE A MIN. 5'-0" x 5'-0" DEEP CONC. SIDEWALK. ALIGN EDGE OF SIDEWALK WITH HINGE SIDE OF DOOR SO AS TO PROVIDE 4'-0" OF SIDEWALK BEYOND STRIKE SIDE OF DOOR. SEE SHEET A1.1 FOR LAYOUT.
 - WIRE SHELVES.
 - OWNER SUPPLIED COMPUTER AND WORK STATION. G.C. TO VERIFY LOCATIONS WITH OWNER.
 - EXTERIOR HI-LO DRINKING FOUNTAIN. PROVIDE ALL COVE OR HANDRAIL PER GENERIC ACCESSIBLE DETAILS SHEET.
 - PARTIAL HEIGHT 2x WALL. SEE BUILDING SECTIONS FOR HEIGHT.
 - 2x4 INTERIOR WALL W/ 5/8" GYP. EACH SIDE. FINISH PER SPECIFICATIONS & ROOM FINISH SCHEDULE. SEE SHEET A0.4.
 - 2x6 INTERIOR WALLS W/ 5/8" GYP. EACH SIDE. FINISH PER SPECIFICATIONS & ROOM FINISH SCHEDULE. SEE SHEET A0.4.
 - 1-HOUR FIRE SEPARATION WALL / CEILING AT LAUNDRY. SEE DETAIL 6/A10.2.
 - ACCENT WALL IN COMMUNITY ROOM FROM FACE OF ENTIRE WALL UP TO CEILING. SEE FINISH SCHEDULE FOR INFORMATION.
 - WASHER, TYP. PROVIDE (1) MIN. A.D.A. COMPLIANT WASHERS. PROVIDE (1) STACKED WASHERS. TOTAL NUMBER OF WASHERS TO BE (6) MIN. G.C. TO COORDINATE LOCATION OF ACCESSIBLE WASHER. ALL WASHERS MUST BE FRONT LOADING AND COMPLY W/ CBC 2010, SECTION 1127A.10. SEE PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR LOCATIONS. OWNER TO PROVIDE ALL WASHERS AT COMMUNITY BUILDING.
 - DRYER, TYP. PROVIDE (2) STACKED DRYERS. TOTAL NUMBER OF DRYERS TO BE (6) MIN. G.C. TO COORDINATE LOCATION OF ACCESSIBLE DRYER. ALL DRYERS MUST BE FRONT LOADING AND COMPLY W/ CBC 2010, SECTION 1127A.10. SEE PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR LOCATIONS. OWNER TO PROVIDE ALL DRYERS AT COMMUNITY BUILDING.
 - FLOOR DRAIN. SLOPE FLOOR TO FLOOR DRAIN. SEE PLUMBING DRAWINGS FOR LOCATIONS. G.C. TO COORDINATE LOCATIONS WITH ALL DISCIPLINES.
 - JANITOR'S SINK. SEE PLUMBING DRAWINGS FOR LOCATIONS.
 - UTILITY SINK. SEE PLUMBING DRAWINGS FOR LOCATIONS.
 - PLATFORM FOR MECHANICAL / PLUMBING EQUIPMENT. G.C. TO BUILD ON-SITE PER MECH. AND PLUMB. CODES AND/OR REQUIREMENTS.
 - UFAS FAIR HOUSING ACT COMPLIANT ROLL-IN EXTERIOR SHOWER. G.C. TO VERIFY COMPLIANCE. SEE PLUMBING PLANS FOR FLOOR DRAIN INVERT ELEVATIONS. TILE TO BE MUSET, RECESS SLAB APPROPRIATELY.
 - NON-ALCOVE, CANE DETECTABLE SURFACE TO BE PROVIDED APPROXIMATELY 12" BEYOND OUTSIDE LIMITS OF DRINKING FOUNTAIN FIXTURE. QUARRY TILE SHALL BE DALTILE "GOLDEN BROWN SURETREAD QOT5, OR EQUAL.
 - PROVIDE 1 1/2" STAINLESS STEEL BARS MOUNTED TO BOTH WALL AND SLAB, PER DIMENSIONS. SEE DETAIL 6/A10.4.
 - GYP. BOARD CEILING AT MECHANICAL CLOSET, MIN. 7'-0" A.F.F. PROVIDE BLOCKING IN WALL FOR FUTURE EQUIPMENT. G.C. TO VERIFY LOCATION. NOT USED.
- M.E.P. EQUIPMENT, REFER TO M.E.P. SHEETS FOR MORE INFORMATION.

- HATCH LEGEND**
- CARPET
 - VCT
 - CERAMIC TILE
 - CONCRETE

- GENERAL NOTES**
- ALL INSULATION MATERIAL, INCLUDING GYPSUM, WHERE SPECIFIED, ARE REQUIRED TO HAVE A FLAME SPREAD OF 25 OR BETTER AND A MAX. SMOKE DENSITY OF 450 PER THE 2010 CBC, SECTION 719.
 - PENETRATIONS THROUGH WALLS OF FIRE RESISTIVE CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, MEMBRANE PENETRATIONS SHALL BE FIRE STOPPED IN ACCORDANCE WITH THE 2010 CBC.
 - ALL AREAS RECEIVING GYP. BRD. ARE TO BE TAPED AND MUDDDED AND RECEIVE FINISH AS NOTED ON FINISH SCHEDULE AND OF SPECIFICATIONS. VERIFY FINISHES WITH OWNER.
 - PROVIDE FULL BATT INSULATION BETWEEN BATHROOMS AND BATHROOMS AND ADJACENT SPACES.
 - WHERE GYPSUM BOARD FINISH IS INDICATED IT SHALL MEET THE APPEARANCE SPECIFICATIONS A A US GYPSUM LEVEL 4, U.O.N.
 - VERIFY DIMENSIONS OF ALL FIXTURES AND EQUIPMENT PROVIDED BY OWNER OR OWNER'S AGENTS.
 - IF GLAZING FOR WINDOW IS WITHIN 18" OF FINISHED FLOOR SURFACE AND/OR WITHIN 24" OF PASS THROUGH DOOR THEN TEMPERED GLASS IS REQUIRED.
 - CARPET TO HAVE TEXTURED LOOP CARPET WITH A MAX. PILE HEIGHT TO BE 12". CARPETS SHALL BE SECURELY ATTACHED WITHOUT CUSHION PAD AND HAVE A LEVEL LOOP, TEXTURED LOOP, OR LEVEL CUT/UNCUT PILE TEXTURE. EXPOSED EDGES OF CARPET SHALL BE FASTENED TO FLOOR SURFACES AND HAVE TRIM ALONG THE ENTIRE LENGTH OF THE EXPOSED EDGES.
 - HARD FLOOR SURFACES IN RESTROOMS TO BE A HARD, NONABSORBENT SURFACE PER 2010 CBC SECTION 1210.1.
 - AT TOILET REINFORCEMENT FOR GRAB BARS SHALL BE LOCATED AT THE HEIGHT OF 32" TO 38". REINFORCEMENT SHALL BE ON BOTH SIDES OF TOILET, OR ON SIDE AND IN BACK OF TOILET. BACK REINFORCEMENT IS A MIN. OF 40" IN LENGTH. SIDE REINFORCEMENT IS ALIGNED WITH THE FRONT OF THE TANK AND EXTENDS A MIN. OF 26" IN FRONT OF TOILET FIXTURE.
 - GRAB BAR REINFORCEMENTS SHALL BE CAPABLE OF SUPPORTING A POINT LOAD OF 250 LBS. REINFORCEMENTS SHALL BE A MIN. OF 6" HIGH.
 - FLUSH VALVE SHALL BE LOCATED ON ONE SIDE OF TOILET AND MAX. 44" A.F.F. VALVE SHALL BE OPERABLE WITH ONE HAND AND SHOULD NOT REQUIRE A TIGHT GRASP, PINCHING OR TWISTING OF WRIST. A MAX. 5# FORCE SHALL BE REQUIRED TO OPERATE.
 - FAUCET CONTROLS SHALL BE OPERABLE WITH ONE HAND AND SHOULD NOT REQUIRE A TIGHT GRASP, PINCHING OR TWISTING OF WRIST. A MAX. 5# FORCE SHALL BE REQUIRED TO OPERATE CONTROLS. SELF-CLOSING VALVES SHALL REMAIN OPEN FOR AT LEAST 10 SECONDS.
 - THE TOP OF BOX OF THE OPERATING HANDLE OF SWITCHES USED TO CONTROL LIGHTS, THERMOSTATS, AND OTHER ENVIRONMENTAL CONTROLS SHALL BE LOCATED NO HIGHER THAN 48", AND THE BOTTOM OF BOX NO LOWER THAN 15" ABOVE THE FLOOR. IF THE REACH IS OVER AN OBSTRUCTION BETWEEN 20 & 25" IN DEPTH, THE MAX. HEIGHT IS REDUCED TO 44". OBSTRUCTIONS MAY NOT EXTEND MORE THAN 25" FROM THE WALL BENEATH THE RECEPTACLE.
 - ELECTRICAL OUTLETS TO BE LOCATED 15" MIN. FROM FINISH FLOOR OR CARPET SURFACE TO BOTTOM OF OUTLET BOX.

CONFIRM LIGHTING LAYOUT AND ENERGY CODE COMPLIANCE FOR LIGHTING DESIGN WITH RESPECTIVE ELECTRICAL DRAWINGS SERIES.

PROVIDE SOLID COUNTER TOP, BACK SPLASH, AND ASSOCIATE ASSEMBLIES AT KITCHEN AND BATHROOM CABINETS. PER SPECIFICATIONS. TOP SHALL BE WITHIN ACCEPTABLE ADAAG RANGES, U.N.O.

EVERY ENTRY, OPENING OR PASSAGE DOOR MUST PROVIDE A MIN. OF 32" CLEAR OPENING BETWEEN THE FACE OF THE DOOR AND THE STOP WHEN THE DOOR IS IN THE 90 DEGREE OPEN POSITION.

ALL INTERIOR DOORS SHALL HAVE A LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS, EXTENDING 18" PAST THE STRIKE EDGE OF THE DOOR.

INTERIOR PASSAGE DOORS SHALL HAVE HARDWARE CENTERED BETWEEN 30" & 44" ABOVE THE FLOOR AND SHALL BE OPERABLE WITH A SINGLE EFFORT BY A LEVER TYPE HARDWARE. HALLWAYS, WHERE OCCUR, SHALL BE A MIN. OF 36" IN WIDTH.

EXTERIOR DOOR THRESHOLDS AND ALL FLOORING TRANSITION STRIPS TO BE A.D.A. COMPLIANT.

SEE DOOR, WINDOW, AND FINISH SCHEDULES FOR INFORMATION ON DOORS, HARDWARE, WINDOWS, AND INTERIOR INFORMATION.

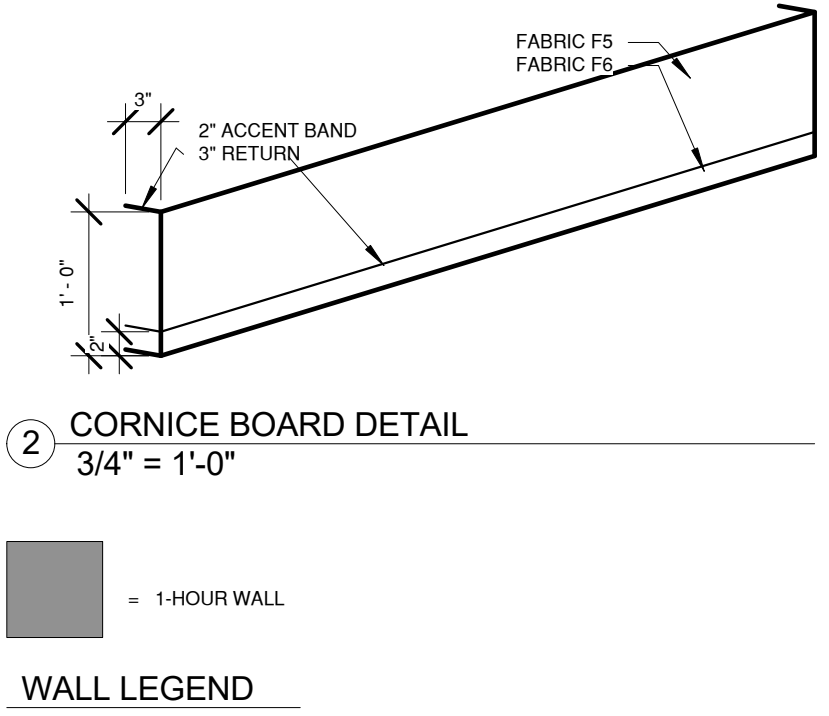
ALL EXIT DOORS TO BE LABELED CLEARLY: "THIS DOOR MUST REMAIN UNLOCKED DURING BUSINESS HOURS. THIS DOOR TO REMAIN UNLOCKED WHENEVER THE BUILDING IS OCCUPIED."

DISCHARGE POINT FOR EXHAUST AIR SHALL BE AT LEAST 3'-0" FROM ANY OPENING WHICH ALLOWS ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING. REQUIRED EXHAUST FANS IN BATH AND/ OF LAUNDRY ROOMS MUST CONNECT DIRECTLY TO THE OUTSIDE AND MUST PROVIDE FOR (5) AIR CHANGES PER HOUR PER CBC.

AT ALL PLATES INSTALL SWELLSTOP 1" x 3/4" SILL PLATE SEALANT SEAL ALL PENETRATIONS IN BUILDING ENVELOPE PER CALIFORNIA TITLE 24 REQUIREMENTS.

WHERE COMMON LAUNDRY ROOMS ARE SHOWN, THEY SHALL BE CONSTRUCTED IN CONFORMANCE WITH 2010 CBC SECTION 112.7A.10.

- SIGN NOTES**
- PROVIDE DURABLE SIGN WITH LETTER ON CONTRASTING BACKGROUND OVER DOORS STATING: "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED."
 - POST SIGN OF MAXIMUM OCCUPANCY FOR EXERCISE ROOM AND COMMUNITY ROOM.
 - PROVIDE (1) 1/4" THICK 12" MEN'S & WOMEN'S GEOMETRIC SIGNS 60" A.F.F. ON RESTROOM ENTRANCE DOOR AND (2) RAISE LETTER / BRAILLE SIGNS ON LATCH / OUTSIDE OF RESTROOM ENTRANCE DOORS. MOUNTED 60" A.F.F. ON THE WALL, ALLOWING APPROACH TO WITHIN 3".
 - PROVIDE & INSTALL TACTILE EGRESS SIGNAGE INSTALL ON THE WALL ADJACENT TO THE LATCH SIDE OF THE EXIT DOORS MOUNTED 60" A.F.F. TO CENTER LINE OF THE SIGN PER THE CBC SECTION 1117B.5.3.1.2.
 - INTERNATIONAL SYMBOL OF ACCESSIBILITY TO BE MOUNTED AT ENTRY DOOR TO PUBLIC FACILITIES AND SIMILAR USES.
 - INTERNATIONAL SYMBOL OF ACCESS FOR HEARING IMPAIRED TO BE MOUNTED AT ENTRY DOOR.
- NOTE:
SEE SHEET A0.4 FOR ADDITIONAL SIGNAGE NOTES AND DETAILS



WALL LEGEND

- 1-HOUR WALL

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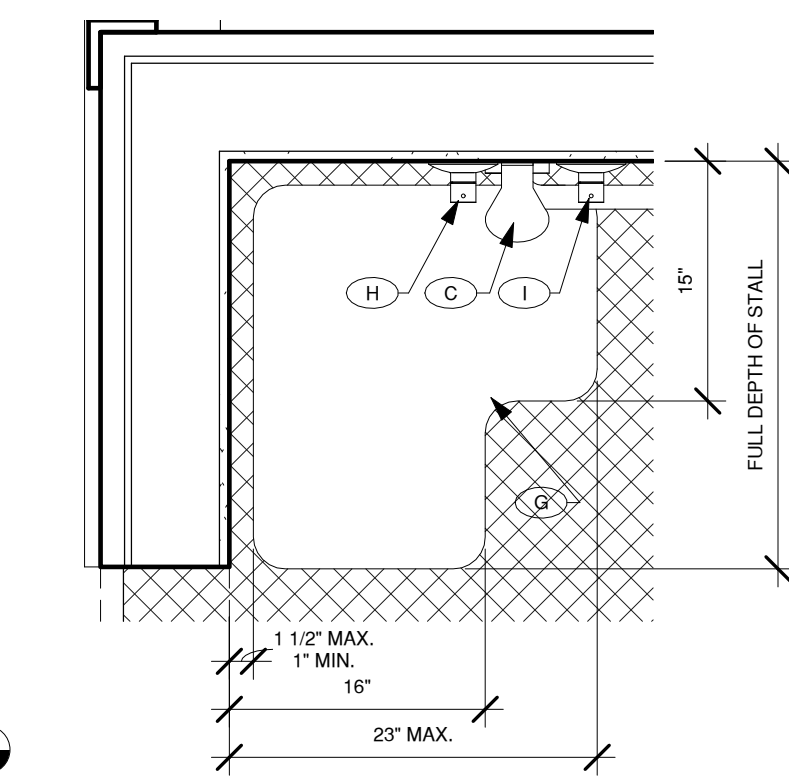
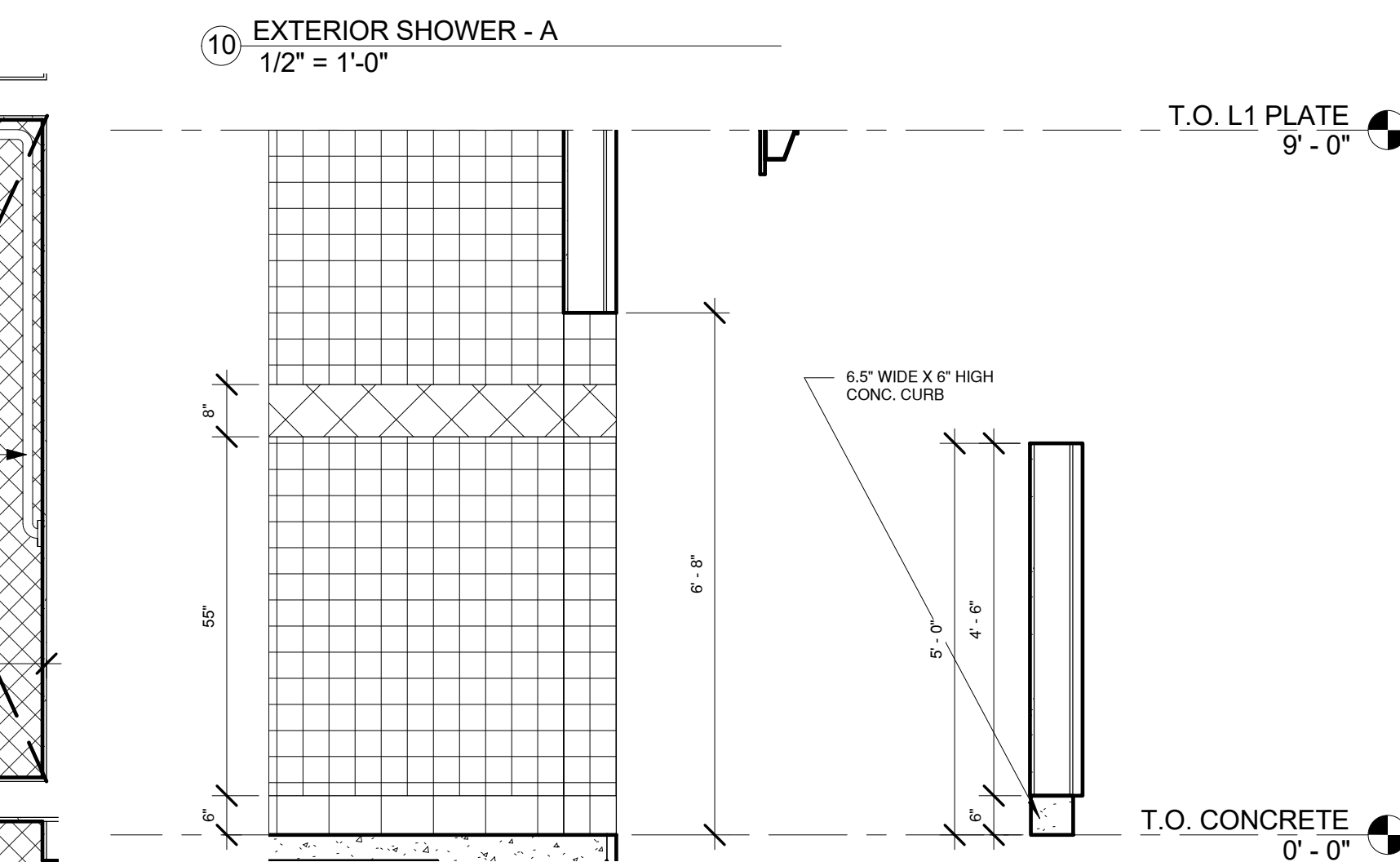
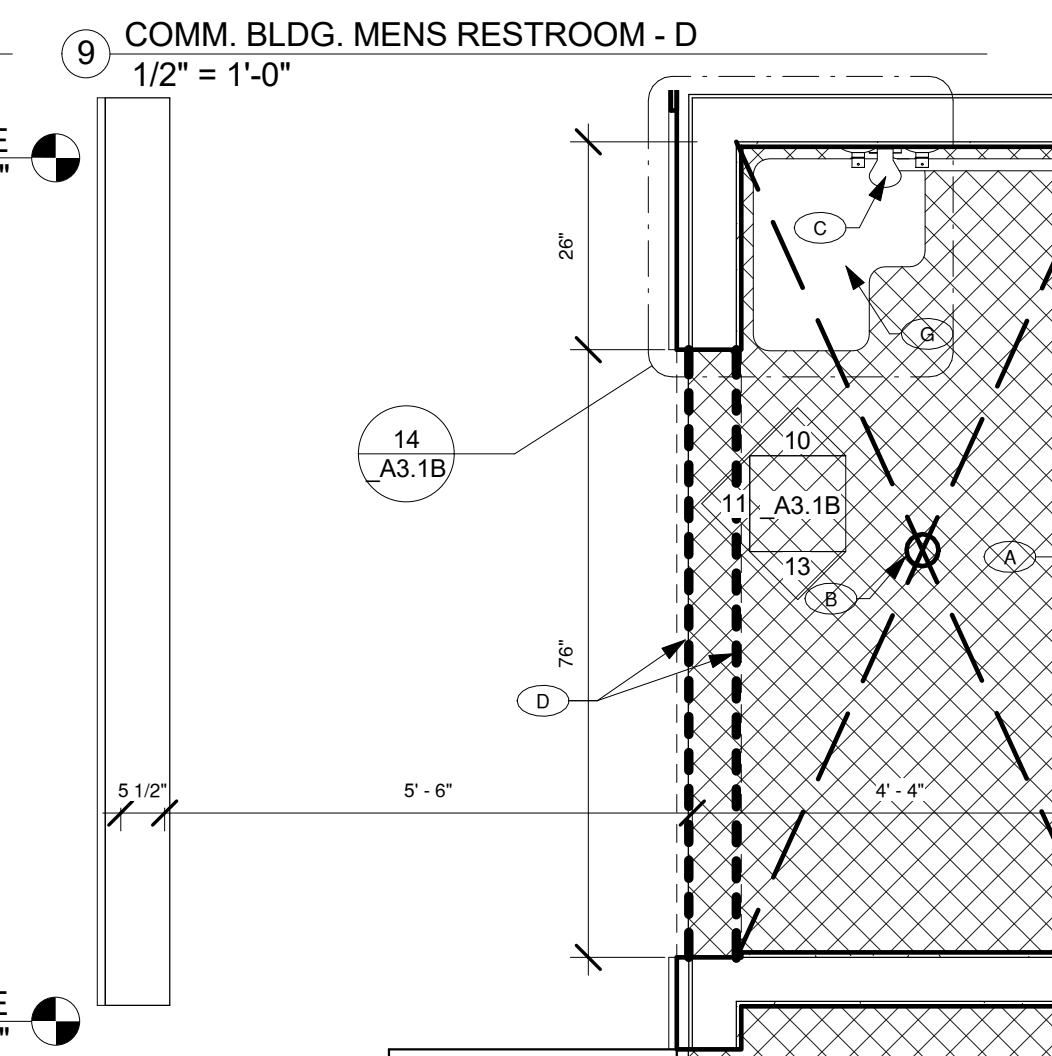
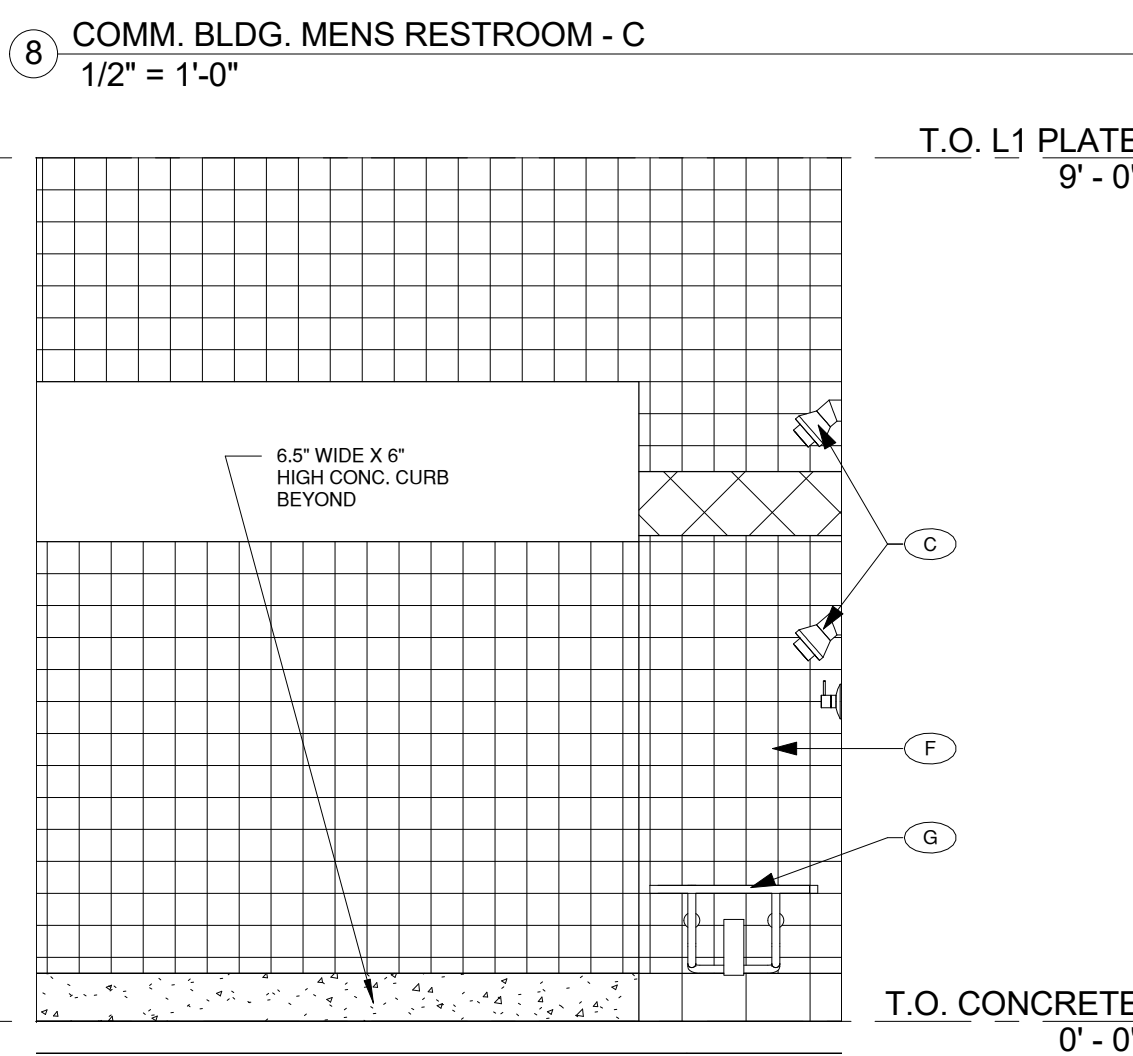
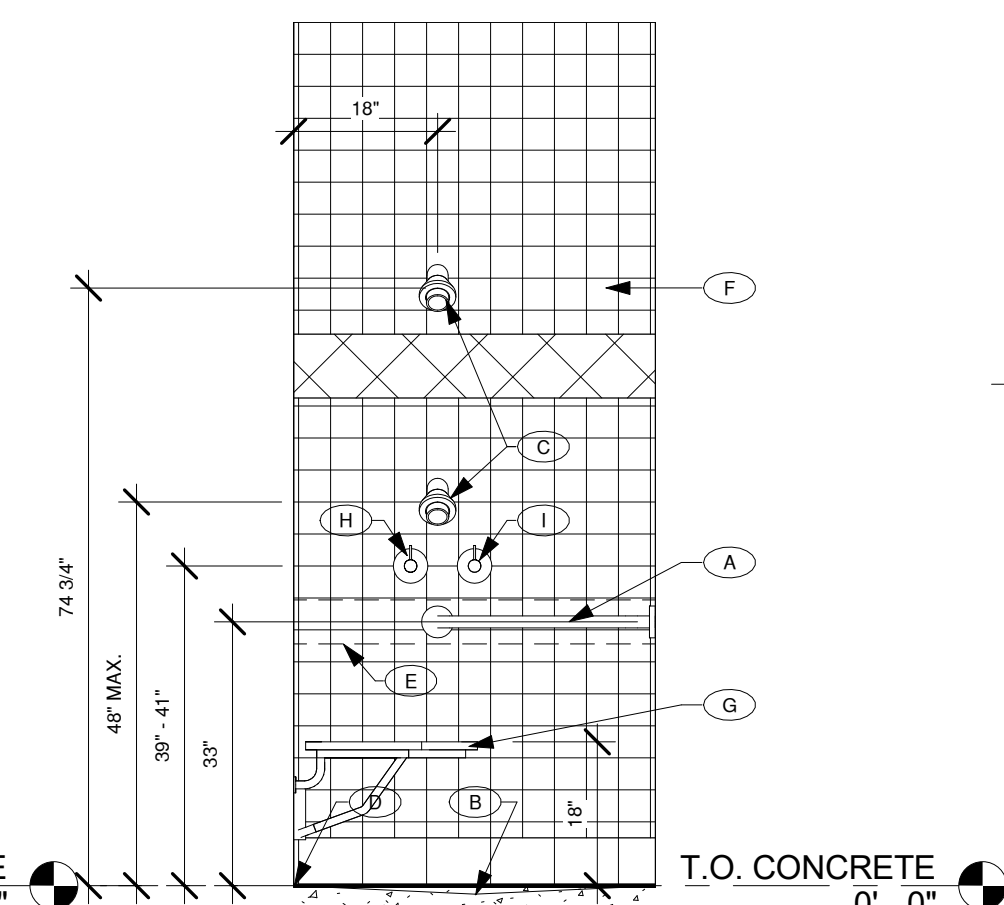
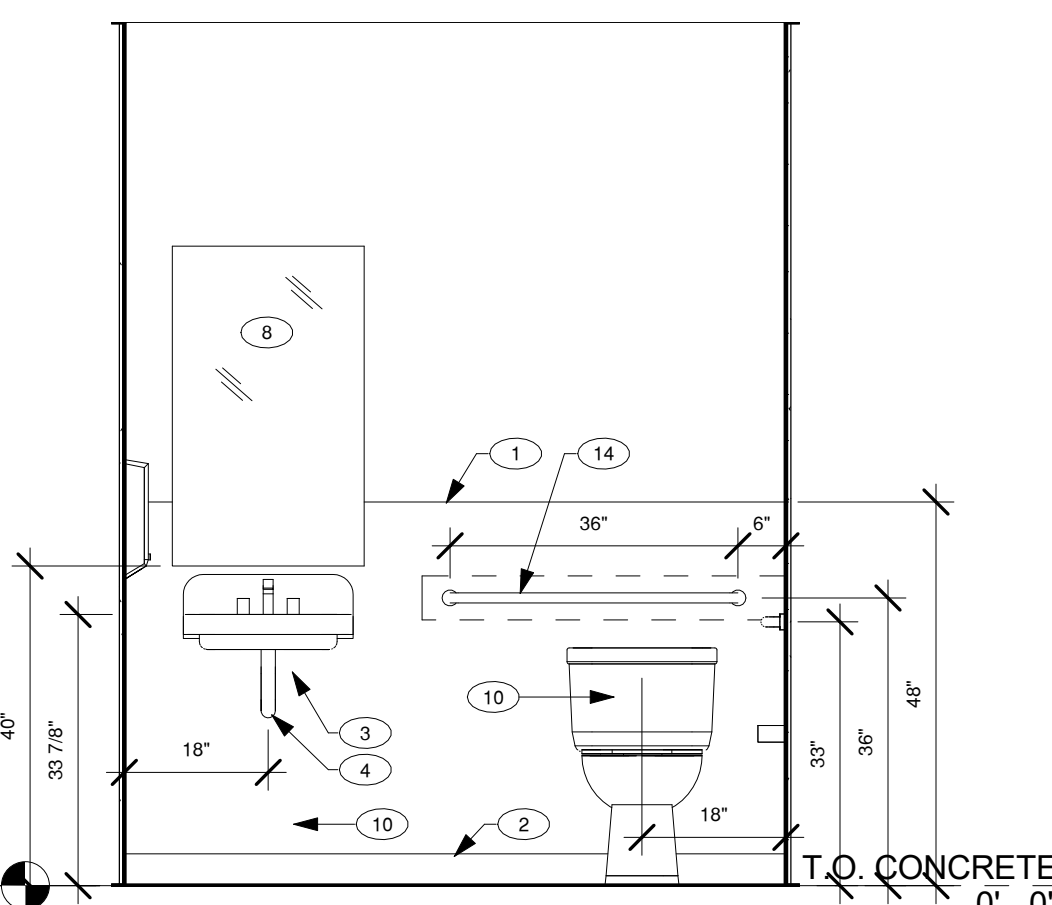
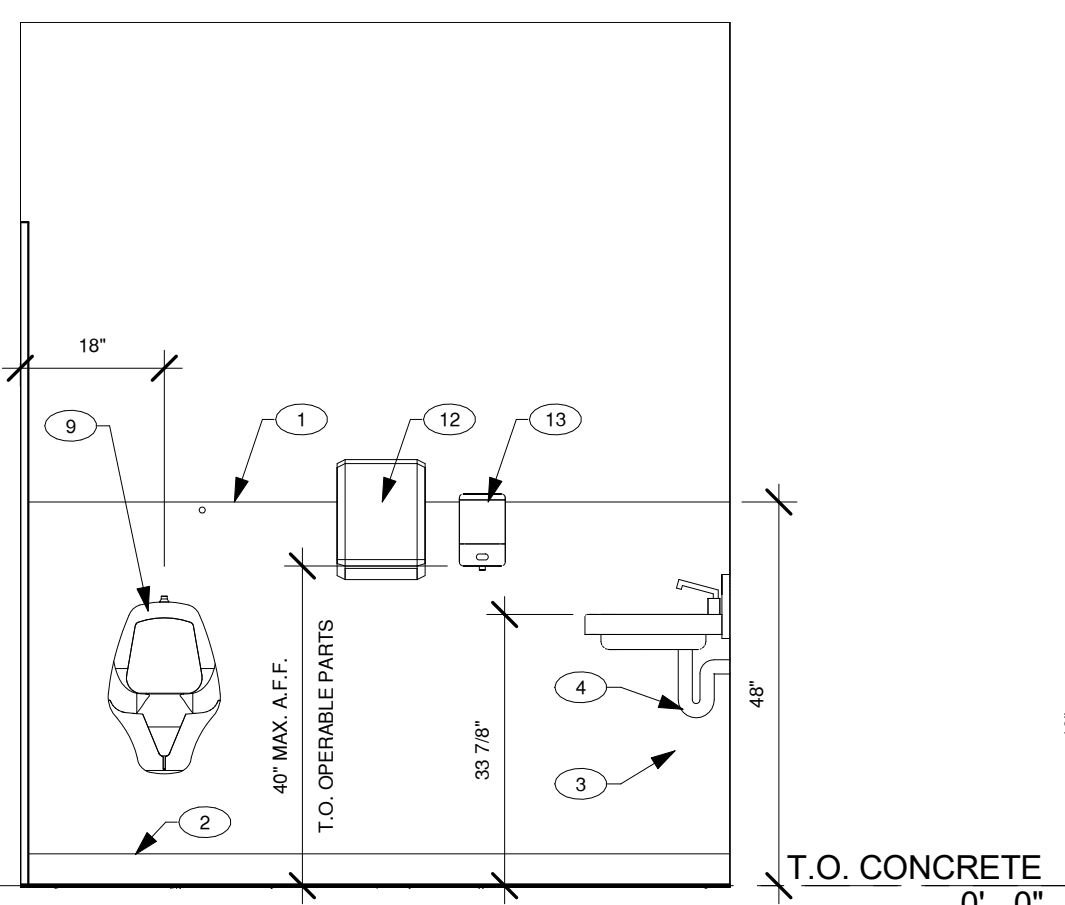
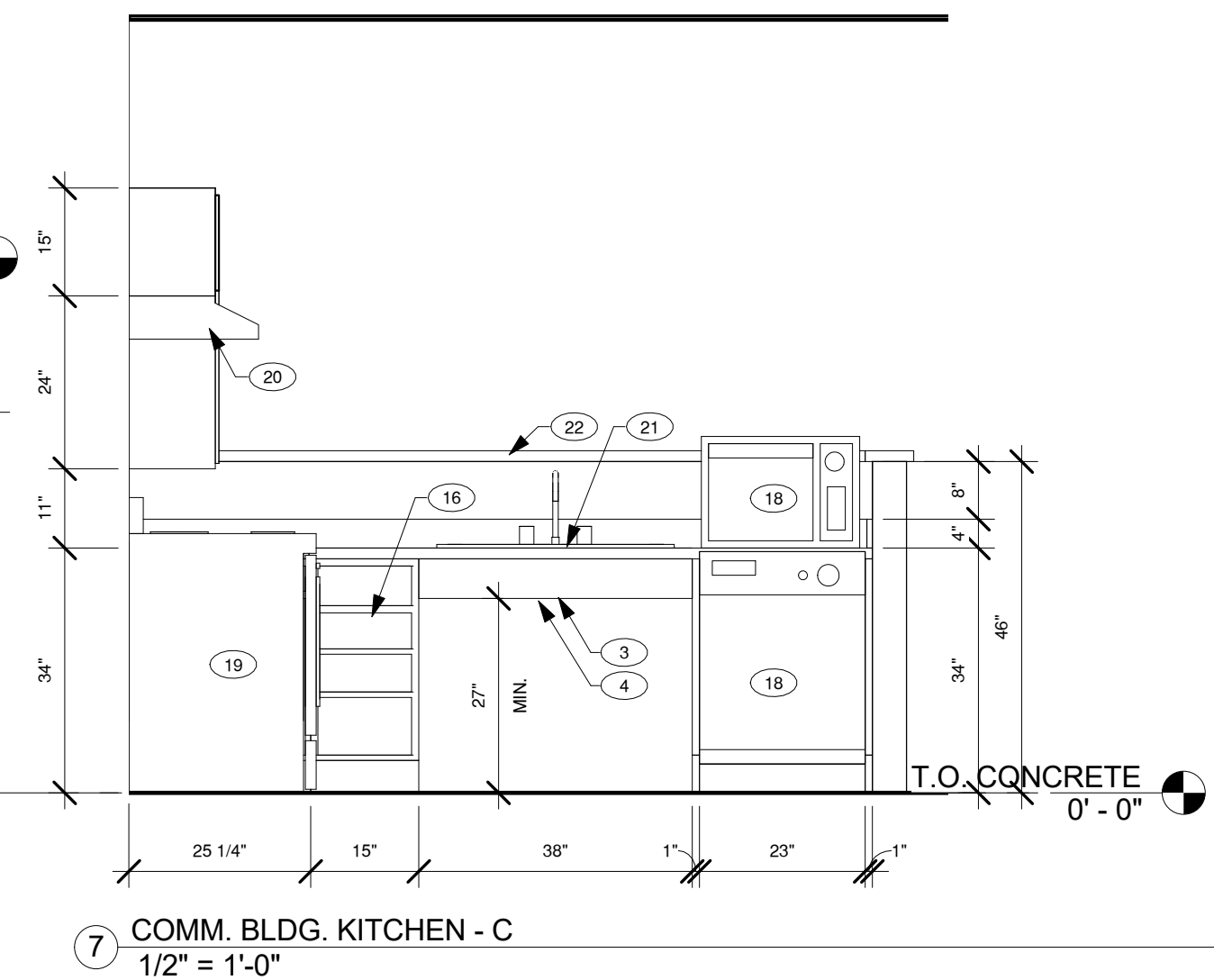
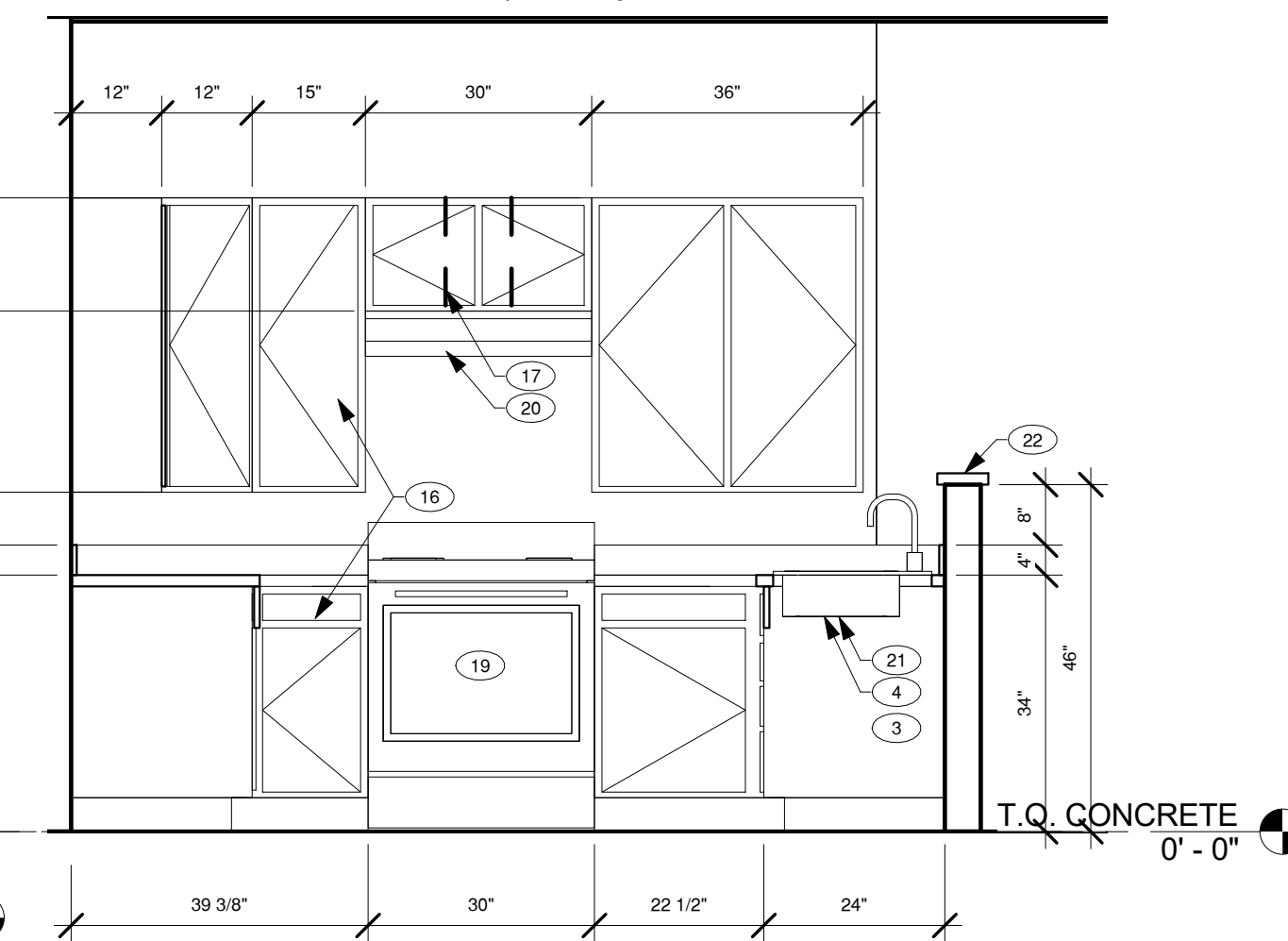
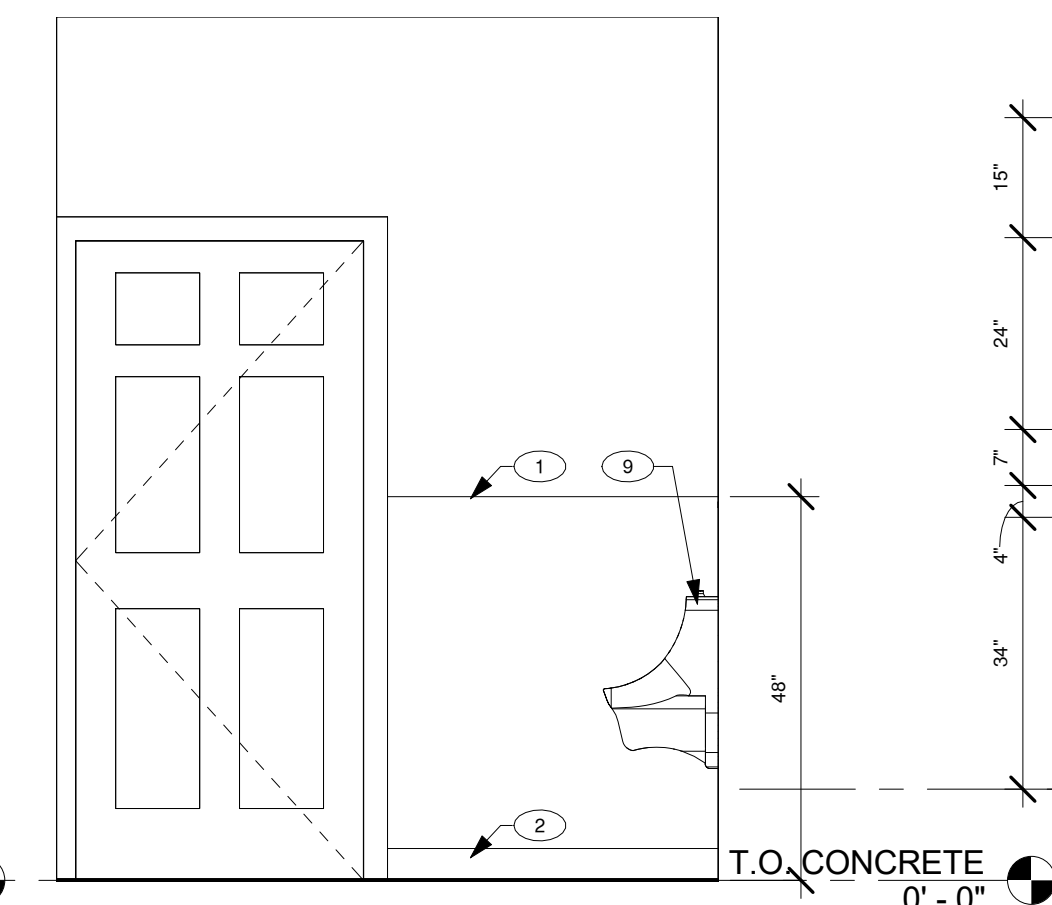
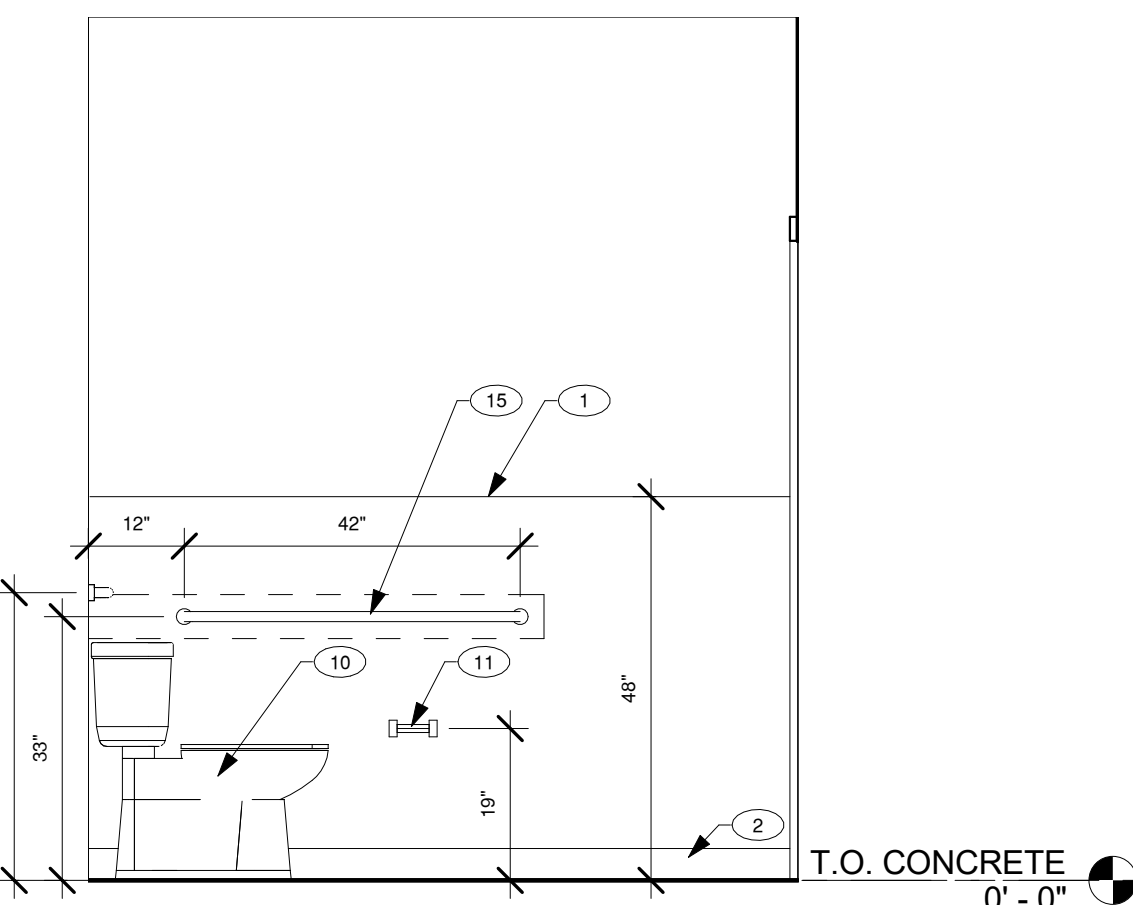
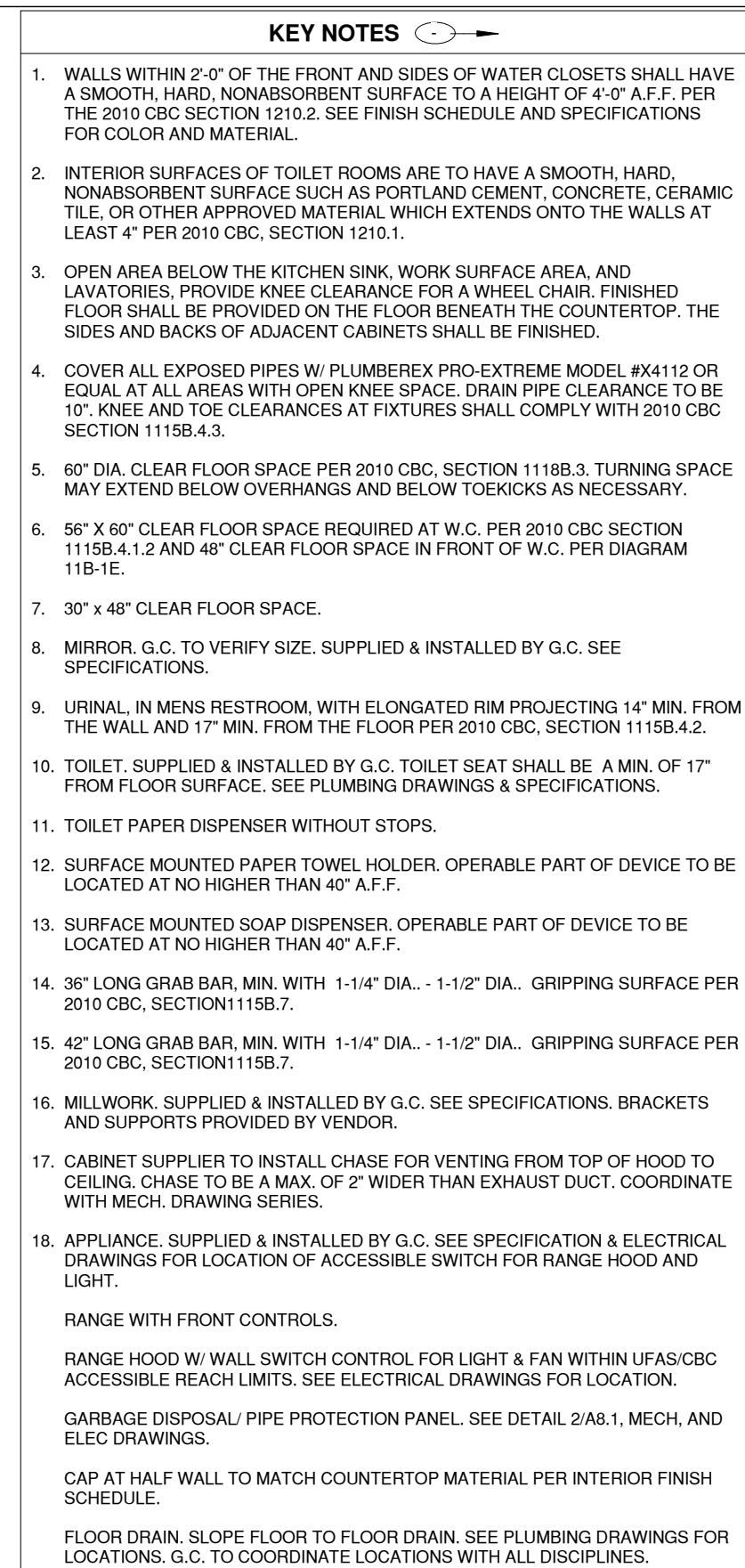
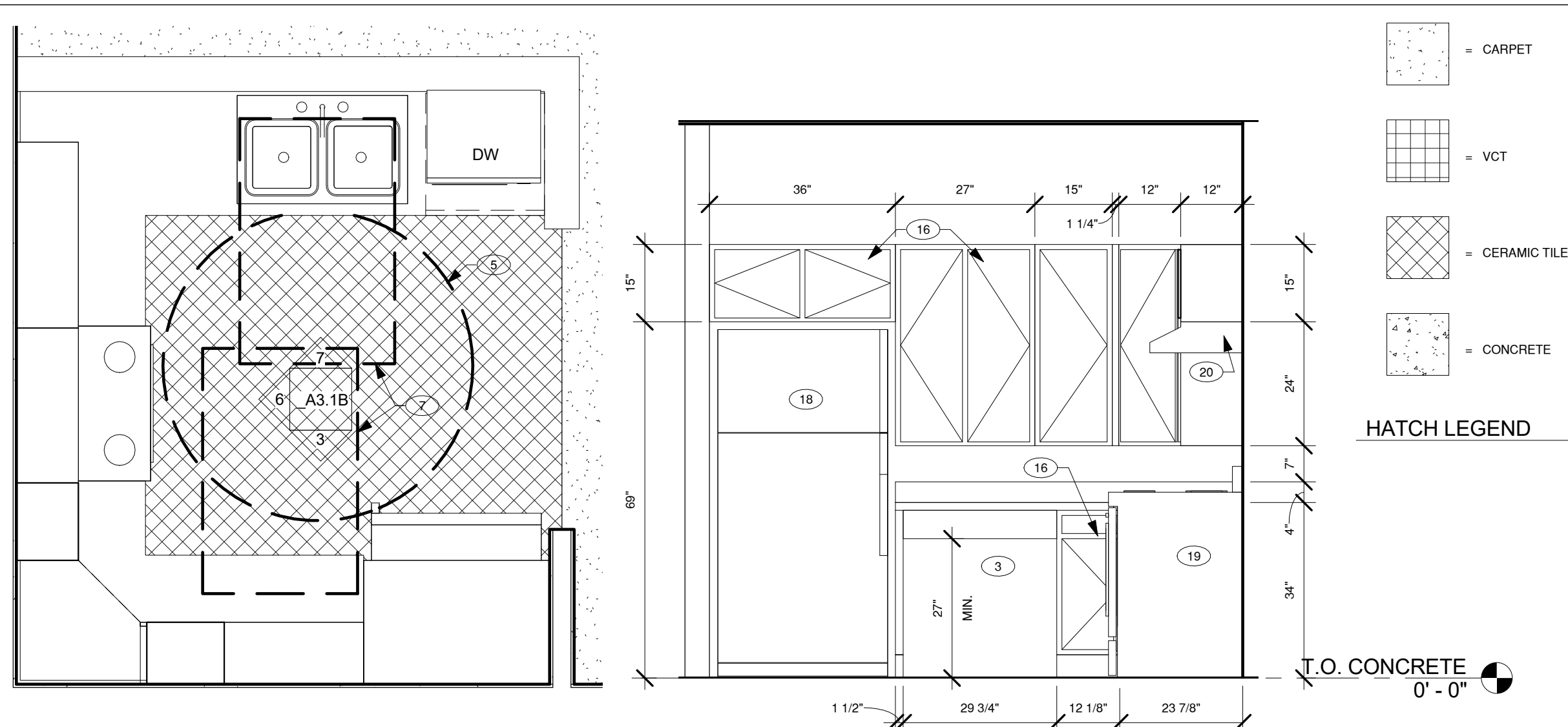
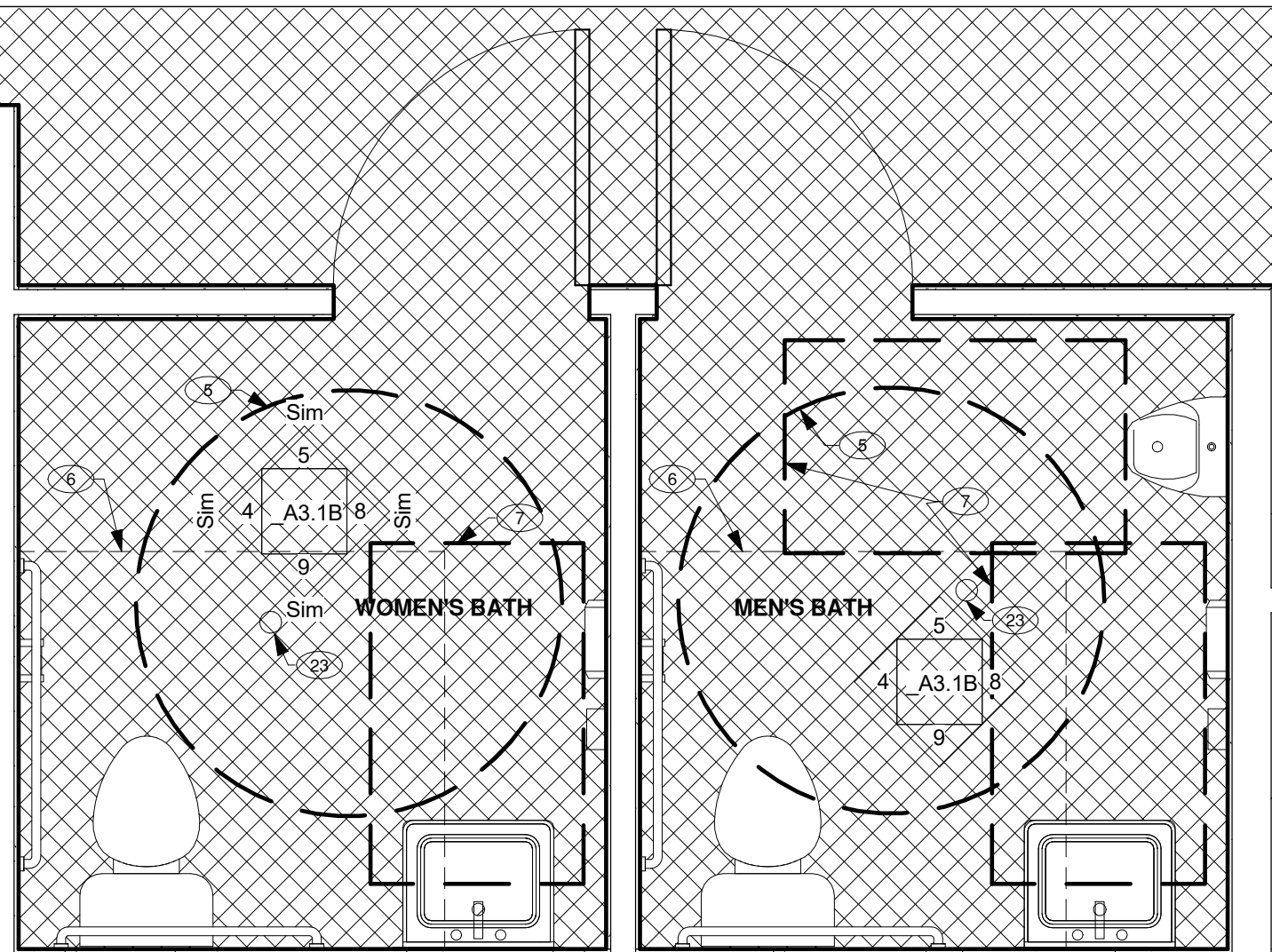
PROJECT

CINNAMON VILLAS PHASE II

SEC CINNAMON DRIVE & FOLLET STREET
LEMOORE, CA

SCHEMATIC SET / NOT FOR CONSTRUCTION

_A3.1A



HATCH LEGEND

KEY NOTES 

GENERAL NOTES

A. ALL INSULATION MATERIAL, INCLUDING FASCINS, WHERE SPECIFIED, ARE REQUIRED TO HAVE A FLAME SPREAD OF 25 OR BETTER AND A MAX. SMOKE DENSITY OF 450 PER THE 2010 CBC, SECTION 719. FIRE RESISTIVE CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, MEMBRANE PENETRATIONS SHALL BE FIRE STOPPED IN ACCORDANCE WITH THE 2010 CBC.

B. PENETRATIONS THROUGH WALLS OF FIRE RESISTIVE CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, MEMBRANE PENETRATIONS SHALL BE FIRE STOPPED IN ACCORDANCE WITH THE 2010 CBC.

C. ALL AREAS RECEIVING GY. BRD. ARE TO BE TAPED AND MUDDIED AND RECEIVE FINISH AS NOTED ON FINISH SCHEDULE AND/or SPECIFICATIONS. VERIFY FINISHES WITH OWNER.

D. PROVIDE FULL BARD INSULATION BETWEEN BATHROOMS AND BATHROOMS AND ADJACENT SPACES.

E. WHERE CYPRESS BOARD FINISH IS NOTICED IT SHALL MEET THE APPEARANCE SPECIFICATIONS AS A US CYPRESSUM LEVEL 4, U.O.N.

F. VERIFY DIMENSIONS OF ALL FIXTURES AND EQUIPMENT PROVIDED BY OWNER'S OWNERS AGENTS.

G. IF GLAZING FOR WINDOW IS WITHIN 18" OF FINISHED FLOOR SURFACE AND/OR WITHIN 24" OF PASS THROUGH DOOR THEN TEMPERED GLASS IS REQUIRED.

H. CARPET TO HAVE TEXTURED LOU CARPET WITH A MAX. PILE HEIGHT TO BE 1/2". CARPETS SHALL BE SECURELY ATTACHED TO UNDER CUSHION PAD AND HAVE A MAXIMUM OF 1/2" OF PILE HEIGHT. (DO NOT UNLIT PILE TEXTURE). EXPOSED EDGES OF CARPET SHALL BE FASTENED TO FLOOR SURFACES AND HAVE TRIM ALONG THE ENTIRE LENGTH OF THE EXPOSED EDGES.

I. HARD FLOOR SURFACES IN RESTROOMS TO BE A HARD, NONABSORBENT SURFACE WITH A COEFFICIENT OF FRICTION 10.10.

J. AT TOILET PARTICULATE FOR GRAB BARS SHALL BE LOCATED AT THE HEIGHT OF 32" TO 38". REINFORCEMENT SHALL BE ON BOTH SIDES OF TOILET, OR ON ONE SIDE AND IN BACK OF TOILET. BACK REINFORCEMENT IS A MIN. OF 40" IN LENGTH. SIDE REINFORCEMENT IS A MIN. OF 40" IN LENGTH. THE FRONT OF THE TRIM AND EXTENDS A MIN. OF 26" IN FRONT OF TOILET FIXTURE.

K. GRAB BAR REINFORCEMENTS SHALL BE CAPABLE OF SUPPORTING A POINT LOAD OF 250# MIN. REINFORCEMENTS SHALL BE A MIN. OF 6" HIGH.

L. FLUSH VALVE SHALL BE LOCATED ON WIDE SIDE OF TOILET AND MAX. 44" A.F.F. VALVE SHALL BE OPERABLE WITH ONE HAND AND SHOULD NOT REQUIRE A TOILET OPERATE TO OPERATE.

M. FAUCET CONTROLS SHALL BE OPERABLE WITH ONE HAND AND SHOULD NOT REQUIRE A TIGHT GRASP, PINCHING OR TWISTING OF VALVE. A MAX. 5# FORCE SHALL BE REQUIRED TO OPERATE CONTROLS. SELF-CLOSING VALVES SHALL REMAIN OPEN FOR AT LEAST 10 SECONDS.

N. THE TOP OF BOX OF THE OPERATING HANDLE OF SWITCHES USED TO CONTROL LIGHTS, THERMOSTATS, AND OTHER ENVIRONMENTAL CONTROLS SHALL BE LOCATED 48" TO 54" ABOVE THE BOTTOM OF BOX OR BOX NO LOWER THAN 15" ABOVE THE FLOOR. IF THE REACH IS OVER AN OBSTRUCTION BETWEEN 20" & 25" ABOVE THE FLOOR, THE REACH SHALL BE 48" TO 54" ABOVE THE OBSTRUCTION AND NOT MORE THAN 25" FROM THE WALL BENEATH THE RECEPTACLE.

O. ELECTRICAL OUTLETS TO BE LOCATED 15" MIN. FROM FINISH FLOOR OR CARPET SURFACE TO BOTTOM OF OUTLET BOX.

CONFIRM LIGHTING LAYOUT AND ENERGY CODE COMPLIANCE FOR LIGHTING DESIGN WITH RESPECTIVE ELECTRICAL DRAWINGS SERIES.

PROVIDE SINK COUNTER TOP, BACK SPLASH, AND ASSOCIATE ASSEMBLIES AT KITCHEN AND BATHROOM CABINETS, PER SPECIFICATIONS. TOP SHALL BE WITHIN ACCEPTABLE ADJACENT RANGES.

EVERY ENTRY, OPENING OR PASSAGE DOOR MUST PROVIDE A MIN. OF 32" CLEAR OPENING BETWEEN THE FACE OF THE DOOR AND THE STOP WHEN THE DOOR IS IN THE 90 DEGREE OPEN POSITION.

ALL INTERIOR DOORS SHALL HAVE A LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS, EXTENDING 1' PAST THE STRIKE EDGE OF THE DOOR.

INTERIOR PASSAGE DOORS SHALL HAVE HARDWARE CENTERED BETWEEN 36" & 48" FROM THE FLOOR. LOCK SHALL BE OPERABLE WITH A SINGLE EFFORT BY A LEVER TYPE HARDWARE. HALLWAYS, WHERE OCCUR, SHALL BE A MIN. OF 36" IN WIDTH.

EXTERIOR DOOR THRESHOLDS AND ALL FLOORING TRANSITION STRIPS TO BE A.D.A. COMPLIANT.

DO, SEEN, WINDOW, AND FINISH SCHEDULES FOR INFORMATION ON DOORS, HARDWARE, WINDOWS, AND INTERIOR INFORMATION.

ALL EXIT DOORS TO BE LABELED CLEARLY. THIS DOOR MUST REMAIN UNLOCKED DURING BUSINESS HOURS, UPON RETURN UNLOCKED WHENEVER THE BUILDING IS OCCUPIED.

DISCHARGE POINT FOR EXHAUST AIR SHALL BE AT LEAST 3' 0" FROM ANY OTHER WALL OR ALL OTHER EXITS INTO ROOM OCCUPIED BY THE BUILDING. REQUIRED EXHAUST FANS IN BATH AND/OR LAUNDRY ROOMS MUST CONNECT DIRECTLY TO THE OUTSIDE AND MUST PROVIDE FOR (5) AIR CHANGES PER HOUR.

ALL PLATES INSTALL SWELSTOP WATERSTOP 1" x 3/4" SLIT PLATE SEALANT SEAL. ALL PENETRATIONS IN BUILDING ENVELOPE PER CALIFORNIA TITLE 24 REQUIREMENTS.

WHERE COMMON LAUNDRY ROOMS ARE SHOWN, THEY SHALL BE CONSTRUCTED IN CONFORMANCE WITH 2010 CBC SECTION 112.7A.10.

GENERAL NOTES - DECOR

A.	ALL PRODUCTS TO BE INSTALLED PER MANUFACTURERS' SPECIFICATIONS, INCLUDING ADHESIVES WHERE APPLICABLE.
B.	PROVIDE ROPPE RUBBER REDUCER AT ALL CARPET / VCT OR CARPET / VINYL TRANSITIONS.
C.	SUBMIT SHOP DRAWINGS OF MILLWORK TO ARCHITECT FOR APPROVAL.
D.	DOOR FRAMES AND WOOD BASE BOARDS TO BE PAINTED W/ SEMI-GLOSS FINISH. SEE FINISH SCHEDULE.
E.	ALL CEILINGS TO BE PAINTED W/ FLAT FINISH, U.O.N.; SEE FINISH SCHEDULE.
F.	RESTROOMS WALLS ABOVE TILE AND CEILINGS TO BE PAINTED; SEE FINISH SCHEDULE.
G.	ALL FLOORING TRANSITIONS TO OCCUR AT CENTER OF DOOR FRAME.
H.	PROVIDE 2" ALUMINUM HORIZONTAL BLINDS FOR EXTERIOR WINDOWS IN COMMUNITY ROOM, OFFICE, EXERCISE ROOM, MAINTENANCE AND STORAGE; URBAN ROOM.
I.	CERAMIC TILE BASE FOR HALL TO BE 6" HIGH WITH BRUSHED ALUMINUM SLUTTER TRIM CAP.
J.	CORNER BOARD WINDOW TOP TREATMENT FOR EXTERIOR WINDOWS IN THE COMMUNITY ROOM, OFFICE AND EXERCISE ROOM ONLY. SEE DETAIL.

REVISIONS

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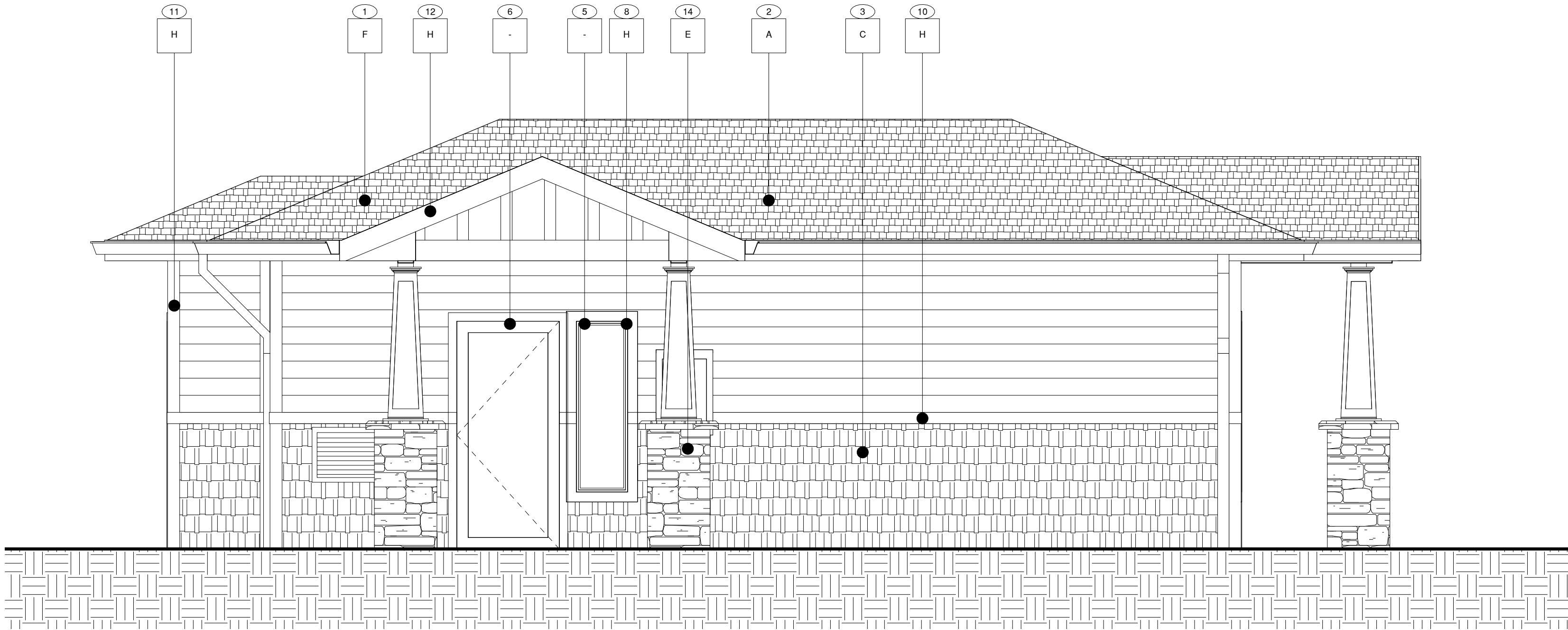
EMOORE, CA

CINNAMON VILLAS PHASE II

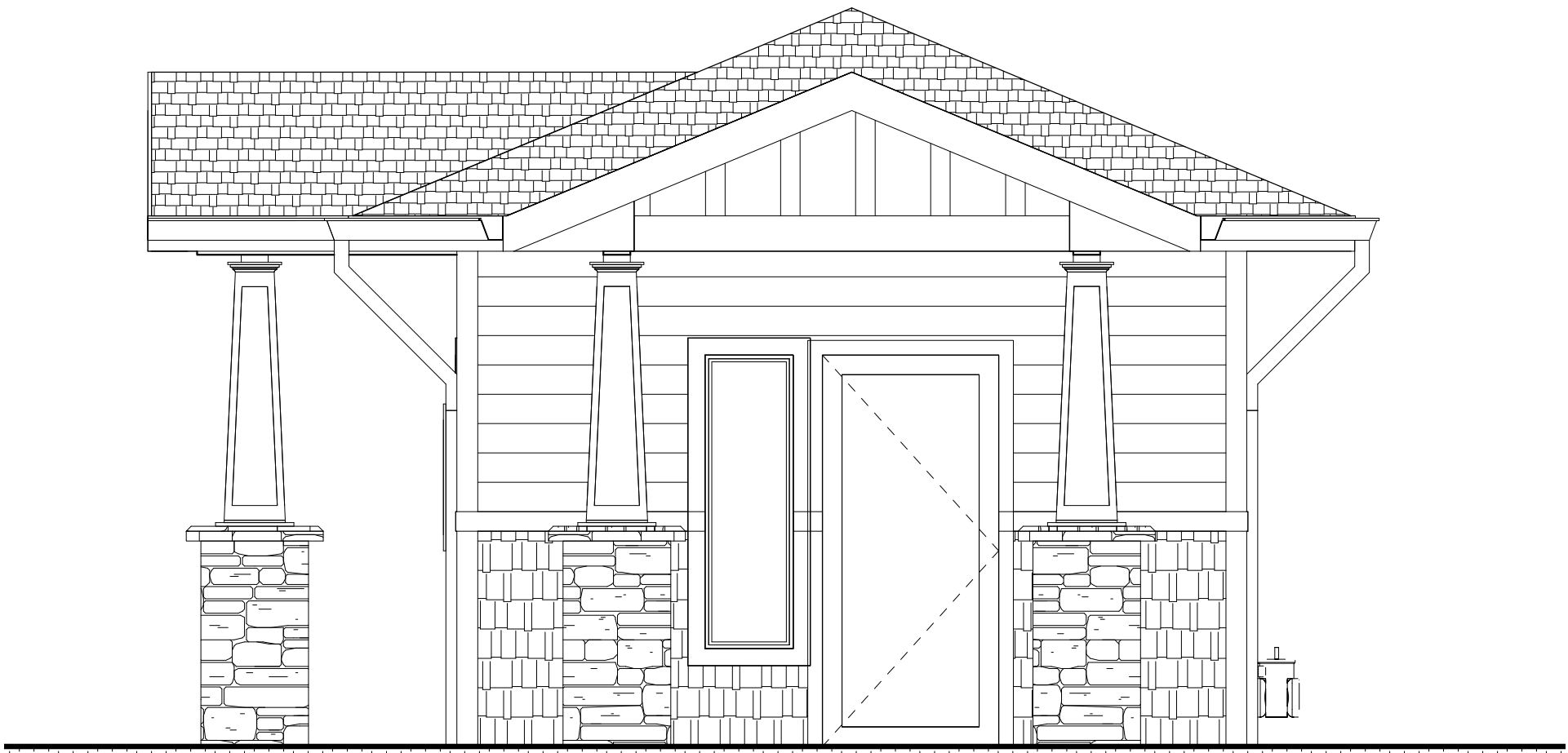
SEC CINNAMON DRIVE & FOLLETT STREET

SCHEMATIC SET / NOT FOR CONSTRUCTION

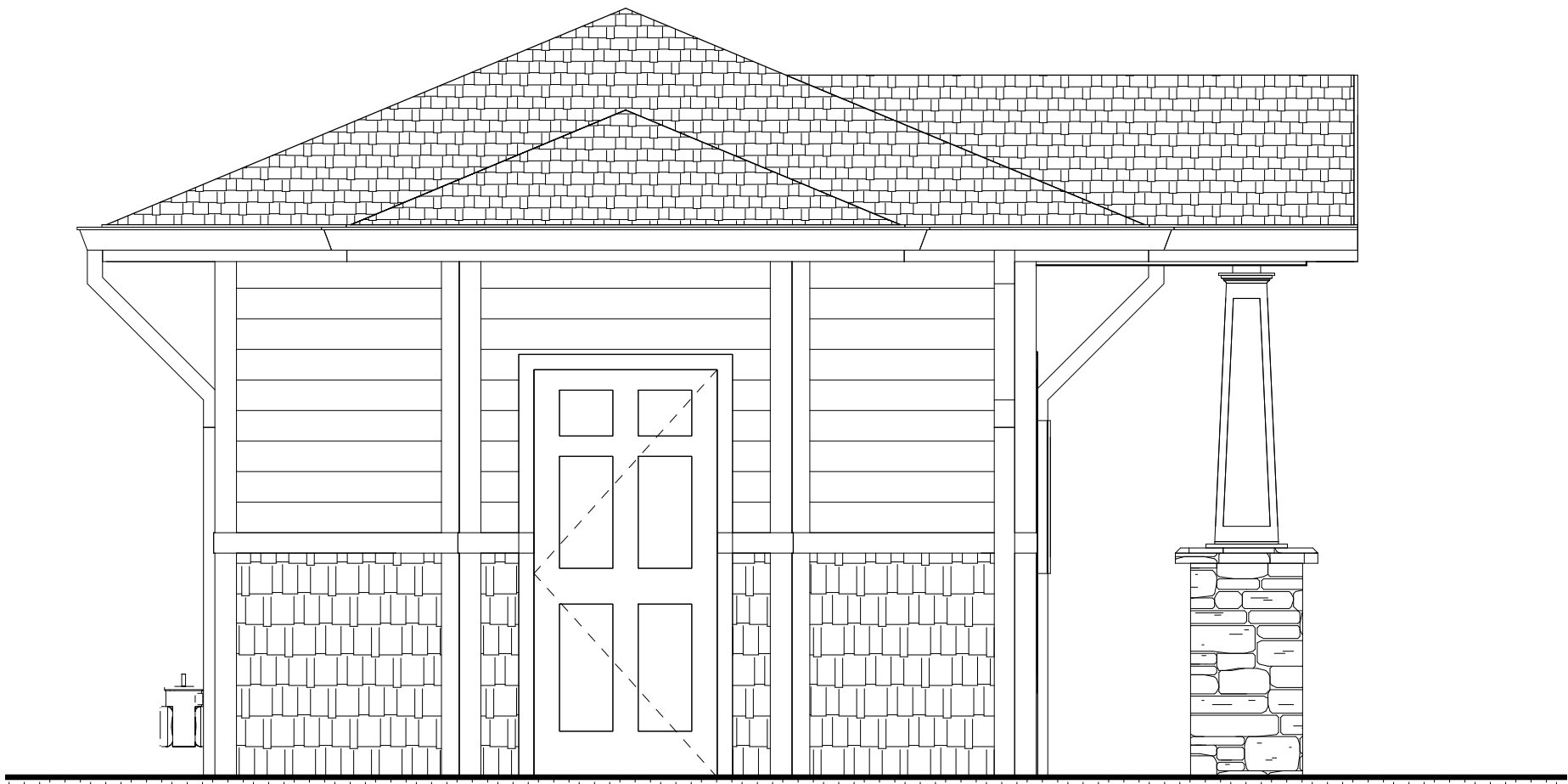
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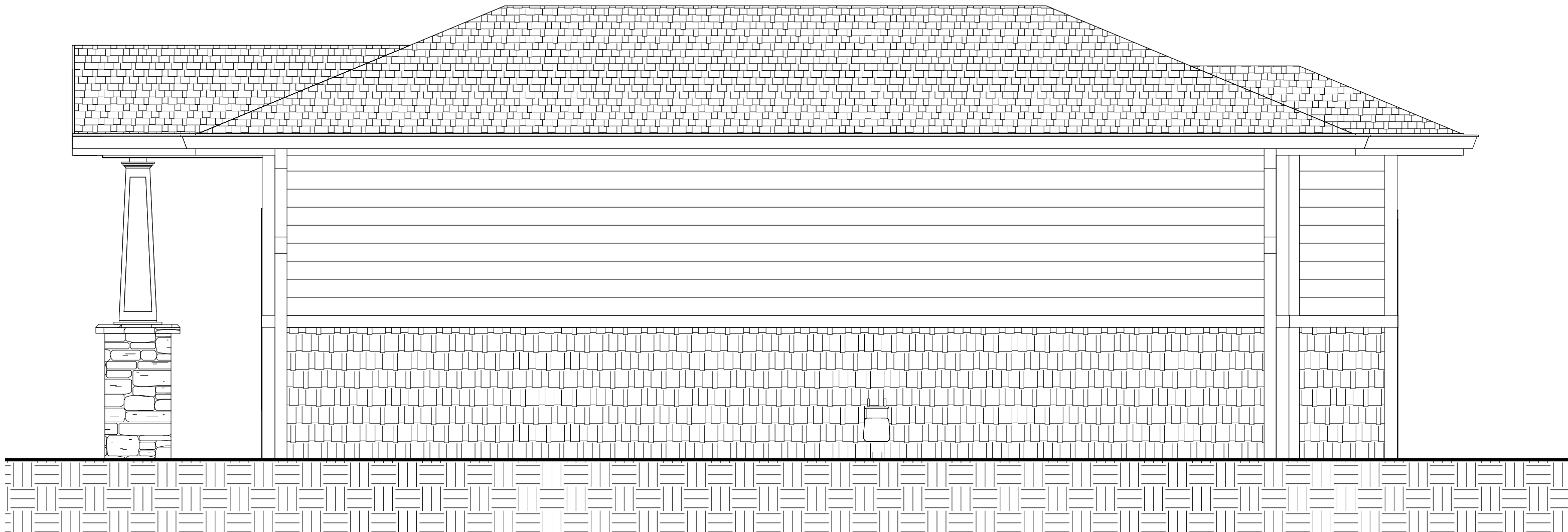
2 LAUNDRY BUILDING - ELEVATION 2
3/8" = 1'-0"



1 LAUNDRY BUILDING - ELEVATION 1
3/8" = 1'-0"



3 LAUNDRY BUILDING - ELEVATION 3
3/8" = 1'-0"



4 LAUNDRY BUILDING - ELEVATION 4
3/8" = 1'-0"

GENERAL NOTES

- SEE BUILDING SECTIONS AND STRUCTURAL SERIES FOR PLATE HEIGHTS.
- ELEVATION (0'-0") IS FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ACTUAL FLOOR ELEVATIONS.
- SEE ROOF PLANS FOR ATTIC VENTILATION REQUIREMENTS, SLOPES, AND OVERBUILD AREAS.
- SEE STRUCTURAL DRAWINGS FOR FRAMING AND FOUNDATION PLANS/ DETAILS.
- SEE CIVIL, PLUMBING, ELECTRICAL, AND JOINT TRENCH DRAWINGS FOR LOCATIONS OF EXTERIOR MOUNTED UTILITIES AND METER BANKS.
- SEE SPECIFICATIONS FOR APPROVED MANUFACTURERS. NO SUBSTITUTIONS ALLOWED W/ OUT PRIOR APPROVAL BY ARCHITECT OR ENGINEER OF RECORD.
- GENERAL CONTRACTOR TO COORDINATE LOCATIONS OF ALL WINDOWS, VENTS, UTILITY METERS, AND EXTERIOR FINISHES WITH OWNER DESIGNATED THIRD-PARTY SUBCONTRACTOR FOR SOLAR GENERATION ENERGY SYSTEM.
- ALL GALVANIZED IRON CAPS AT HALF-WALLS AND COUNTER FLASHING TRIM AT PATIOS SHALL BE PAINTED TO MATCH ACCENT COLOR NOTED.
- ALL EXPOSED ROOF TOP PENETRATIONS, INCLUDING, BUT NOT LIMITED TO VENT STACKS FOR SEWER, ATTIC VENTS, AND EXHAUST GAS HOUSING SHALL BE PAINTED IN THE FIELD TO MATCH ADJACENT MAIN FIELD COLOR OF COMPOSITION SHINGLES.
- EXTERIOR UTILITY ENCLOSURE CABINETS TO BE PER LOCAL UTILITY PROVIDER'S SPECIFICATIONS FOR SIZE, ORIENTATION, AND INSTALLATION REQUIREMENTS. PROVIDE FINISH AT ENCLOSURE TO MATCH ADJACENT SIDING. COORDINATE LOCATIONS TO NOT ACCESS PATHS AND PADS WITH CIVIL AND LANDSCAPE DRAWING SERIES.

KEY NOTES

- 30 YEAR TYPE 'A' COMPOSITE SHINGLE, TYP.
- PRODIGY HORIZONTAL VINYL SIDING OR APPROVED EQUAL.
- AL SIDE PRODIGY SHINGLE/ SHAKE STYLE VINYL SIDING OR APPROVED EQUAL.
- CEMENT STUCCO SYSTEM. TEXTURE HEAVY DASH.
- WHITE VINYL WINDOWS. SEE FLOOR PLANS, WINDOW SCHEDULE, AND SPECIFICATIONS.
- EXTERIOR DOOR. SEE FLOOR PLANS, DOOR SCHEDULE, AND SPECIFICATIONS. PAINT AS NOTED.
- DOOR/WINDOW TRIM. PAINT AS NOTED.
- PRE-FINISHED METAL GUTTER. SEE ROOF PLAN FOR EXTENT. COLOR AS NOTED. DOWNSPOUT TO MATCH.
- RAISED STUCCO BANDS. COLOR SHOWN.
- 2x HORIZONTAL TRIM BY FRAMER W/ METAL WRAP. ALIGN TRIM AS SHOWN.
- 4" VERTICAL TRIM. TYP.
- METAL WRAP AT 1x FINISH FASCIA. SEE DETAILS.
- ARCHITECTURAL GABLE END VENT. PAINT AS NOTED. SEE ROOF PLANS.
- CULTURED STONE. SET IN MORTAR BED WITH FLASHING AND WEEP SCREED. SEE SPECIFICATIONS.
- PAINTED METAL HANDRAIL.
- MOSAIC CERAMIC TILE AT EXTERIOR SHOWER ENCLOSURE.
- SECTIONAL OVERHEAD GARAGE DOOR.
- GAS METER. WINDOW OPENINGS MUST BE A MINIMUM OF 3'-0" FROM GAS METERS. SEE MEP SHEETS FOR INFORMATION.
- CONDENSER UNIT. SEE MEP PLANS FOR INFORMATION.
- ELECTRICAL PANEL. SEE MEP SHEETS FOR INFORMATION. PAINT TO MATCH ADJACENT SIDING COLOR.

MATERIAL FINISHES TYPE 2: BLDG. TYPES B, D, & COMMUNITY BLDG.

- | | |
|---|---|
| A | PRODIGY "VINTAGE WICKER" OR EQUAL |
| B | HEAVY DASH. COLOR TO MATCH COLORTEK "GREAT WALL" |
| C | ALSIDE SHAKE #995 OR EQUAL |
| D | COLOR TO MATCH ALSIDE "ADOBE CREAM" |
| E | OWNES CORNING DRYSTACK LEDGESTONE "CHARDONNAY" |
| F | GAFELX "WEATHERED WOOD" OR EQUAL |
| G | VENT, GUTTER, AND DOWNSPOUT TO MATCH ALSIDE "GLACIER WHITE" |
| H | METAL FASCIA WRAP TO MATCH ALSIDE "ADOBE CREAM" |

NOTE:
SOFFIT (NOT SHOWN) COLOR TO MATCH ALSIDE "ADOBE CREAM"
ALL VENT TERMINATIONS AND OTHER EXTERNAL UTILITY EQUIPMENT
TO BE PAINTED TO MATCH THE ADJACENT WALL SURFACE.

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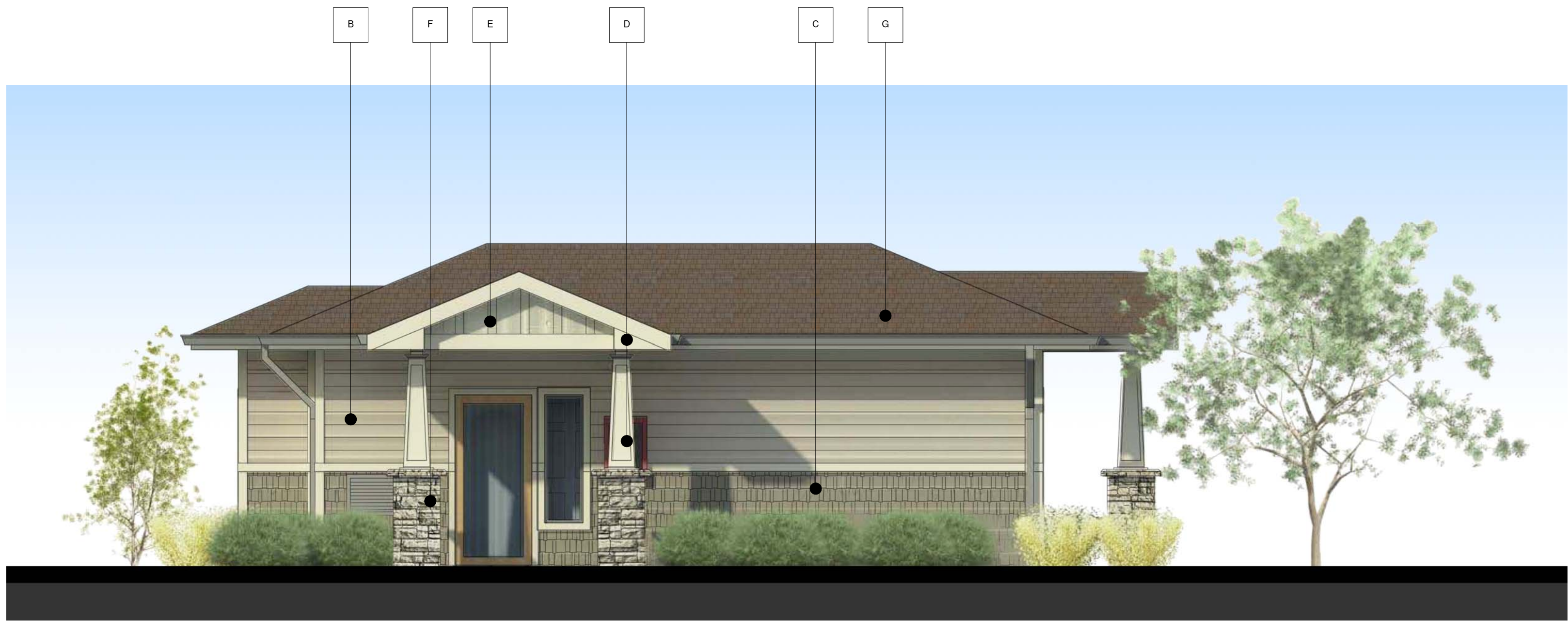
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CINNAMON VILLAS PHASE II

SEC CINNAMON DRIVE & FOLLETT STREET
LEMOORE, CA

_A4.1

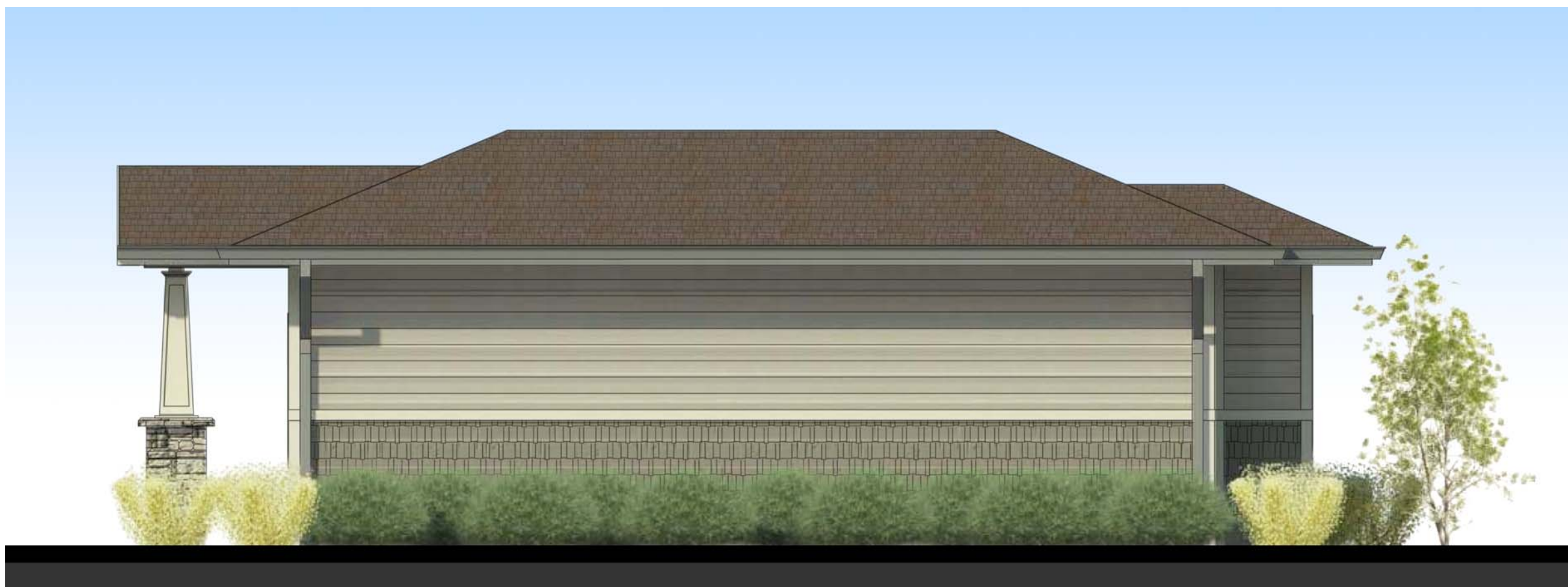
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① LAUNDRY ROOM - ELEVATION 1
N.T.S.



④ LAUNDRY ROOM - ELEVATION 4
N.T.S.



③ LAUNDRY ROOM - ELEVATION 3
N.T.S.



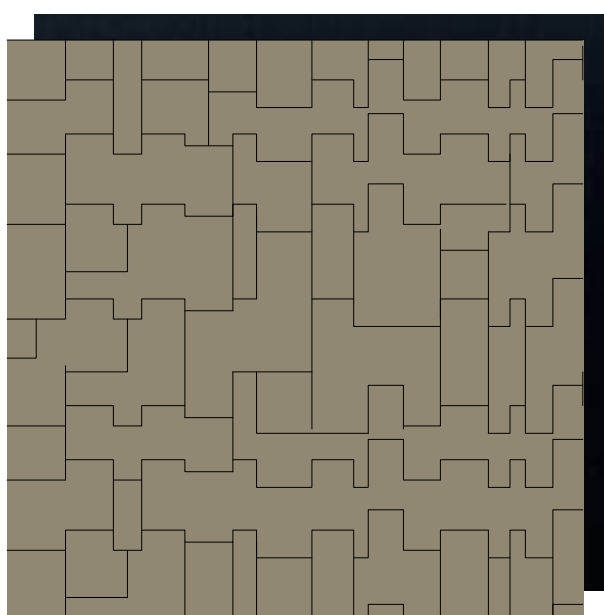
② LAUNDRY ROOM - ELEVATION 2
N.T.S.



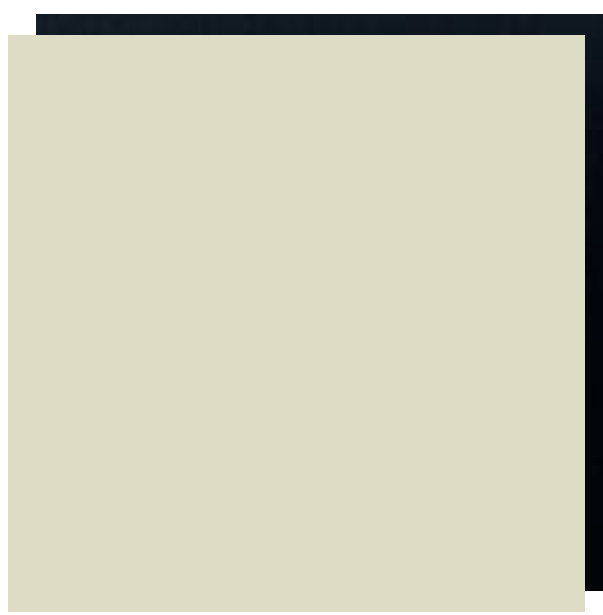
A STUCCO SIDING
COLOR TO MATCH COLORTEK "GREAT WALL"



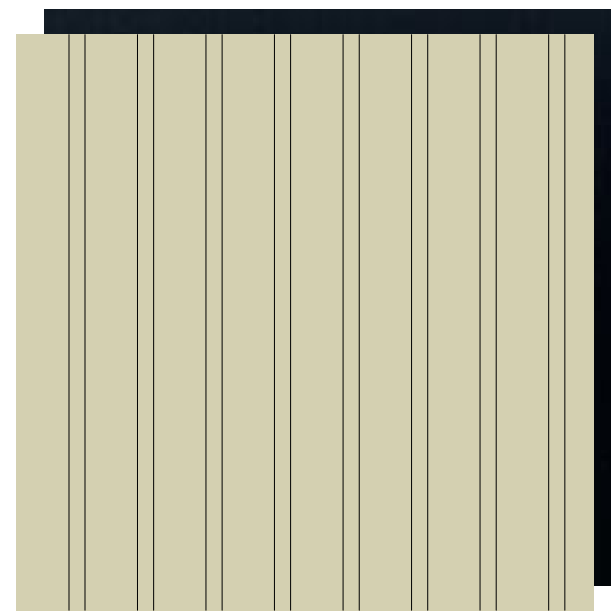
B HORIZONTAL SIDING
COLOR TO MATCH PRODIGY "VINTAGE WICKER"
OR EQUAL



C SHAKE SIDING
COLOR TO MATCH ALSIDE SHAKE #095



D VENTS, BELLY BANDS,
WINDOW AND DOOR TRIM
COLOR TO MATCH ALSIDE "ADOBE CREAM"



E HORIZONTAL SIDING
COLOR TO MATCH PRODIGY "COLONIAL IVORY" OR
EQUAL



F BRICK VENEER
COLOR TO MATCH COLOR TO MATCH OWNES
CORNING DRYSTACK "CHARDONNAY" OR EQUAL



G ASPHALT SHINGLES
COLOR TO MATCH COLOR TO MATCH GAFELK
WEATHERED WOOD OR EQUAL

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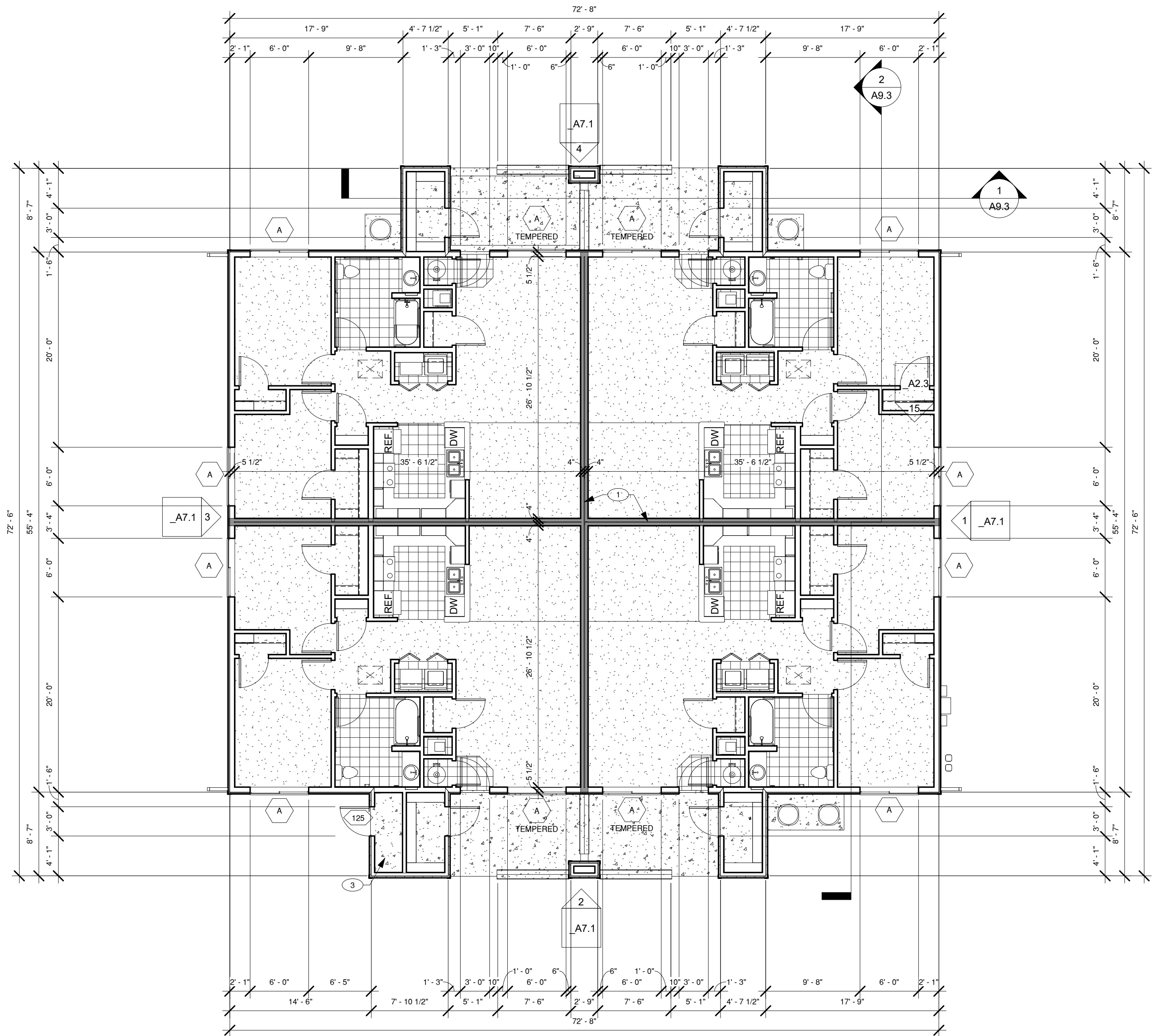
PROJECT

CINNAMON VILLAS PHASE II

SEC CINNAMON DRIVE & FOLLETT STREET
LEMOORE, CA

_A5.1

SCHEMATIC SET / NOT FOR CONSTRUCTION



1 BLDG. B - 1ST FLOOR PLAN
1/8" = 1'-0"

- GENERAL NOTES**
- A. REFER TO SHEETS A2.1 - A2.6 FOR DETAILED FLOOR PLANS FOR TYPICAL UNIT TYPES.

B. REFER TO STRUCTURAL DRAWINGS SERIES FOR ADDITIONAL INFORMATION.

C. PROVIDE FULL WALL BATT INSULATION ISOLATING BEDROOMS FROM ALL ADJACENT SPACES, PROVIDE ALSO AT RESTROOM WALLS.

D. DRAFTSTOP PER 2010 CBC SECTION 717.4 - SEE STRUCTURAL DETAIL. SIM. CONDITION AT SHEARWALL. MIN. MATERIAL THICKNESS PER 2010 CBC 717.3.1. RE: ROOF PLANS.

E. PROVIDE FIRE BLOCKING IN CONCEALED SPACES, STUD WALLS AT THE CEILING AND FLOOR LEVELS, AND AT 10'-0" INTERVALS BOTH VERTICAL AND HORIZONTAL.

F. PROVIDE BACKING FOR FUTURE GRAB BARS IN ALL RESTROOMS AT ALL GROUND FLOOR UNITS AS PER HUD FAIR HOUSING GUIDELINES.

G. REFER TO ARCHITECTURAL SITE PLAN FOR EXTERIOR AMENITIES, PATIO SPECIFICATIONS, AND APPURTENANCES.

H. SEE DETAIL SHEET FOR MORE INFORMATION AND BUILDING DETAILS.

I. ALL WALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.

J. VERIFY DIMENSIONS OF ALL FIXTURES AND EQUIPMENT PROVIDED BY OWNER OR OWNER'S AGENTS.

K. SEE ELECTRICAL SERIES FOR LOCATION OF ALL ELECTRICAL PANELS.

L. PROVIDE BLOCKING AT ALL HAND RAILS, GRAB BARS, AND RELATED ASSEMBLIES AS INDICATED.

M. ALL AREAS RECEIVING GYP. BOARD ARE TO BE TAPED AND RECEIVE FINISH AS NOTED ON FINISH SCHEDULE AND/ OR SPECIFICATIONS.

N. SEE SPECIFICATION SECTIONS 11 30 00 FOR CONTRACTOR PROVIDED RESIDENTIAL EQUIPMENT. VERIFY WITH PLUMBING & ELECTRICAL DRAWING SERIES PRESENCE OF GAS AND POWER FOR APPLIANCES.

O. GENERAL CONTRACTOR TO INSTALL FIRE EXTINGUISHER(S) & CABINET(S) PER LOCAL FIRE DEPARTMENT REGULATIONS. GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTACTING LOCAL FIRE DEPARTMENT FOR REQUIREMENTS. CABINETS TO BE RECESSED AND ESTABLISHED AT HEIGHTS CONSISTENT WITH INTENDED USES.

P. G.C. TO INSTALL PORTABLE FIRE EXTINGUISHERS PER 2010 CBC. SECTION 906.1.

Q. ADDRESS AND BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY. 2010 CBC. SECTION 1117B.5.4. G.C. TO COORDINATE LOCATION AND NUMBERS WITH ALL LOCAL JURISDICTIONAL AUTHORITIES. MOUNTING HEIGHT AND ORIENTATION SHALL BE CONFIRMED WITH LOCAL JURISDICTIONAL AUTHORITIES.

R. AT ALL SHOWERS, CAULK ENTIRE EDGE AROUND TUB. SHOWER PRIOR TO PAINT FOR WATER PROOF CONSTRUCTION. INSTALL TOP SET BASE AT VINYL FLOORING PER SPECIFICATIONS.

S. AT ALL SINKS, SEALANT/ TYP. BOARD PATCH FOR FINISHED APPEARANCE AT ALL PLUMBING PENETRATIONS BENEATH SINKS.

AT ALL PLATES INSTALL SWELLSTOP WATERSTOP 1" x 3/4" SILL PLATE SEALANT SEAL ALL PENETRATIONS IN BUILDING ENVELOPE PER CALIFORNIA TITLE 24 REQUIREMENTS.

SEE ROOF PLANS FOR LOCATIONS & SPECIFICATIONS ON ATTIC ACCESS PANELS. COORDINATE LOCATIONS W/ ROOF TRUSSES. WHERE ATTIC ACCESS IS TO BE INSTALLED IN 1-HOUR CEILING PROVIDE RATED ASSEMBLY.

SEE UNIT PLANS FOR DROPPED CEILING LOCATIONS.

THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 3/4" IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 1/2" FOR OTHER DOORS PER CBC 2010 1008.1.7.

ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF POTENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

- KEY NOTES**
1. 1-HOUR UNIT SEPARATION WALL PER 2010 CBC 709.1. SEE DETAIL 11/A10.1.

2. DROPPED CEILING, AREAS TO BE A MIN. HEIGHT OF 7'-6" A.F.F. MIN. HEIGHT IS FINISHED SURFACE TO FINISHED SURFACE. SEE DETAIL 5/A10.1.

3. FIRE SPRINKLER CLOSET.

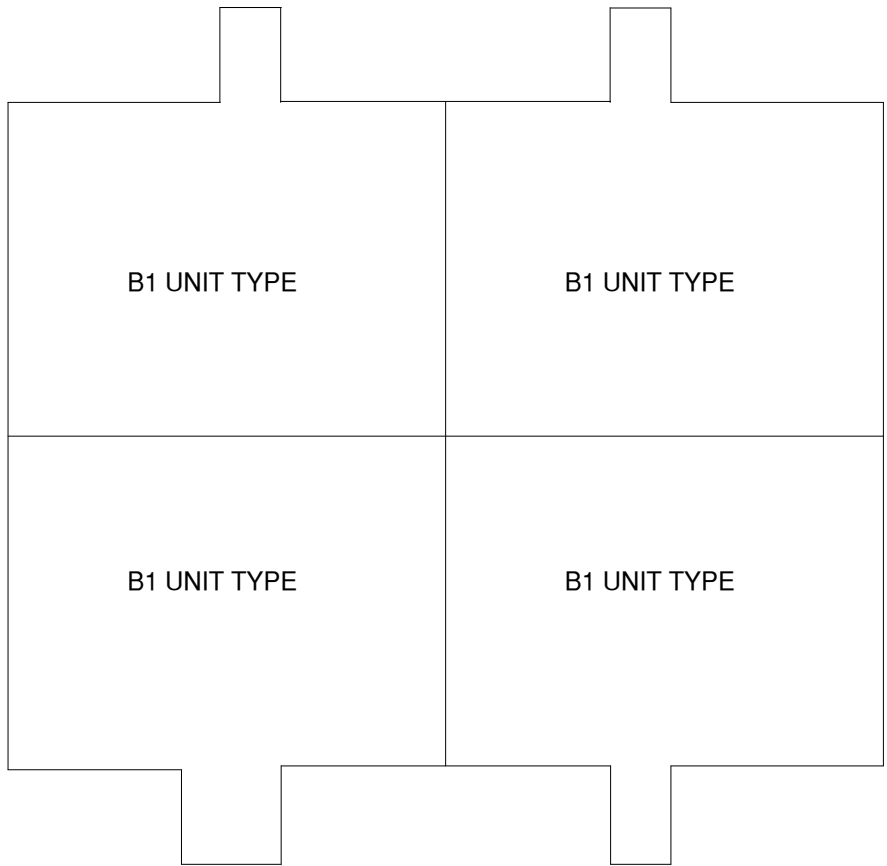
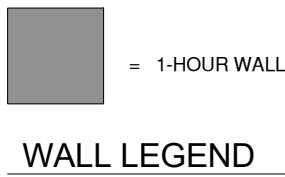
4. PRE-MANUFACTURED METAL STAIRS W/ CONCRETE TREADS.

5. EXTEND GYP. BOARD BEHIND SHOWER/ TUB AT 1-HOUR WALL TO MAINTAIN 1-HOUR RATING.

6. 1-HOUR WALL. SEE DETAIL 6/A10.2.

7. ELEVATOR, SEE DEFERRED SUBMITTALS ON T1.1 AND DETAIL 1/A10.3.

8. 1-HOUR CORRIDOR WALL. SEE DETAIL 10/A10.2.



BLDG. B - UNIT LEGEND

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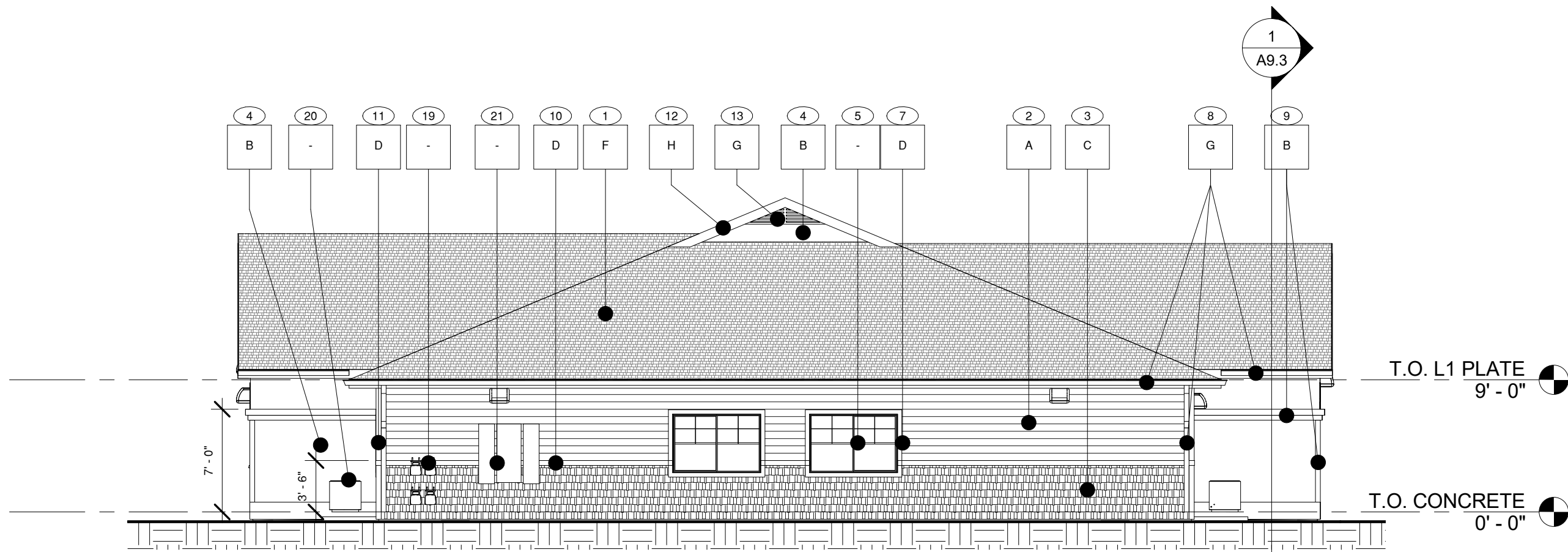
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LEMOORE, CA

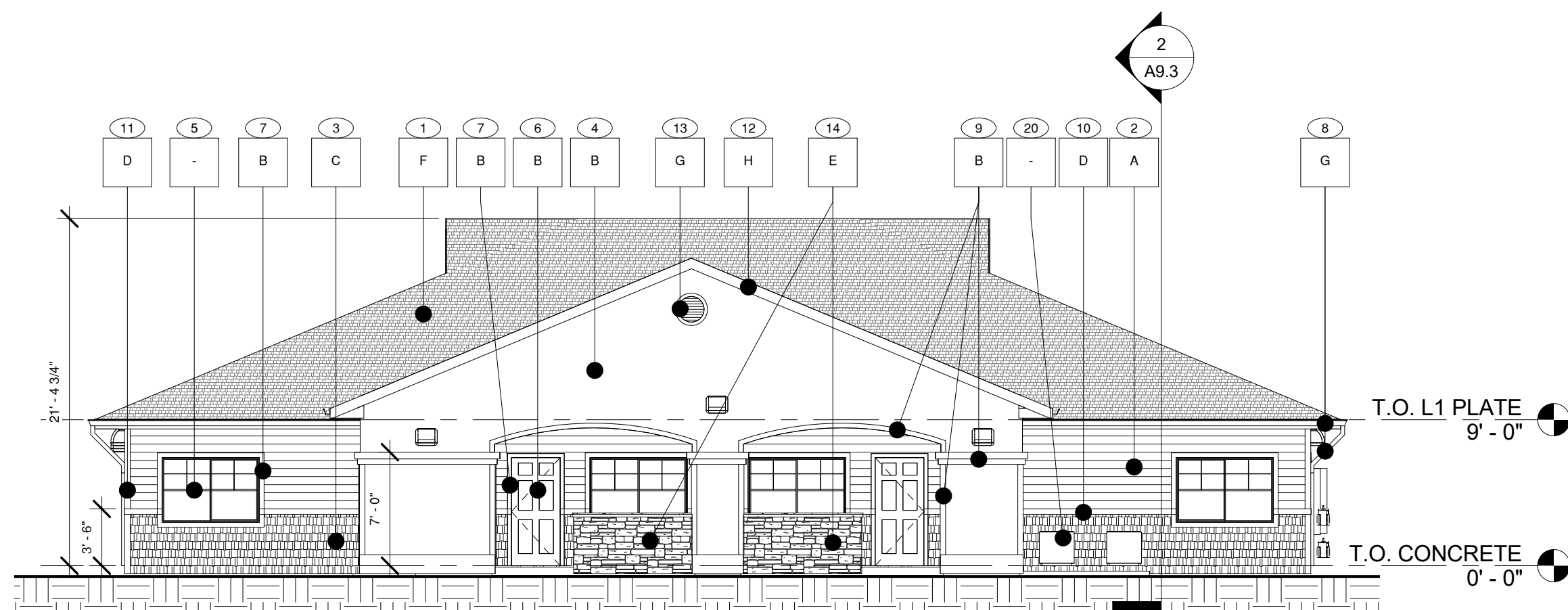
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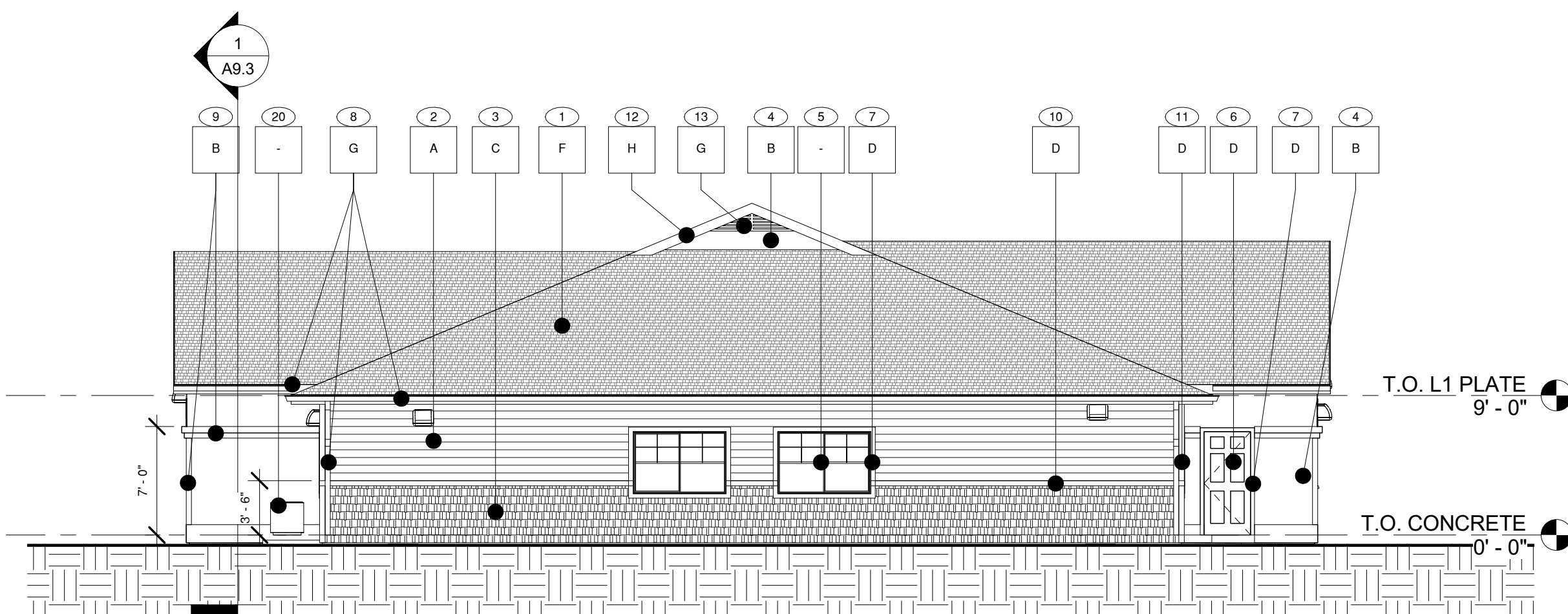
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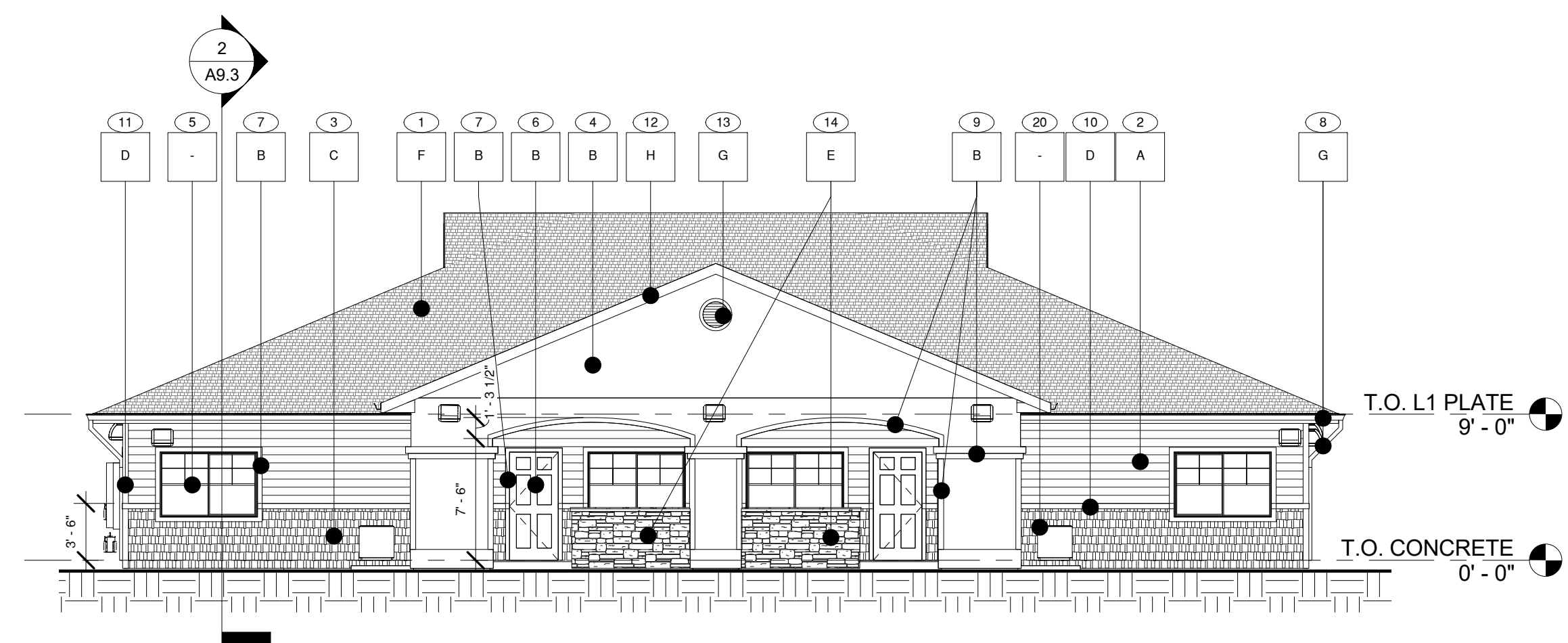
1 BLDG. B - RIGHT ELEVATION
1/8" = 1'-0"



2 BLDG. B - REAR ELEVATION
1/8" = 1'-0"



3 BLDG. B - LEFT ELEVATION
1/8" = 1'-0"



4 BLDG. B - FRONT ELEVATION
1/8" = 1'-0"

- GENERAL NOTES**
- SEE BUILDING SECTIONS AND STRUCTURAL SERIES FOR PLATE HEIGHTS.
 - ELEVATION (0'-0") IS FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ACTUAL FLOOR ELEVATIONS.
 - SEE ROOF PLANS FOR ATTIC VENTILATION REQUIREMENTS, SLOPES, AND OVERBUILD AREAS.
 - SEE STRUCTURAL DRAWINGS FOR FRAMING AND FOUNDATION PLANS/ DETAILS.
 - SEE CIVIL, PLUMBING, ELECTRICAL AND JOINT TRENCH DRAWINGS FOR LOCATIONS OF EXTERIOR MOUNTED UTILITIES AND METER BANKS.
 - SEE SPECIFICATIONS FOR APPROVED MANUFACTURERS. NO SUBSTITUTIONS ALLOWED W/ OUT PRIOR APPROVAL BY ARCHITECT OR ENGINEER OF RECORD.
 - GENERAL CONTRACTOR TO COORDINATE LOCATIONS OF ALL WINDOWS, VENTS, UTILITY METERS, AND EXTERIOR FINISHES WITH OWNER DESIGNATED THIRD-PARTY SUBCONTRACTOR FOR SOLAR GENERATION ENERGY SYSTEM.
 - ALL GALVANIZED IRON CAPS AT HALF-WALLS AND COUNTER FLASHING TRIM AT PATIOS SHALL BE PAINTED TO MATCH ACCENT COLOR NOTED.
 - ALL EXPOSED ROOF TOP PENETRATIONS, INCLUDING, BUT NOT LIMITED TO VENT STACKS FOR SEWER, ATTIC VENTS, AND EXHAUST GAS HOUSING SHALL BE PAINTED IN THE FIELD TO MATCH ADJACENT MAIN FIELD COLOR OF CONCRETE ROOFING.
 - EXTERIOR UTILITY ENCLOSURE CABINETS TO BE PER LOCAL UTILITY PROVIDER'S SPECIFICATIONS FOR SIZE, ORIENTATION, AND INSTALLATION REQUIREMENTS. PROVIDE FINISH AT ENCLOSURE TO MATCH ADJACENT SIDING. COORDINATE LOCATION OF ACCESS PATHS AND PADS WITH CIVIL AND LANDSCAPE DRAWING SERIES.
 - AT LOCATIONS OF ELECTRICAL PANEL INSTALLATION AT EXTERIOR STUCCO, PROVIDE COUNTER FLASHING AND EXPOSED SUBSTRATE PER MFR. RECOMMENDATIONS.

- KEY NOTES**
- 30 YEAR TYPE 'A' COMPOSITE SHINGLE, TYP.
 - PRODIGY HORIZONTAL VINYL SIDING OR APPROVED EQUAL.
 - AL SIDE PRODIGY SHINGLE/ SHAKE STYLE VINYL SIDING OR APPROVED EQUAL.
 - CEMENT STUCCO SYSTEM. TEXTURE HEAVY DASH.
 - WHITE VINYL WINDOWS. SEE FLOOR PLANS, WINDOW SCHEDULE, AND SPECIFICATIONS.
 - EXTERIOR DOOR. SEE FLOOR PLANS, DOOR SCHEDULE, AND SPECIFICATIONS. PAINT AS NOTED.
 - DOOR/WINDOW TRIM. PAINT AS NOTED.
 - PREFINISHED METAL GUTTER. SEE ROOF PLAN FOR EXTENT. COLOR AS NOTED. DOWNSPOUT TO MATCH.
 - RAISED STUCCO BANDS. COLOR SHOWN.
 - 2x HORIZONTAL TRIM BY FRAMER W/ METAL WRAP. ALIGN TRIM AS SHOWN.
 - 4" VERTICAL TRIM. TYP.
 - METAL WRAP AT 1x FINISH FASCIA. SEE DETAILS.
 - ARCHITECTURAL GABLE END VENT. PAINT AS NOTED. SEE ROOF PLANS.
 - CULTURED STONE. SET IN MORTAR BED WITH FLASHING AND WEEP SCREED. SEE SPECIFICATIONS.
 - PAINTED METAL HANDRAIL.
 - 6" EXPOSED REVEAL COUNTER FLASHING BETWEEN ROOF AND ADJACENT SIDING. PAINT TO MATCH ADJACENT SIDING.
 - MOSAIC CERAMIC TILE AT EXTERIOR SHOWER ENCLOSURE.
 - SECTIONAL OVERHEAD GARAGE DOOR.
 - GAS METER. WINDOW OPENINGS MUST BE A MINIMUM OF 3'-0" FROM GAS METERS. SEE MEP SHEETS FOR INFORMATION.
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- MATERIAL FINISHES TYPE 2:
BLDG. TYPES B, D, & COMMUNITY BLDG.**
- | | |
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| C | ALSIDE SHAKE #095 OR EQUAL |
| D | COLOR TO MATCH ALSIDE "ADOBE CREAM" |
| E | OWNES CORNING DRYSTACK LEDGESTONE "CHARDONNAY" |
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- NOTE:
SOFFIT (NOT SHOWN) COLOR TO MATCH ALSIDE "ADOBE CREAM"
- ALL VENT TERMINATIONS AND OTHER EXTERNAL UTILITY EQUIPMENT TO BE PAINTED TO MATCH THE ADJACENT WALL SURFACE.

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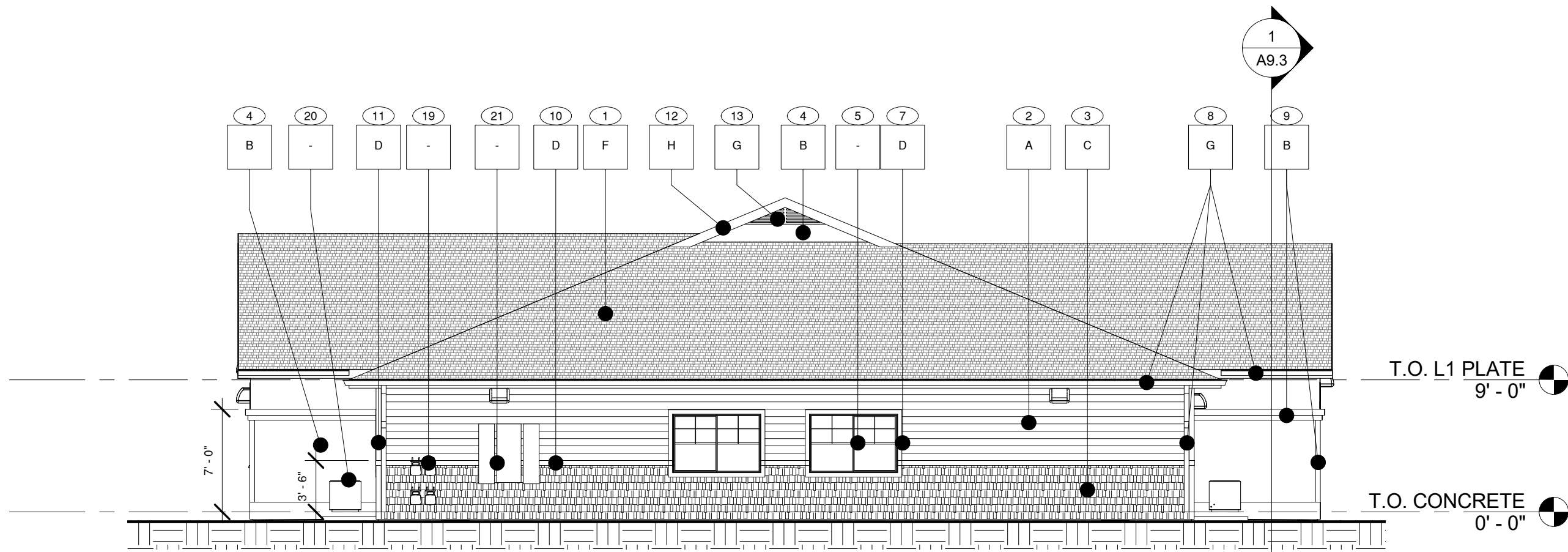
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CINNAMON VILLAS PHASE II

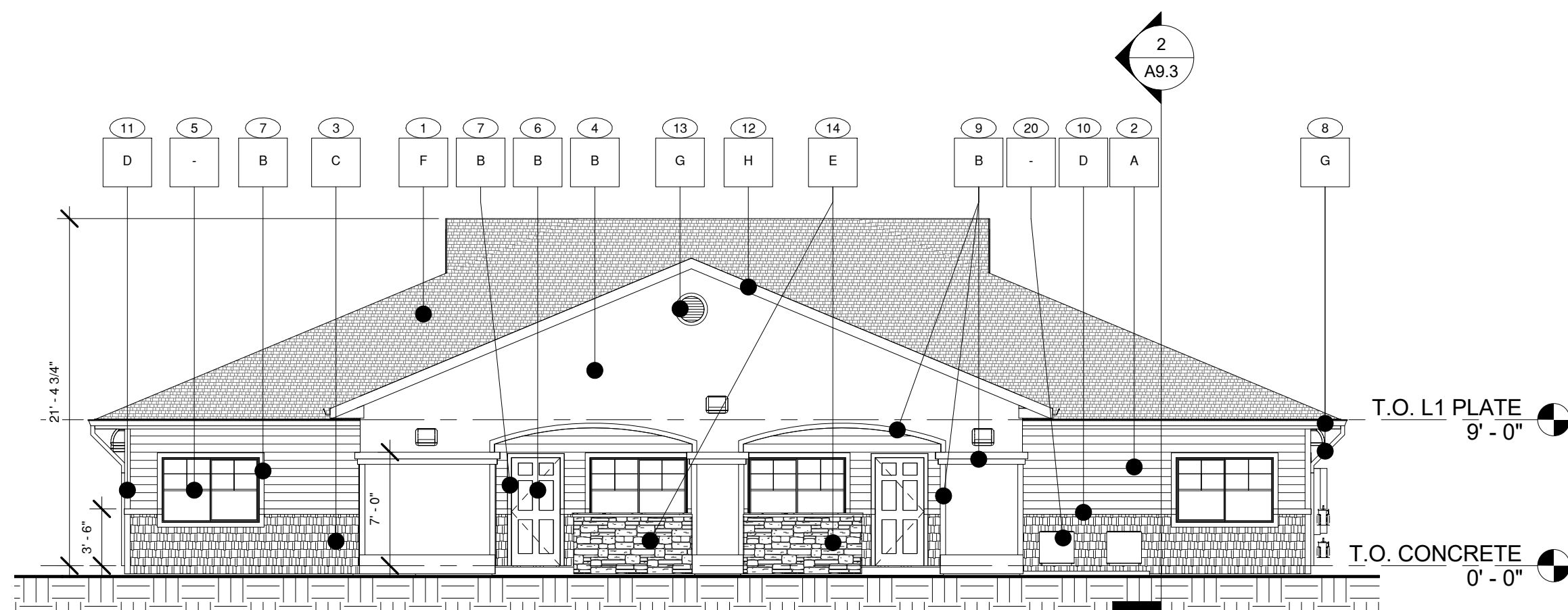
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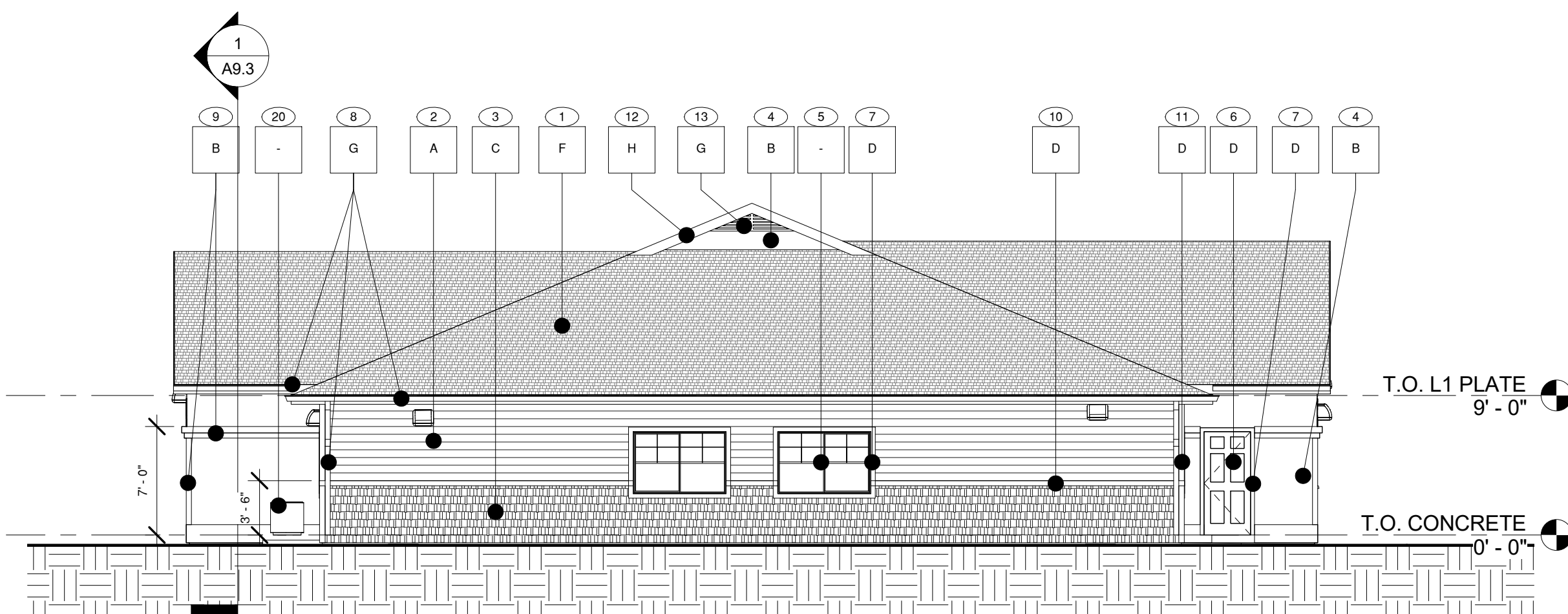
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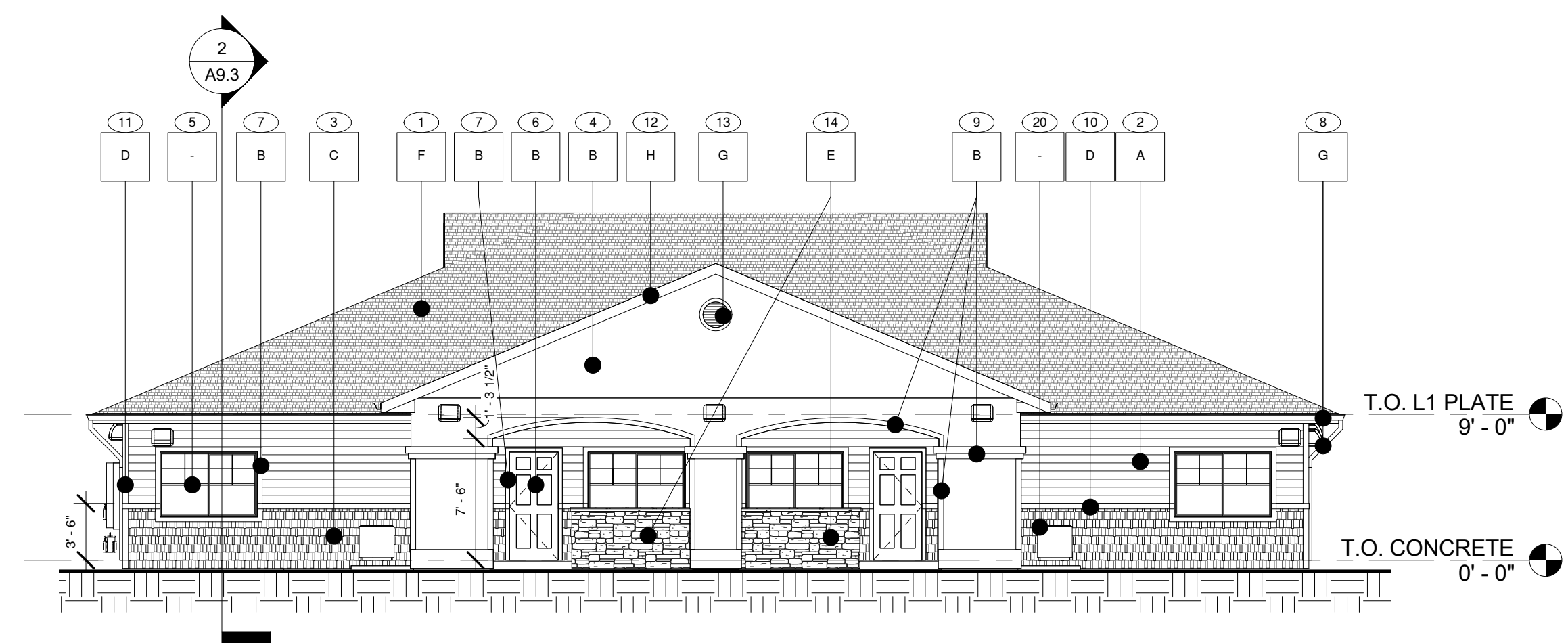
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SEC CINNAMON DRIVE & FOLLETT STREET
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2 BLDG. B - ELEVATION 2
N.T.S.



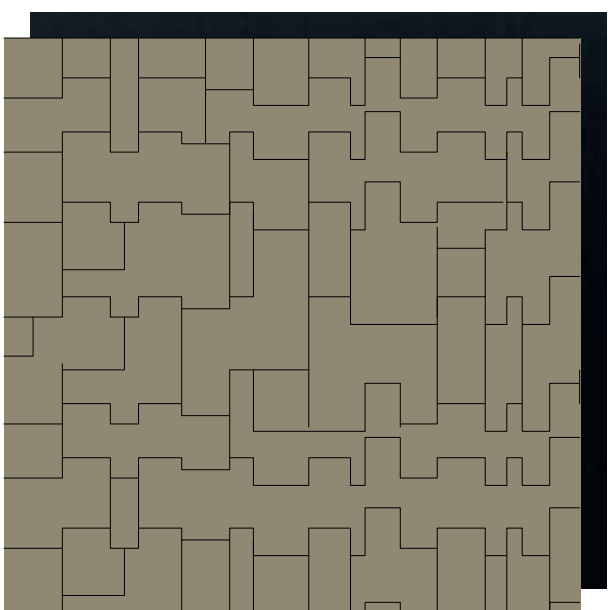
1 BLDG. B - ELEVATION 1
N.T.S.



A STUCCO SIDING
COLOR TO MATCH COLORTEK "GREAT WALL"



B HORIZONTAL SIDING
COLOR TO MATCH PRODIGY "VINTAGE WICKER"
OR EQUAL



C SHAKE SIDING
COLOR TO MATCH ALSIDE SHAKE #095



D VENTS, BELLY BANDS,
WINDOW AND DOOR TRIM
COLOR TO MATCH ALSIDE "ADOBE CREAM"



E BRICK VENEER
COLOR TO MATCH COLOR TO MATCH OWINES
CORNING DRYSTACK "CHARDONNAY" OR EQUAL



F ASPHALT SHINGLES
COLOR TO MATCH COLOR TO MATCH GAFFEL*
WEATHERED WOOD* OR EQUAL

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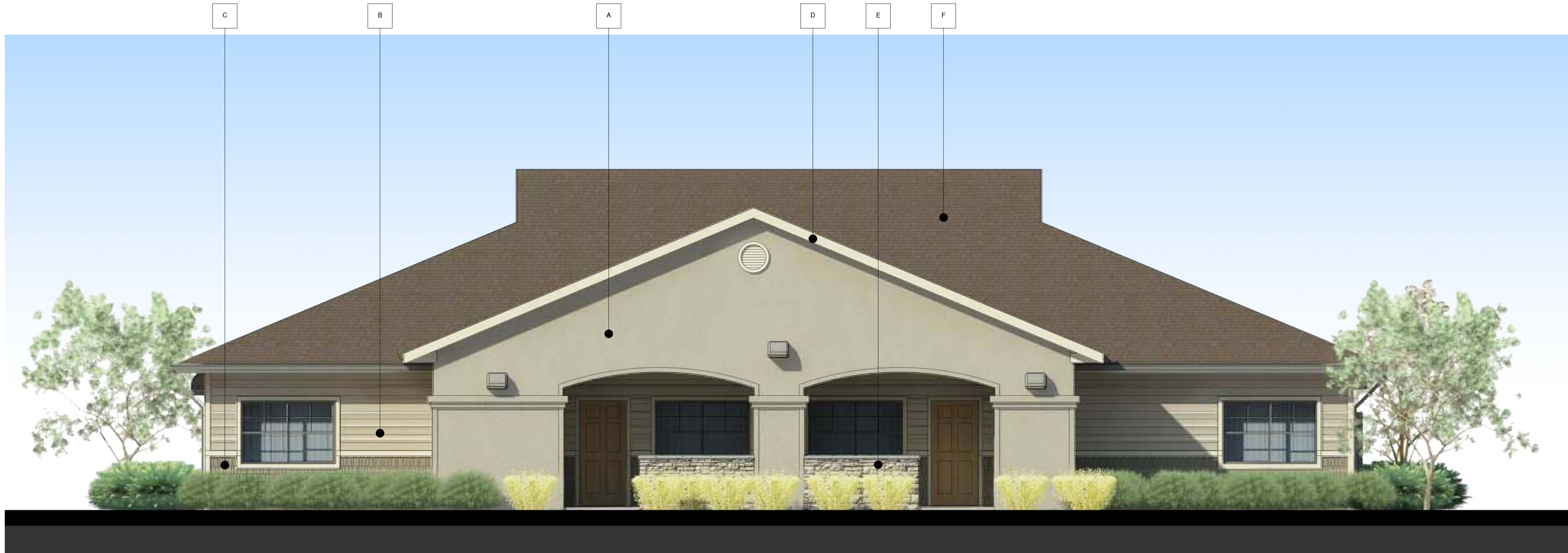
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_A8.1

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② BLDG. B - ELEVATION 4
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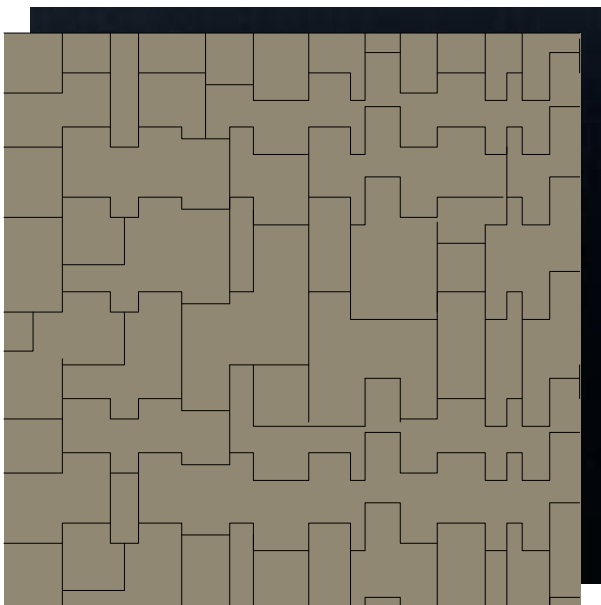
① BLDG. B - ELEVATION 3
N.T.S.



A STUCCO SIDING
COLOR TO MATCH COLORTEK "GREAT WALL"



B HORIZONTAL SIDING
COLOR TO MATCH PRODIGY "VINTAGE WICKER"
OR EQUAL



C SHAKE SIDING
COLOR TO MATCH ALSIDE SHAKE #095



D VENTS, BELLY BANDS,
WINDOW AND DOOR TRIM
COLOR TO MATCH ALSIDE "ADOBE CREAM"



E BRICK VENEER
COLOR TO MATCH COLOR TO MATCH OWINES
CORNING DRYSTACK "CHARDONNAY" OR EQUAL



F ASPHALT SHINGLES
COLOR TO MATCH COLOR TO MATCH GAFFEL*
WEATHERED WOOD* OR EQUAL

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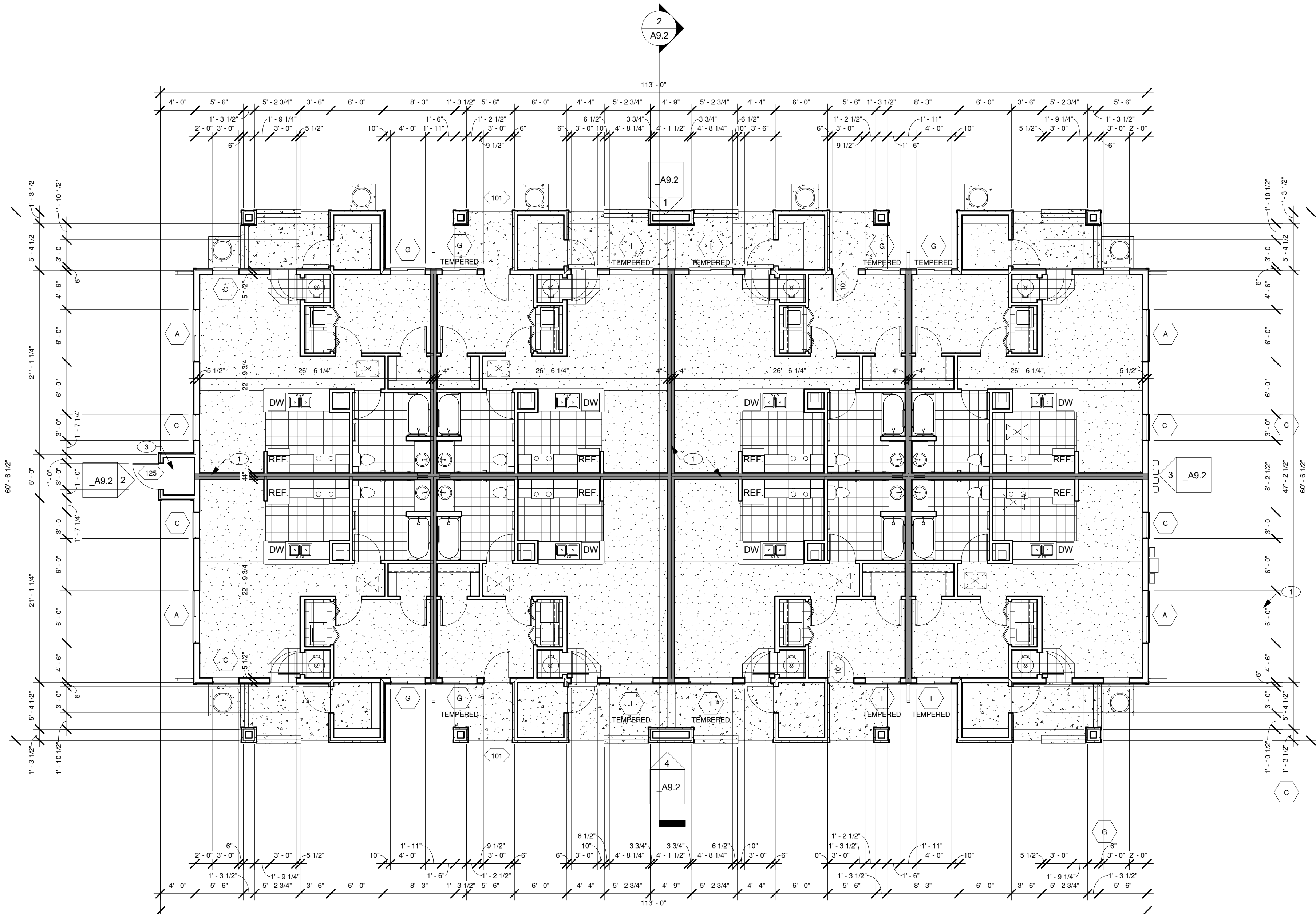
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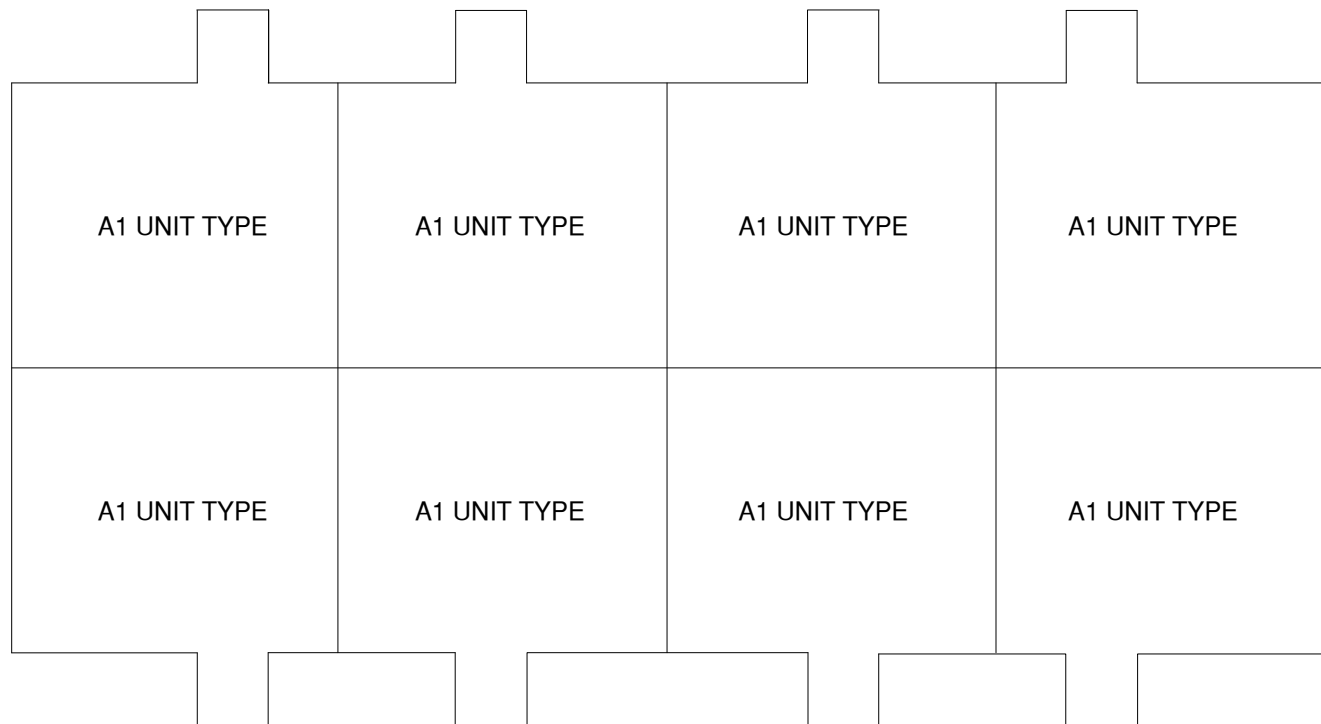
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_A8.2



1 BLDG. C - 1ST FLOOR PLAN
1/8" = 1'-0"

2 BLDG. C - UNIT LEGEND
1/16" = 1'-0"



1-HOUR WALL
WALL LEGEND

GENERAL NOTES

- REFER TO SHEETS A2.1 - A2.6 FOR DETAILED FLOOR PLANS FOR TYPICAL UNIT TYPES.
- REFER TO STRUCTURAL DRAWINGS SERIES FOR ADDITIONAL INFORMATION.
- PROVIDE FULL WALL BATT INSULATION ISOLATING BEDROOMS FROM ALL ADJACENT SPACES, PROVIDE ALSO AT RESTROOM WALLS.
- DRAFTSTOP PER 2010 CBC SECTION 717.4 - SEE STRUCTURAL DETAIL. SIM. CONDITION AT SHEARWALL. MIN. MATERIAL THICKNESS PER 2010 CBC 717.3.1. RE: ROOF PLANS.
- PROVIDE FIRE BLOCKING IN CONCEALED SPACES, STUD WALLS AT THE CEILING AND FLOOR LEVELS, AND AT 10'-0" INTERVALS BOTH VERTICAL AND HORIZONTAL.
- PROVIDE BACKING FOR FUTURE GRAB BARS IN ALL RESTROOMS AT ALL GROUND FLOOR UNITS AS PER HUD FAIR HOUSING GUIDELINES.
- REFER TO ARCHITECTURAL SITE PLAN FOR EXTERIOR AMENITIES, PATIO SPECIFICATIONS, AND APPURTENANCES.
- SEE DETAIL SHEET FOR MORE INFORMATION AND BUILDING DETAILS.
- ALL WALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.
- VERIFY DIMENSIONS OF ALL FIXTURES AND EQUIPMENT PROVIDED BY OWNER OR OWNER'S AGENTS.
- SEE ELECTRICAL SERIES FOR LOCATION OF ALL ELECTRICAL PANELS.
- PROVIDE BLOCKING AT ALL HAND RAILS, GRAB BARS, AND RELATED ASSEMBLIES AS INDICATED.
- ALL AREAS RECEIVING GYP. BOARD ARE TO BE TAPED AND RECEIVE FINISH AS NOTED ON FINISH SCHEDULE AND/OR SPECIFICATIONS.
- SEE SPECIFICATION SECTIONS 11 30 00 FOR CONTRACTOR PROVIDED RESIDENTIAL EQUIPMENT. VERIFY WITH PLUMBING & ELECTRICAL DRAWING SERIES PRESENCE OF GAS AND POWER FOR APPLIANCES.
- GENERAL CONTRACTOR TO INSTALL FIRE EXTINGUISHER(S) & CABINET(S) PER LOCAL FIRE DEPARTMENT REGULATIONS. GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTACTING LOCAL FIRE DEPARTMENT FOR REQUIREMENTS. CABINETS TO BE RECESSED AND ESTABLISHED AT HEIGHTS CONSISTENT WITH INTENDED USES.
- G.C. TO INSTALL PORTABLE FIRE EXTINGUISHERS PER 2010 CBC. SECTION 906.1.
- ADDRESS AND BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY, 2010 CBC. SECTION 1117B.5.4. G.C. TO COORDINATE LOCATION AND NUMBERS WITH ALL LOCAL JURISDICTIONAL AUTHORITIES. MOUNTING HEIGHT AND ORIENTATION SHALL BE CONFIRMED WITH LOCAL JURISDICTIONAL AUTHORITIES.
- AT ALL SHOWERS, CALL OUT ENTIRE EDGE AROUND TUB/ SHOWER PRIOR TO PAINT FOR WATER PROOF CONSTRUCTION. INSTALL TOP SET BASE AT VINYL FLOORING PER SPECIFICATIONS.
- AT ALL SINKS, SEALANT/ TYP. BOARD PATCH FOR FINISHED APPEARANCE AT ALL PLUMBING PENETRATIONS BENEATH SINKS.
AT ALL PLATES INSTALL SWELLSTOP WATERSTOP 1" x 3/4" SILL PLATE SEALANT SEAL ALL PENETRATIONS IN BUILDING ENVELOPE PER CALIFORNIA TITLE 24 REQUIREMENTS.
SEE ROOF PLANS FOR LOCATIONS & SPECIFICATIONS ON ATTIC ACCESS PANELS. COORDINATE LOCATIONS W/ ROOF TRUSSES. WHERE ATTIC ACCESS IS TO BE INSTALLED IN 1-HOUR CEILING PROVIDE RATED ASSEMBLY.
SEE UNIT PLANS FOR DROPPED CEILING LOCATIONS.
THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 3/4" IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 1/2" FOR OTHER DOORS PER CBC 2010 1008.1.7.
ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH GEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

KEY NOTES

- 1-HOUR UNIT SEPARATION WALL PER 2010 CBC 709.1. SEE DETAIL 11/A10.1.
- DROPPED CEILING, AREAS TO BE A MIN. HEIGHT OF 7'-6" A.F.F. MIN. HEIGHT IS FINISHED SURFACE TO FINISHED SURFACE. SEE DETAIL 5/A10.1.
- FIRE SPRINKLER CLOSET.
- PRE-MANUFACTURED METAL STAIRS W/ CONCRETE TREADS.
- EXTEND GYP. BOARD BEHIND SHOWER/ TUB AT 1-HOUR WALL TO MAINTAIN 1-HOUR RATING.
- 1-HOUR WALL. SEE DETAIL 6/A10.2.
- ELEVATOR, SEE DEFERRED SUBMITTALS ON T1.1 AND DETAIL 1/A10.3.
- 1-HOUR CORRIDOR WALL, SEE DETAIL 10/A10.2.

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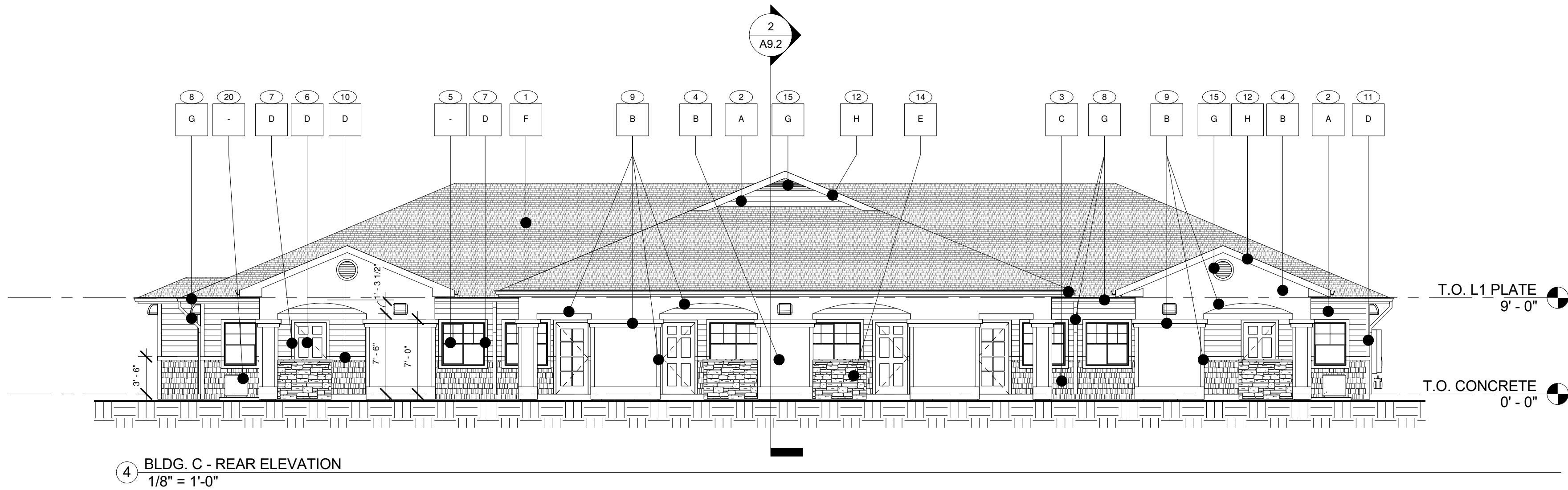
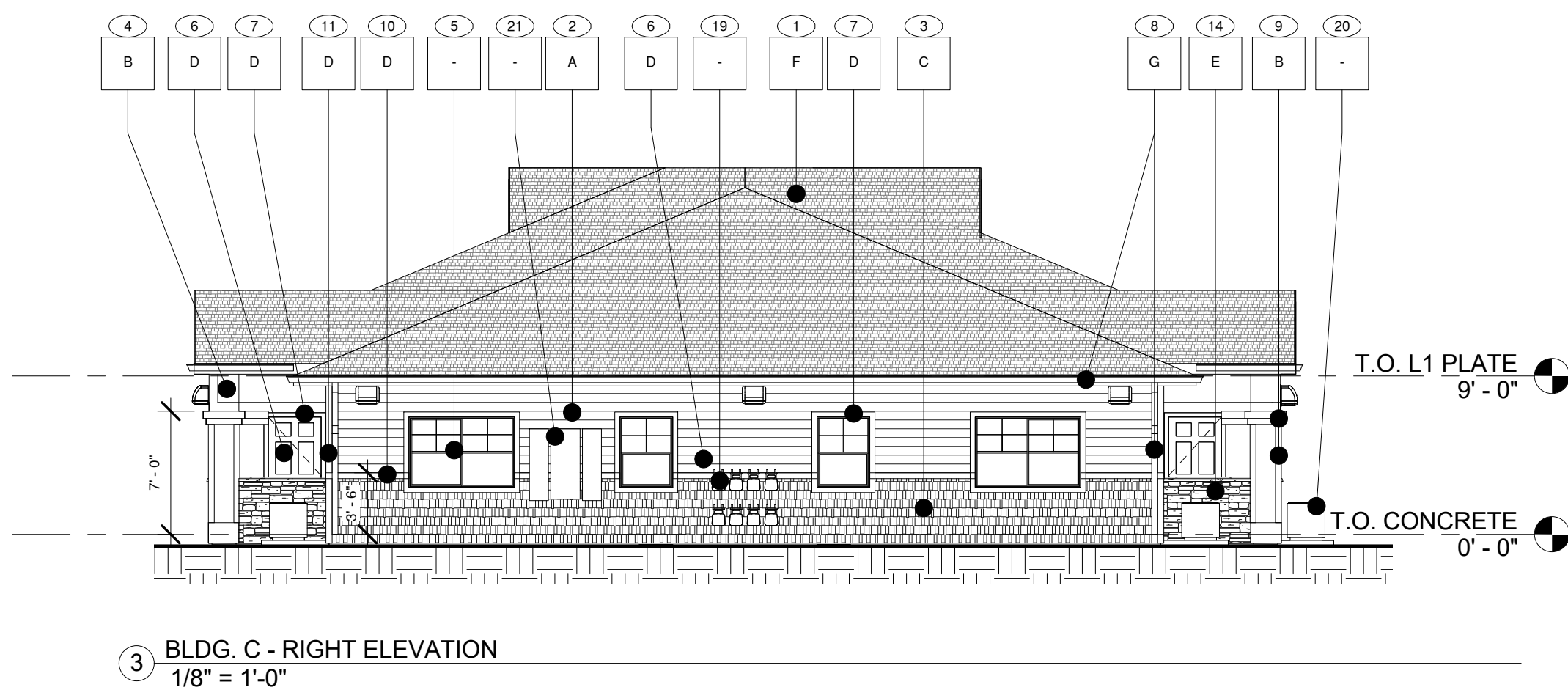
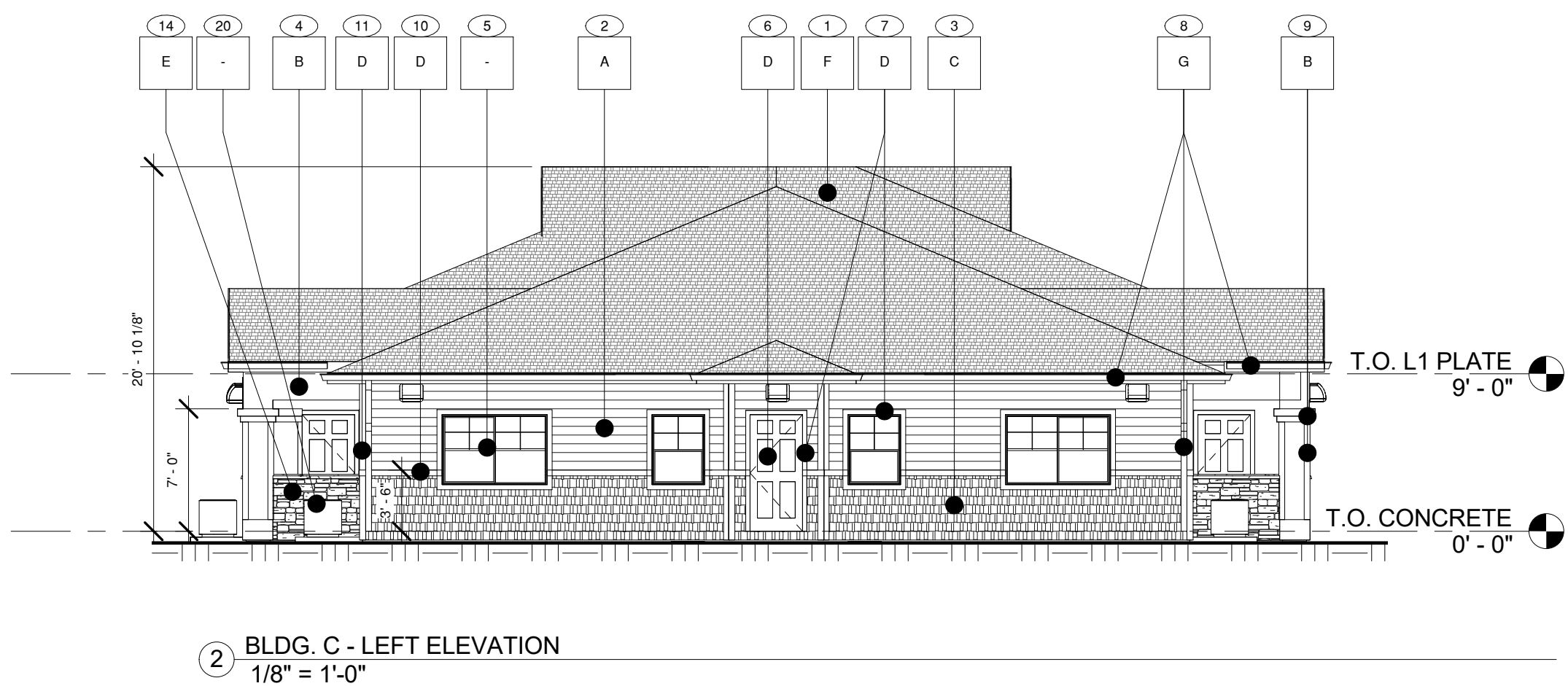
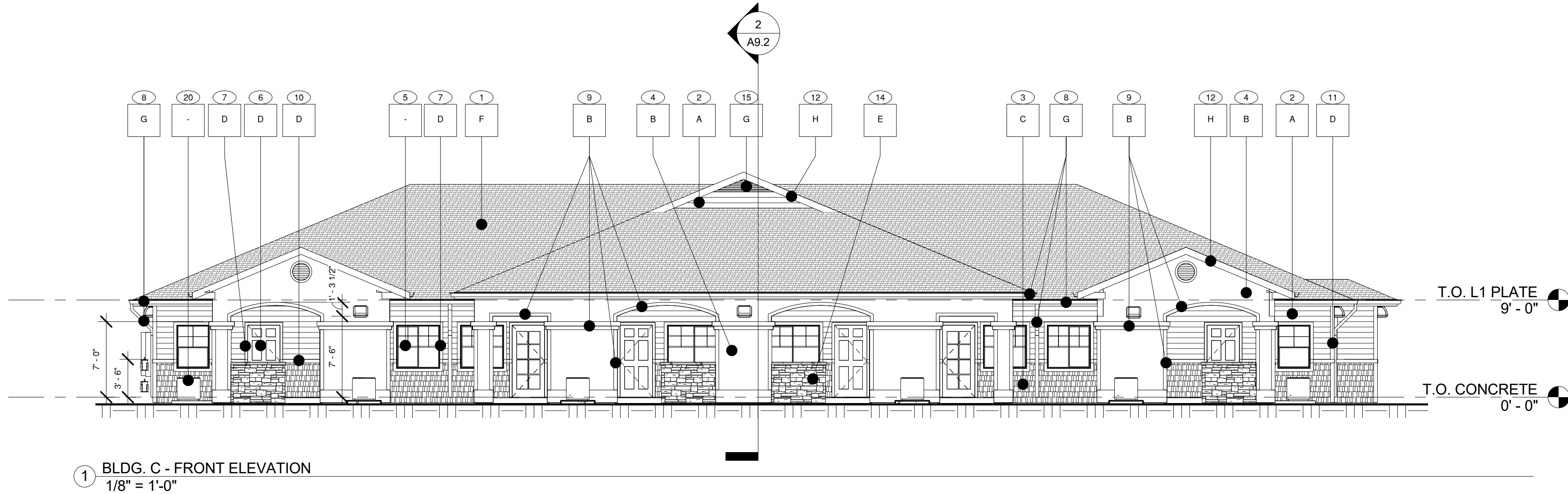
CINNAMON VILLAS PHASE II

SEC CINNAMON DRIVE & FOLLETT STREET
LEMOORE, CA

PROJECT

SCHEMATIC SET / NOT FOR CONSTRUCTION

_A9.1



- GENERAL NOTES**
- A. SEE BUILDING SECTIONS AND STRUCTURAL SERIES FOR PLATE HEIGHTS.
 - B. ELEVATION (0'-0") IS FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ACTUAL FLOOR ELEVATIONS.
 - C. SEE ROOF PLANS FOR ATTIC VENTILATION REQUIREMENTS, SLOPES, AND OVERBUILD AREAS.
 - D. SEE STRUCTURAL DRAWINGS FOR FRAMING AND FOUNDATION PLANS/ DETAILS.
 - E. SEE CIVIL, PLUMBING, ELECTRICAL AND JOINT TRENCH DRAWINGS FOR LOCATIONS OF EXTERIOR MOUNTED UTILITIES AND METER BANKS.
 - F. SEE SPECIFICATIONS FOR APPROVED MANUFACTURERS. NO SUBSTITUTIONS ALLOWED W/ OUT PRIOR APPROVAL BY ARCHITECT OR ENGINEER OF RECORD.
 - G. GENERAL CONTRACTOR TO COORDINATE LOCATIONS OF ALL WINDOWS, VENTS, UTILITY METERS, AND EXTERIOR FINISHES WITH OWNER DESIGNATED THIRD-PARTY SUBCONTRACTOR FOR SOLAR GENERATION ENERGY SYSTEM.
 - H. ALL GALVANIZED IRON CAPS AT HALF-WALLS AND COUNTER FLASHING TRIM AT PATIOS SHALL BE PAINTED TO MATCH ACCENT COLOR NOTED.
 - I. ALL EXPOSED ROOF TOP PENETRATIONS, INCLUDING, BUT NOT LIMITED TO VENT STACKS FOR SEWER, ATTIC VENTS, AND EXHAUST GAS HOUSING SHALL BE PAINTED IN THE FIELD TO MATCH ADJACENT MAIN FIELD COLOR OF CONCRETE ROOFING.
 - J. EXTERIOR UTILITY ENCLOSURE CABINETS TO BE PER LOCAL UTILITY PROVIDER'S SPECIFICATIONS FOR SIZE, ORIENTATION, AND INSTALLATION REQUIREMENTS. PROVIDE FINISH AT ENCLOSURE TO MATCH ADJACENT SIDING. COORDINATE LOCATION OF ACCESS PATHS AND PADS WITH CIVIL AND LANDSCAPE DRAWING SERIES.
 - K. AT LOCATIONS OF ELECTRICAL PANEL INSTALLATION AT EXTERIOR STUCCO, PROVIDE COUNTER FLASHING AND EXPOSED SUBSTRATE PER MFR. RECOMMENDATIONS.

- KEY NOTES**
- 1. 30 YEAR TYPE 'A' COMPOSITE SHINGLE, TYP.
 - 2. PRODIGY HORIZONTAL VINYL SIDING OR APPROVED EQUAL.
 - 3. AL SIDE PRODIGY SHINGLE/ SHAKE STYLE VINYL SIDING OR APPROVED EQUAL.
 - 4. CEMENT STUCCO SYSTEM. TEXTURE HEAVY DASH.
 - 5. WHITE VINYL WINDOWS. SEE FLOOR PLANS, WINDOW SCHEDULE, AND SPECIFICATIONS.
 - 6. EXTERIOR DOOR. SEE FLOOR PLANS, DOOR SCHEDULE, AND SPECIFICATIONS. PAINT AS NOTED.
 - 7. DOOR/WINDOW TRIM. PAINT AS NOTED.
 - 8. PRE-FINISHED METAL GUTTER. SEE ROOF PLAN FOR EXTENT. COLOR AS NOTED. DOWNSPOUT TO MATCH.
 - 9. RAISED STUCCO BANDS, COLOR SHOWN.
 - 10. 2x HORIZONTAL TRIM BY FRAMER W/ METAL WRAP. ALIGN TRIM AS SHOWN.
 - 11. 4" VERTICAL TRIM, TYP.
 - 12. METAL WRAP AT 1x FINISH FASCIA. SEE DETAILS.
 - 13. ARCHITECTURAL GABLE END VENT, PAINT AS NOTED. SEE ROOF PLANS.
 - 14. CULTURED STONE. SET IN MORTAR BED WITH FLASHING AND WEEP SCREED. SEE SPECIFICATIONS.
 - 15. PAINTED METAL HANDRAIL.
 - 16. 6" EXPOSED REVEAL COUNTER FLASHING BETWEEN ROOF AND ADJACENT SIDING. PAINT TO MATCH ADJACENT SIDING.
 - 17. MOSAIC CERAMIC TILE AT EXTERIOR SHOWER ENCLOSURE.
 - 18. SECTIONAL OVERHEAD GARAGE DOOR.
 - 19. GAS METER. WINDOW OPENINGS MUST BE A MINIMUM OF 3'-0" FROM GAS METERS. SEE MEP SHEETS FOR INFORMATION.
 - 20. CONDENSER UNIT. SEE MEP PLANS FOR INFORMATION.
 - 21. ELECTRICAL PANEL. SEE MEP SHEETS FOR INFORMATION. PAINT TO MATCH ADJACENT SIDING COLOR.

- MATERIAL FINISHES TYPE 1:**
BLDG. TYPES A, C, & E
- A. PRODIGY "COLONIAL IVORY" OR EQUAL.
 - B. HEAVY DASH. COLOR TO MATCH COLORTEK "ONIONSKIN TAN"
 - C. ALSIDE SHAKE #095 OR EQUAL.
 - D. COLOR TO MATCH ALSIDE "ADOBE CREAM"
 - E. OWNES CORNING DRYSTACK LEDGESTONE "CHARDONNAY"
 - F. GAFELK "WEATHERED WOOD" OR EQUAL.
 - G. VENT, GUTTER, AND DOWNSPOUT TO MATCH ALSIDE "GLACIER WHITE"
 - H. METAL FASCIA WRAP TO MATCH ALSIDE "ADOBE CREAM"

NOTE:
SOFFIT (NOT SHOWN) COLOR TO MATCH ALSIDE "ADOBE CREAM"
ALL VENT TERMINATIONS AND OTHER EXTERNAL UTILITY EQUIPMENT TO BE PAINTED TO MATCH THE ADJACENT WALL SURFACE.

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CINNAMON VILLAS PHASE II

SEC CINNAMON DRIVE & FOLLETT STREET
LEMOORE, CA

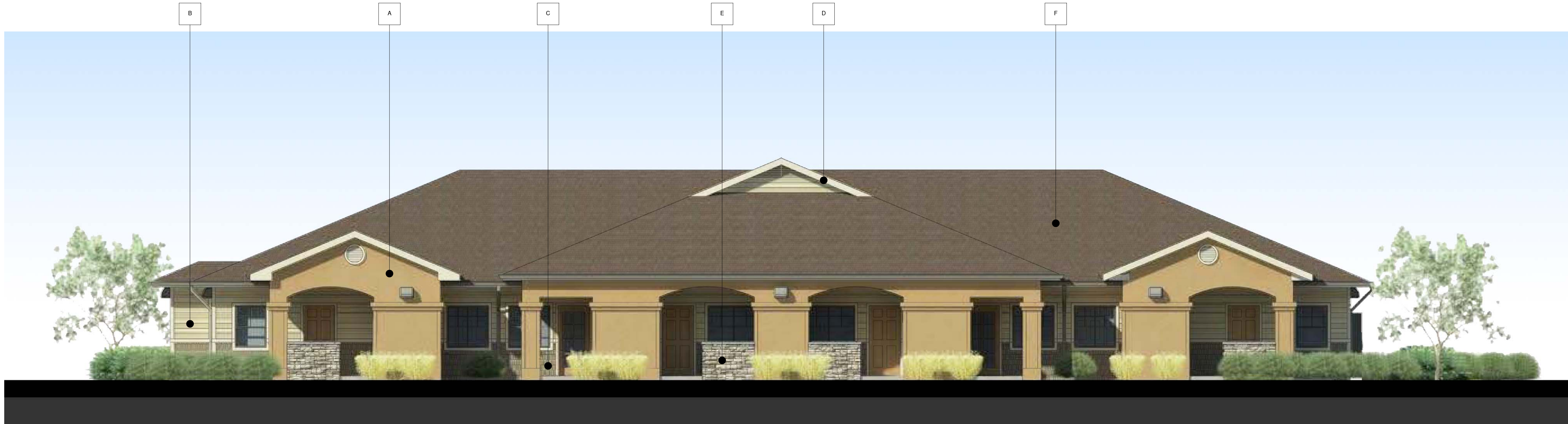
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_A9.2



2 BLDG. C - ELEVATION 2
N.T.S.



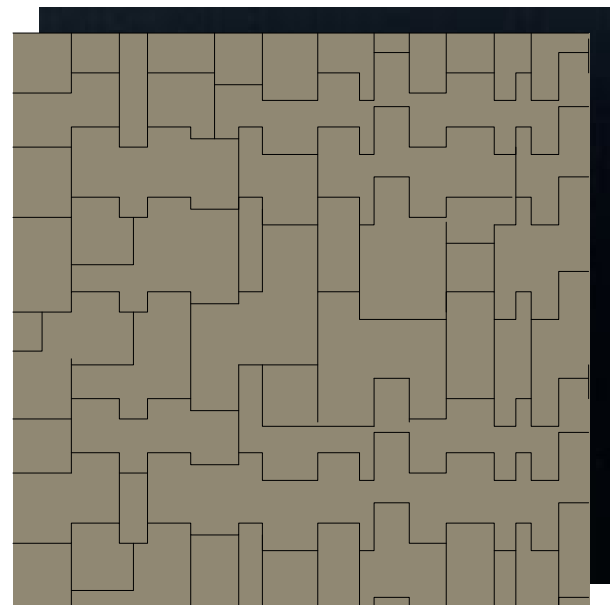
1 BLDG. C - ELEVATION 1
N.T.S.



A STUCCO SIDING
COLOR TO MATCH COLORTEK "ONIONSKIN"
OR EQUAL



B HORIZONTAL SIDING
COLOR TO MATCH PRODIGY "COLONIAL IVORY" OR
EQUAL



C SHAKE SIDING
COLOR TO MATCH ALSIDE SHAKE #095



D VENTS, BELLY BANDS,
WINDOW AND DOOR TRIM
COLOR TO MATCH ALSIDE "ADOBE CREAM"



E BRICK VENEER
COLOR TO MATCH COLOR TO MATCH OWINES
CORNING DRYSTACK "CHARDONNAY" OR EQUAL



F ASPHALT SHINGLES
COLOR TO MATCH COLOR TO MATCH GAFFELT
WEATHERED WOOD OR EQUAL

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CINNAMON VILLAS PHASE II

SEC CINNAMON DRIVE & FOLLETT STREET
LEMOORE, CA

_A10.1

SCHEMATIC SET / NOT FOR CONSTRUCTION



② BLDG. C - ELEVATION 4
N.T.S.



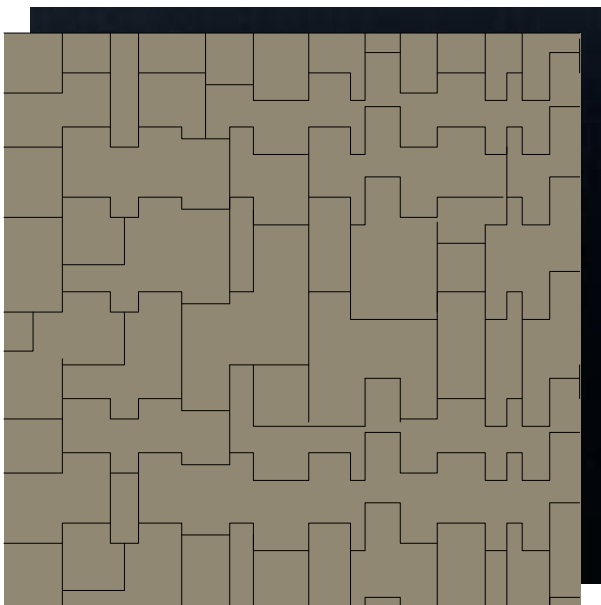
① BLDG. C - ELEVATION 3
N.T.S.



A STUCCO SIDING
COLOR TO MATCH COLORTEK "ONIONSKIN"
OR EQUAL



B HORIZONTAL SIDING
COLOR TO MATCH PRODIGY "COLONIAL IVORY" OR
EQUAL



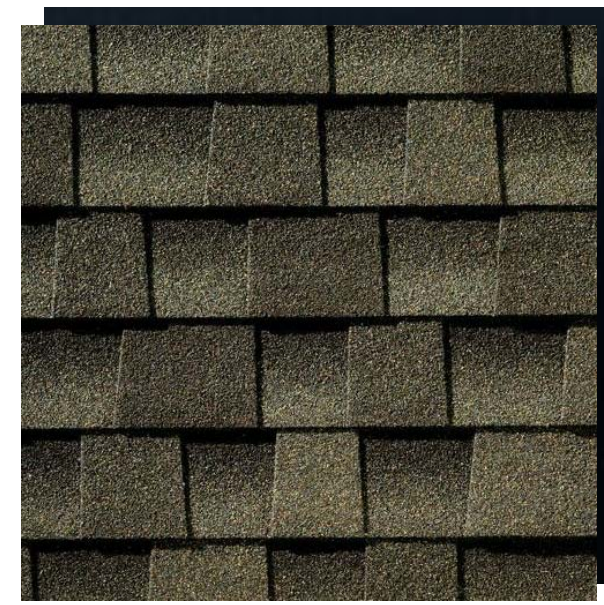
C SHAKE SIDING
COLOR TO MATCH ALSIDE SHAKE #095



D VENTS, BELLY BANDS,
WINDOW AND DOOR TRIM
COLOR TO MATCH ALSIDE "ADOBE CREAM"



E BRICK VENEER
COLOR TO MATCH COLOR TO MATCH OWINES
CORNING DRYSTACK "CHARDONNAY" OR EQUAL



F ASPHALT SHINGLES
COLOR TO MATCH COLOR TO MATCH GAFFEL"
WEATHERED WOOD" OR EQUAL

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PROJECT

CINNAMON VILLAS PHASE II

SEC CINNAMON DRIVE & FOLLETT STREET
LEMOORE, CA

_A10.2

SCHEMATIC SET / NOT FOR CONSTRUCTION



- NOTES:**
- A. Place 2" depth 3/4" Sonoma Gold crushed rock over landscape fabric under stairways and utility access areas. Install Permaloc Clean Line 3/4" x 4" aluminum edging with mill finish (MF), between crushed rock and adjacent shrub bed.
 - B. Place 2" - 3" size cobble in snags as indicated as well as low lying areas or at drop inlets as required.
 - C. Install Permaloc Clean Line 3/4" x 4" aluminum edging with mill finish (MF), between lawn / no-mow grass areas and adjacent shrub beds. Stake at every preformed loops with 12" stakes supplied from manufacturer with product.
 - D. Place a 24" wide x 4" depth decomposed granite edge along the back of side walk or as indicated. Install Permaloc Clean Line 3/4" x 4" aluminum edging with mill finish (MF), between decomposed granite and adjacent shrub beds.
 - E. Install a 4' high decorative fence to screen the ground HVAC units as shown. Refer to detail sheet L6.

- SCREEN HVAC CONDENSER UNITS AND UTILITY SERVICE PANELS WITH PLANTS OR DECORATIVE SCREENS
- COVERED VAN ACCESSIBLE PARKING
- ADA ACCESSIBLE PICNIC TABLE & BBQ (M.N. 1)
- BIKE RACK, TYP. OF (3) LOCATIONS

ADA ACCESSIBLE TRASH ENCLOSURE TO MATCH PHASE I

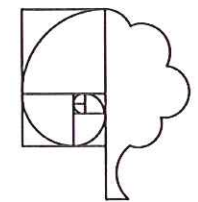
- GENERAL NOTES:**
- A. The landscape plans will comply with the requirements of the water efficient landscape ordinance (WELDO). Elements of the Landscape Documentation Package:
 - (a) The Landscape Documentation Package shall include the following six (6) elements:
 - (1) project information:
 - (A) date
 - (B) project applicant
 - (C) project address (if available, parcel and/or lot number(s))
 - (D) total landscape area (square feet)
 - (E) project type (e.g., new, rehabilitated, public, private, cemetery, homeowner-installed)
 - (F) water supply type (e.g., potable, recycled, well) and identify the local retail water purveyor if the applicant is not served by a private well
 - (G) checklist of all documents in Landscape Documentation Package
 - (2) Water Efficient Landscape Worksheet:
 - (A) hydrozone information table
 - (B) water budget calculations
 - 1. Maximum Applied Water Allowance (MAWA)
 - 2. Estimated Total Water Use (ETWU)
 - (3) soil management report;
 - (4) landscape design plan;
 - (5) irrigation design plan; and
 - (6) grading design plan.
- Note: Authority Cited: Section 65545, Government Code.
Reference: Section 65546, Government Code.
- *Contractor to verify all quantities from plan. Plant legend is for reference only.
- **NO SUBSTITUTIONS WITHOUT PRIOR WRITTEN CONSENT FROM THE LAND ARCH.

"I have complied with the criteria of the Water Efficient Landscape Ordinance (WELDO) and applied them for the efficient use of water in the landscape design plan"

PLANT LEGEND (proposed)			
Key	Botanical Name - Common Name ***	Size	Gly. * PF **
TREES			
T1	Gelera parvifolia - Australian Willow	#15	M
T2	Lagerstroemia indica 'Tuscarora' Std. - Standard Crape Myrtle	#15	L
T3	Pinus canariensis - Canary Island Pine	#15	L
T4	Pistacia chinensis 'Keith Davey' - Chinese Pistache	#15	M
T5	Platanus acerifolia 'Varwood' - London Plane Tree	#15	M
T6	Pyrus calleryana 'Red Spire' - Red Spire Flowering Pear	#15	M
T7	Ulmus parvifolia 'Dynasty' - Chinese Evergreen Elm	#15	M
T8	Vitex agnus-castus - Chaste Tree	#15	L
T9	Zelkova serrata 'Green Vase' - Japanese Sawleaf Zelkova	#15	M
GRASSES			
G1	Calamagrostis x acutifolia 'Karl Foerster'	#1	M
G2	Festuca ovina 'Elijah Blue' - Blue Fescue	#1	L
G3	Pennisetum a. Little Bunny' - Dwarf Fountain Grass	#1	L
G4	Muhlenbergia rigens - Deer Grass	#1	L
PERENNIALS			
P1	Agapanthus africanus 'Peter Pan' - Dwarf Lily of the Nile	#1	M
P2	Dietes vegeta - Fortnight Lily	#1	M
P3	Hemerocallis 'Stella D'Oro' - Dwarf Yellow Day Lily	#1	M
P4	Liriope muscari 'Silver Sunproof' - Silver Sunproof Lily	#1	M
P5	Lavandula angustifolia - English Lavender	#1	L
P6	Tulbaghia violacea 'Variegata' - Variegated Society Garlic	#1	L
SHRUBS			
S1	Barberis thunbergii 'Crimson Pygmy' - Dwarf Japanese Barberry	#5	L
S2	Chamaecyparis humilis - Mediterranean Fan Palm	#5	M
S3	Ilex vomitoria 'Nana' - Dwarf Yaupon Holly	#5	M
S4	Teucrium fruticans - Germander	#5	M
S5	Loropetalum chinensis 'Razzle Dazzle' - Chinese Fringe Flower	#5	M
S6	Myrica carolinensis 'Compacta Variegata' - Compact Variegated Myrtle	#5	M
S7	Nandina domestica 'Gulf Stream' - Gulf Stream Heavenly Bamboo	#5	M
S8	Olea europaea 'Little Oliva' - Dwarf Olive	#5	M
S9	Pittosporum tobira 'Variegata' - Variegated Pittosporum	#5	M
S10	Pittosporum tobira 'Wheeler's Dwarf' - Wheeler's Dwarf Pittosporum	#5	M
S11	Phormium 'Tom Thumb' - Tom Thumb New Zealand Flax	#5	M
S12	Rhaphiolepis indica 'Ballarina' - Dwarf Pink India Hawthorne	#5	M
S13	Rosa x 'Noone' - Red Flower Carpet Rose	#5	M
S14	Salvia clevelandii 'Pazo Blue' - Hybrid California Sage	#5	M
S15	Viburnum tinus 'Spring Bouquet' - Laurustinus	#5	M
VINES			
V1	Ficus pumila - Creeping Fig, staked	#1	M
V2	Jasminum polyanthum - Pink Jasmine, staked	#1	M
V3	Parthenocissus tricuspidata 'Veitchii' - Little Leaf Boston Ivy, staked	#1	M
NO-MOW GRASS			
NATIVE NO-MOW SOD			
DELTA BLUEGRASS COMPANY 1-800-631-8873			
SOD LAWN			
Bolero Plus			
40% Bolero Dwarf Fescue			
10% Kentucky Bluegrass			
DELTA BLUEGRASS COMPANY 1-800-631-8873			
Note: *Contractor to verify all quantities from plan. Plant legend is for reference only.			
Note: ** PF: WUCOLS Species Evolution List--1999			
GROUND COVERS			
G1	Arctostaphylos densiflora 'Pt. Reyes' - Manzanita	#1	Plant 1 gal. @ 36" o.c.
G2	Baccharis pilularis 'Trin Peaks' - Coyote Bush	#1	Plant 1 gal. @ 36" o.c.
G3	Cotoneaster d. 'Lanfast' - Lanfast Cotoneaster	#1	Plant 1 gal. @ 48" o.c.
G4	Rosmarinus officinalis 'Prostratus' - Trailing Rosemary	#1	Plant 1 gal. @ 36" o.c.
G5	Epilobium 'Catalina' & 'Sierra Salmon' (mixed) - California Fuchsia	#1	Plant 1 gal. @ 36" o.c.
G6	Trachelospermum asiaticum - Aston Jasmine	#1	Plant 1 gal. @ 36" o.c.
G7	Guzmania hybrid 'Aztec Queen' - Hybrid Clumping Guzmania	#1	Plant 1 gal. @ 18" o.c. (may sub 4" pot @ 12" o.c.)
G8	Annual color - seasonal availability	4"	Plant 4" pot @ 12" o.c.



LANDSCAPE MASTER PLAN



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LICENSED LANDSCAPE ARCHITECT
STATE OF CALIFORNIA
EXPIRES 06/30/15
No. 123

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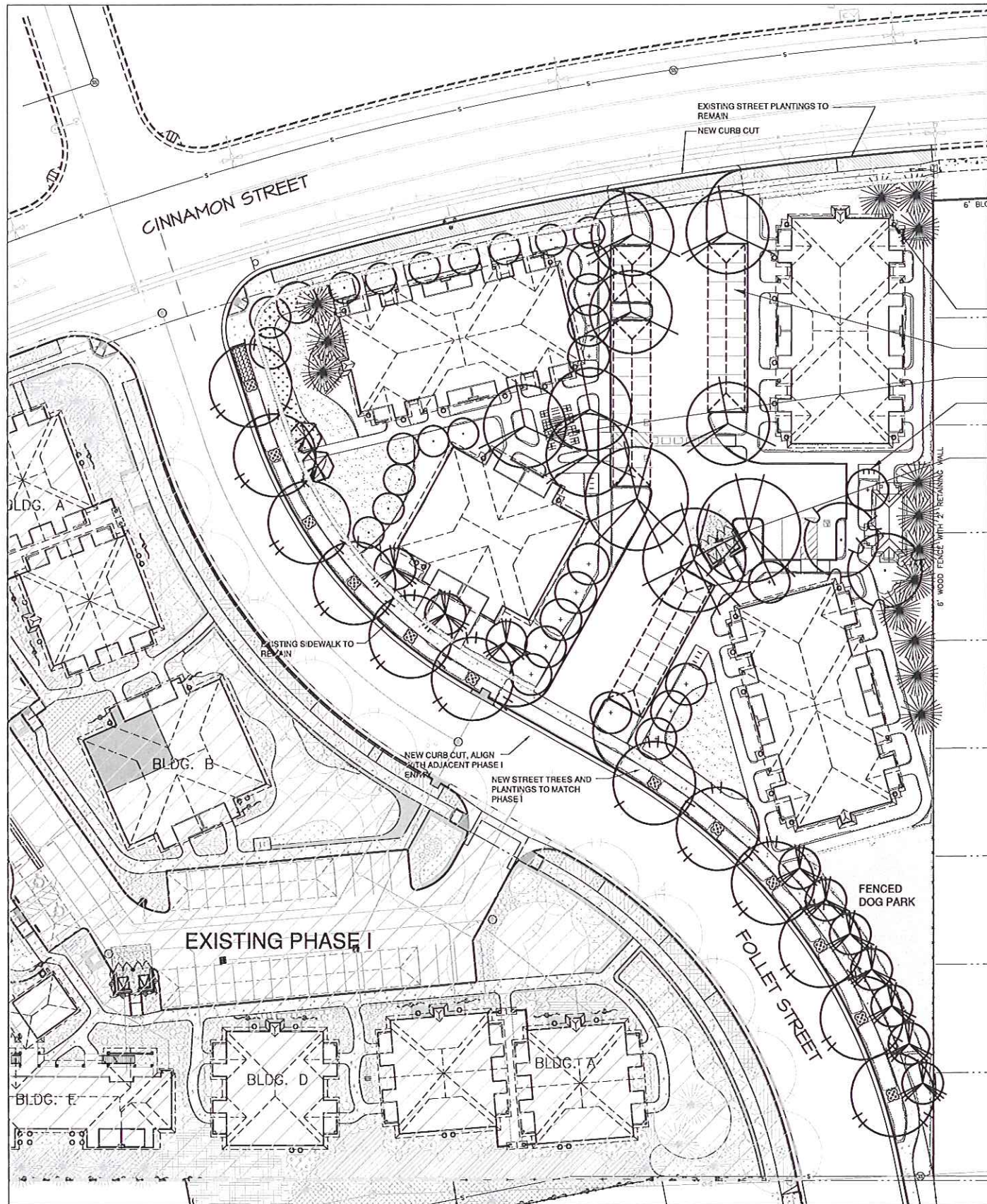
PROJECT

CINNAMON VILLAS PHASE II

SEC CINNAMON DRIVE & ETON DRIVE

SCHEMATIC SET / NOT FOR CONSTRUCTION

MASTER PLAN



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- COVERED VAN ACCESSIBLE PARKING
- ADA ACCESSIBLE PICNIC TABLE & BBQ (MIN. 1)
- BIKE RACK, TYP. OF (3) LOCATIONS
- ADA ACCESSIBLE TRASH ENCLOSURE TO MATCH PHASE I

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 - 2. Estimated Total Water Use (ETWU)
 - (3) soil management report;
 - (4) landscape design plan;
 - (5) irrigation design plan; and
 - (6) grading design plan.
- Note: Authority Cited: Section 65545, Government Code. Reference: Section 65546, Government Code.
- *Contractor to verify all quantities from plan. Plant legend is for reference only.
- **NO SUBSTITUTIONS WITHOUT PRIOR WRITTEN CONSENT FROM THE LAND. ARCH.

"I have complied with the criteria of the Water Efficient Landscape Ordinance (WELA) and applied them for the efficient use of water in the landscape design plan"

PLANT LEGEND (proposed)				Size	Qty. * FF**	Symbol
TREES						
T1	Geijera parvifolia - Australian Willow	#15	M			
T2	Lagerstroemia indica 'Tuscanora' Std. - Standard Crape Myrtle	#15	L			
T3	Pinus canariensis - Canary Island Pine	#15	L			
T4	Pistacia chinensis 'Keith Davey' - Chinese Pistache	#15	M			
T5	Platanus acerifolia 'Yarwood' - London Plane Tree	#15	M			
T6	Pyrus calleryana 'Red Spire' - Red Spire Flowering Pear	#15	M			
T7	Ulmus parvifolia 'Dynasty' - Chinese Evergreen Elm	#15	M			
T8	Vitex agnus-castus - Chaste Tree	#15	L			
T9	Zelkova serrata 'Green Vase' - Japanese Sawleaf Zelkova	#15	M			
GRASSES						
G1	Calamagrostis x acutifolia 'Karl Foerster'	#1	M			
G2	Festuca ovina 'Elijah Blue' - Blue Fescue	#1	L			
G3	Pennisetum a. Little Bunny' - Dwarf Fountain Grass	#1	L			
G4	Muhlenbergia rigens - Deer Grass	#1	L			
PERENNIALS						
P1	Agapanthus africanus 'Peter Pan' - Dwarf Lily of the Nile	#1	M			
P2	Dietes vegeta - Fortnight Lily	#1	M			
P3	Hemerocallis 'Stella D'Oro' - Dwarf Yellow Day Lily	#1	M			
P4	Liriope muscari 'Silvery Sprout' - Silvery Sprout Lily Turf	#1	M			
P5	Lavandula angustifolia - English Lavender	#1	L			
P6	Tulbaghia violacea 'Variegata' - Variegated Society Garlic	#1	L			
SHRUBS						
S1	Berberis thunbergii 'Crimson Pygmy' - Dwarf Japanese Barberry	#5	L			
S2	Chamaecyparis humilis - Mediterranean Fan Palm	#5	M			
S3	Ilex vomitoria 'Nana' - Dwarf Yaupon Holly	#5	M			
S4	Teucrium fruticans - Germander	#5	M			
S5	Loropetalum chinensis 'Razzle Dazzle' - Chinese Fringe Flower	#5	M			
S6	Myrtus communis 'Compacta Variegata' - Compact Variegated Myrtle	#5	M			
S7	Nandina domestica 'Gulf Stream' - Gulf Stream Heavenly Bamboo	#5	M			
S8	Olea europaea 'Little Olive' - Dwarf Olive	#5	M			
S9	Pittosporum tobira 'Variegata' - Variegated Pittosporum	#5	M			
S10	Pittosporum tobira 'Wheeler's Dwarf' - Wheeler's Dwarf Pittosporum	#5	M			
S11	Phormium 'Tom Thumb' - Tom Thumb New Zealand Flax	#5	M			
S12	Raphiolepis indica 'Ballerina' - Dwarf Pink India Hawthorne	#5	M			
S13	Rosa x 'Naare' - Red Flower Carpet Rose	#5	M			
S14	Salvia clevelandii 'Pozo Blue' - Hybrid California Sage	#5	M			
S15	Viburnum tinus 'Spring Bouquet' - Laurustinus	#5	M			
VINES						
V1	Ficus pumila - Creeping Fig, staked	#1	M			
V2	Jasminum polyanthum - Pink Jasmine, staked	#1	M			
V3	Parthenocissus tricuspidata 'Veitchii' - Little Leaf Boston Ivy, staked	#1	M			
NO-MOW GRASS [Pattern] M						
NATIVE NO-MOW SOD						
DELTA BLUEGRASS COMPANY 1-800-637-8873						
SOD LAWN [Pattern] H						
Bolero Plus						
90% Bolero Dwarf Fescue						
10% Kentucky Bluegrass						
DELTA BLUEGRASS COMPANY 1-800-637-8873						
Note: *Contractor to verify all quantities from plan. Plant legend is for reference only.						
Note: ** FF: HUCOLS Species Evaluation List-1999						
GROUND COVERS						
G1	Arctostaphylos densiflora 'Pt. Reyes' - Manzanita	#1				
Plant 1 gal. @ 36" o.c.						
G2	Baccharis pilularis 'Twin Peaks' - Coyote Bush	#1				
Plant 1 gal. @ 36" o.c.						
G3	Cotoneaster d. 'Lanfast' - Lanfast Cotoneaster	#1				
Plant 1 gal. @ 48" o.c.						
G4	Rosmarinus officinalis 'Prostratus' - Trailing Rosemary	#1				
Plant 1 gal. @ 36" o.c.						
G5	Epilobium 'Catalina' & 'Sierra Salmon' (mixed) - California Fuchsia	#1				
Plant 1 gal. @ 36" o.c.						
G6	Trachelospermum asiaticum - Asian Jasmine	#1				
Plant 1 gal. @ 36" o.c.						
G7	Gazania hybrid 'Aztec Queen' - Hybrid Clumping Gazania	#1				
Plant 1 gal. @ 18" o.c. (may sub 4" pot @ 12" o.c.)						
G8	Annual color - seasonal availability	4"				
Plant 4" pot @ 12" o.c.						



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REVISIONS

DATE	5/6/14
DRAWN BY	THP
PROJECT #	PWH14-16

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CINNAMON VILLAS PHASE II

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LEMOORE, CA

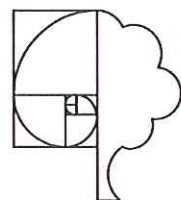
MASTER PLAN

SCHEMATIC SET / NOT FOR CONSTRUCTION



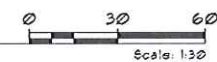
① LANDSCAPE MASTER PLAN

CINNAMON VILLAS PHASE II



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1 SITE ELECTRICAL PLAN
SCALE: 1" = 30'-0"



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LEMOORE, CA

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1 SITE PHOTOMETRIC PLAN
SCALE: 1" = 30'-0"
NORTH

GENERAL NOTES:

A. VALUES SHOWN INDICATE ESTIMATED ILLUMINATION LEVELS AT GRADE IN FOOT-CANDLES.

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Circ Zone #1	+	1.0 fc	7.5 fc	0.0 fc	N/A	N/A	0.1:1

Symbol	Label	Quantity	Manufacturer	Control Number	Description	Notes	Footcandle	Footcandle	Footcandle	Footcandle	Footcandle	Footcandle
A	1	27	Universal Lighting	7415-03-010	2700K 30W LED LIGHTS	2700K 30W LED LIGHTS	1	1	1	1	1	1
B	2	10	Universal Lighting	810-03-010	2700K 30W LED LIGHTS	2700K 30W LED LIGHTS	2	2	2	2	2	2
C	3	1	Universal Lighting	810-03-010	2700K 30W LED LIGHTS	2700K 30W LED LIGHTS	3	3	3	3	3	3

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