

LEMOORE PLANNING COMMISSION
Special Meeting
AGENDA
Lemoore Council Chamber
429 'C' Street

February 22, 2021
7:00 p.m.

1. Pledge of Allegiance
2. Call to Order and Roll Call
3. Recognition of Re-Appointment to the Commission – Ray Etchegoin
4. Introduction and Installation of New Commissioner – Joey Brewer
5. Reorganization of Commissioners – Election of Officers – Chair and Vice Chair

6. Public Comment

Public Comment will be in accordance with the attached COVID 19 policy. This time is reserved for members of the audience to address the Planning Commission on items of interest that are not on the Agenda and are within the subject matter jurisdiction of the Commission. It is recommended that speakers limit their comments to 3 minutes each and it is requested that no comments be made during this period on items on the Agenda. The Commission is prohibited by law from taking any action on matters discussed that are not on the Agenda. Prior to addressing the Commission, any handouts for Commissioners will be provided to the Planning Commission Secretary for distribution to the Commissioners and appropriate staff.

7. Approval – Minutes – Regular Meeting, September 14, 2020
8. Public Hearing – Planned Unit Development No. 2020-03, (revision of Fairway Courtyards Tract 820) Tentative Subdivision Map No. 2020-02, Major Site Plan Review No. 2020-05: A request by G J Gardner Energy Homes to divide 4.59 acres into 29 single-family lots and three outlots. The project is located on the east side of Vine Street, approximately 400 feet south of Iona Avenue in the City of Lemoore (APNs: 024-390-001, -002, -003, -004, -005, -006, -007, -008, -009, -010, -011, -012, -013, -014, -015, -016, -017, -018, -019, -020, -021, -022, -023, -024, -025, -026, -027, -028, -029, -030, -031, -032, -033, -034, -035, -036, -037, -038, -039, -040, -041, -042).
9. Director's Report – Judy Holwell
10. Commission's Reports and Requests for Information
11. Adjournment

Upcoming Meetings

Regular Meeting of the Planning Commission, March 8, 2021

Agendas for all Planning Commission meetings are posted at least 72 hours prior to the meeting at the Council Chamber, 429 C Street and the Cinnamon Municipal Complex, 711 W. Cinnamon Drive. Any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection at the Community Development Department, located at 711 W. Cinnamon Drive, during normal business hours. The City of Lemoore complies with the Americans with Disabilities Act (ADA of 1990). The Council Chamber is accessible to the physically disabled. Should you need special assistance, please call (559) 924-6744, at least four (4) business days prior to the meeting.

CERTIFICATION OF POSTING

I, Kristie Baley, Planning Commission Secretary for the City of Lemoore, do hereby declare that I posted the above Planning Commission Agenda for the Special Meeting of Monday, February 22, 2021 at 7:00 p.m. at Council Chamber, 429 C Street and Cinnamon Municipal Complex, 711 W. Cinnamon Drive, Lemoore CA in accordance with applicable legal requirements.

Posted this 19th day of February 2021.

//s//
Kristie Baley, Commission Secretary

CITY OF LEMOORE

ALL PLANNING COMMISSION REGULAR AND SPECIAL MEETINGS

Attendance and Public Comment Changes Due to COVID-19

Given the current Shelter-in-Place Order covering the State of California and the Social Distance Guidelines issued by Federal, State, and Local Authorities, the City is implementing the following changes for attendance and public comment at all Planning Commission meetings until notified otherwise.

All upcoming regular and special Planning Commission meetings will **only be accessible online**. The meeting may be viewed through the following options:

- Youtube: www.Youtube.com/c/cityoflemore

The City will also provide links to streaming options on the City's website and on its Facebook page. Unfortunately, physical attendance by the public cannot be accommodated given the current circumstances and the need to ensure the health and safety of the Planning Commission, City staff, and the public as a whole.

If you wish to make a general public comment or public comment on a particular item on the agenda, **you must submit your public comments by e-mail to: planning@lemore.com**. In the subject line of the e-mail, please state your name and the item you are commenting on. If you wish to submit a public comment on more than one agenda item, please send a separate e-mail for each item you are commenting on. Please be aware that written public comments, including your name, may become public information. Additional requirements for submitting public comments by e-mail are provided below.

General Public Comments & Comments on Planning Commission Business Items

For general public comments and comments regarding specific Planning Commission Business Items, all public comments must be received by e-mail no later than 5:00 p.m. the day of the meeting. Comments received by this time will be read aloud by a staff member during the applicable agenda item, provided that such comments may be read within the normal three (3) minutes allotted to each speaker. Any portion of your comment extending past three (3) minutes may not be read aloud due to time restrictions. If a general public comment or comment on a business item is received after 5:00 p.m., efforts will be made to read your comment into the record. However, staff cannot guarantee that written comments received after 5:00 p.m. will be read. All written comments that are not read into the record will be made part of the meeting minutes, provided that such comments are received prior to the end of the Planning Commission meeting.

Public Hearings

For public comment on a public hearing, all public comments must be received by the close of the public hearing period. All comments received by the close of the public hearing period will be

read aloud by a staff member during the applicable agenda item, provided that such comments may be read within the normal three (3) minutes allotted to each speaker. Any portion of your comment extending past three (3) minutes may not be read aloud due to time restrictions. If a comment on a public hearing item is received after the close of the public hearing, such comment will be made part of the meeting minutes, provided that such comment is received prior to the end of the meeting.

PLEASE BE AWARE THAT ANY PUBLIC COMMENTS RECEIVED THAT DO NOT SPECIFY A PARTICULAR AGENDA ITEM WILL BE READ ALOUD DURING THE GENERAL PUBLIC COMMENT PORTION OF THE AGENDA.

The City thanks you for your cooperation in advance. Our community's health and safety is our highest priority.

**Minutes of the
LEMOORE PLANNING COMMISSION
Regular Meeting
September 14, 2020**

ITEM NO. 1 Pledge of Allegiance

ITEM NO. 2 Call to Order and Roll Call

The meeting was called to order at 7:00 PM.

Chair:	Etchegoin
Vice-Chair:	Koelewyn
Commissioners:	Clement, Dey, Meade, Nix
Absent:	Franklin

City Staff and Contract Employees Present: City Manager Olson, Community Development Director Holwell, City Planner Brandt (QK), City Attorney Carlson (Lozano Smith) via conference call, Commission Secretary Baley

ITEM NO. 3 Introduction and Installation of New Commissioner – Thomas Nix

Community Development Director Holwell Introduced Thomas Nix as a newly appointed Commissioner.

Nix introduced himself.

Commissioners welcomed Nix.

ITEM NO. 4 Public Comment

There was no comment.

ITEM NO. 5 Approval – Minutes – Regular Meeting, August 10, 2020

Motion by Commissioner Meade, seconded by Commissioner Clement, to approve the Minutes of the Planning Commission Regular Meeting of August 10, 2020.

Ayes: Meade, Clement, Dey, Nix, Etchegoin

Abstain: Koelewyn

Absent: Franklin

ITEM NO. 6 Report and Recommendation – Major Site Plan Review No. 2020-04 - A Request by D.R. Horton for approval of master home plans for Victory Village Tentative Subdivision Map No. 2005-02, an approved 51-lot single-family residential subdivision on 13.64 acres.

City Planner Brandt presented the staff report and answered questions.

Director Holwell provided clarification regarding subdivision access and railroad crossings.

Chair Etchegoin opened public comment at 7:21 P.M.

Secretary Baley read comment received from Roman Benitez, Community Plans and Liaison Officer for the Public Works Department, Naval Air Station Lemoore, 700 Enterprise Avenue, NAS Lemoore.

There was no other comment from the public.

Chair Etchegoin closed public comment at 7:23 P.M.

Motion by Commissioner Dey, seconded by Commissioner Meade, to Adopt Resolution No. 2020-12, approving Major Site Plan Review No. 2020-04 in accordance with the findings and conditions in the Resolution.

Ayes: Dey, Meade, Clement, Koelewyn, Etchegoin

Abstain: Nix

Absent: Franklin

ITEM NO. 7 Director's Report

Community Development Director Holwell provided the following information:

Clarification for a question asked by Commissioners during the August 10th meeting regarding ownership of the property north of Tract 793 along Hwy 41. The property is owned by Daley.

Assemi Group held a community scoping meeting at 5:30 P.M., prior to the start of the Planning Commission meeting. The meeting, led by the applicant, was held to review and receive comment on the first portion (initial study) of the EIR for the Lacey Ranch project to be located northeast of Glendale and 18th Avenues. One comment was received from the public regarding the potential need for an additional school and asking if this will be part of the review process. The applicant replied that the development's effect on area schools is part of the review process and will be included in the report.

Holwell went on to say that a previous meeting was held at Meadow Lane School earlier in the year. Community feedback will be used to by consultants to address concerns during the environmental review process. An environmental impact report will be prepared for the project, at which time the project will be presented to the Planning Commission, then to the City Council (twice), and if accepted, will be presented to LAFCO to see if Kings County supports the annexation.

Brandt added that the EIR is a formalized process and the scoping meetings are required as part of compliance with State law. Neighborhood meetings are performed at the discretion of the

developer and assist in the EIR process by increasing public input and determining potential challenges and opposition.

Staff is working with the Engineer representing the Wimpy's development located at 321 S. Lemoore Avenue to assist in modifying the parking lot plans, as they have requested to add additional outdoor dining. Staff indicated that they are close to finalizing the revisions.

Holwell also indicated that even with the effects of COVID-19, several projects such as Dutch Bros. on Lemoore Avenue, the City Dispatch Center on Cinnamon Drive, the new elementary school at 19th Avenue and Cinnamon Drive, and development at the industrial park are under construction.

ITEM NO. 8 Commissioner's Reports and Requests for Information

Etchegoin welcomed Thomas Nix to the Commission and thanked City Attorney Carlson for attending.

ITEM NO. 9 Adjournment

The meeting adjourned at 7:33 P.M.

Approved the ____th day of _____ 2021.

APPROVED:

Ray Etchegoin, Chairperson

ATTEST:

Kristie Baley, Commission Secretary



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Staff Report

To: Lemoore Planning Commission **Item No. 8**
From: Judy Holwell, Community Development Director
and Steve Brandt, City Planner
Date: February 19, 2021 **Meeting Date:** February 22, 2021
Subject:

Adoption of Resolution No. 2021-01 for Planned Unit Development No. 2020-03, Revision of Fairway Courtyards Tentative Subdivision Map 2020-02, and Major Site Plan Review No. 2020-05: A request by GJ Gardner Homes to divide 4.59 acres into 29 single-family lots and three outlots. The project is located on the east side of Vine Street, approximately 400 feet south of Iona Avenue in the City of Lemoore (Currently APNs: 024-390-001 through 024-390-042). A Categorical Exemption has been prepared in accordance with the California Environmental Quality Act.

- **Planned Unit Development No. 2020-03** is a request to approve a development of 29 new residential lots with modified lot sizes and building setbacks, plus three outlots used for a park, parking lot, and drainage basin (Exhibit A).
- **Fairway Courtyards Tentative Subdivision Map No. 2020-02** is to divide a 4.59-acre parcel into 29 single-family residential lots and three outlots. Proposed ingress/egress access to the proposed subdivisions from Vine Street at the western boundary (Exhibit B).
- **Major Site Plan Review No. 2020-05** is a request to approve the site plan and home plans for a project to develop a 29-lot subdivision of single-family residences. The site also provides for 1.2 acres of open space outlots that include a small park, additional guest parking, and an on-site drainage basin.

Proposed Motion: Adopt Resolution No. 2021-01, recommending approval of Planned Unit Development No. 2020-03, Revision of Fairway Courtyards Tentative Subdivision Map No. 2020-02, and Major Site Plan Review No. 2020-05 in accordance with the findings and conditions in the Resolution.

Recommendation: Staff has prepared one resolution recommending approval of the CEQA Exemption, the Planned Unit Development No. 2020-03, the Tentative Subdivision Map No. 2020-02 and the Major Site Plan Review No. 2020-05 for the project. The Planning Commission decision is a recommendation to the City Council. The Planning Commission's recommendation will be brought to the City Council at a public hearing for final approval of all aspects of the project.

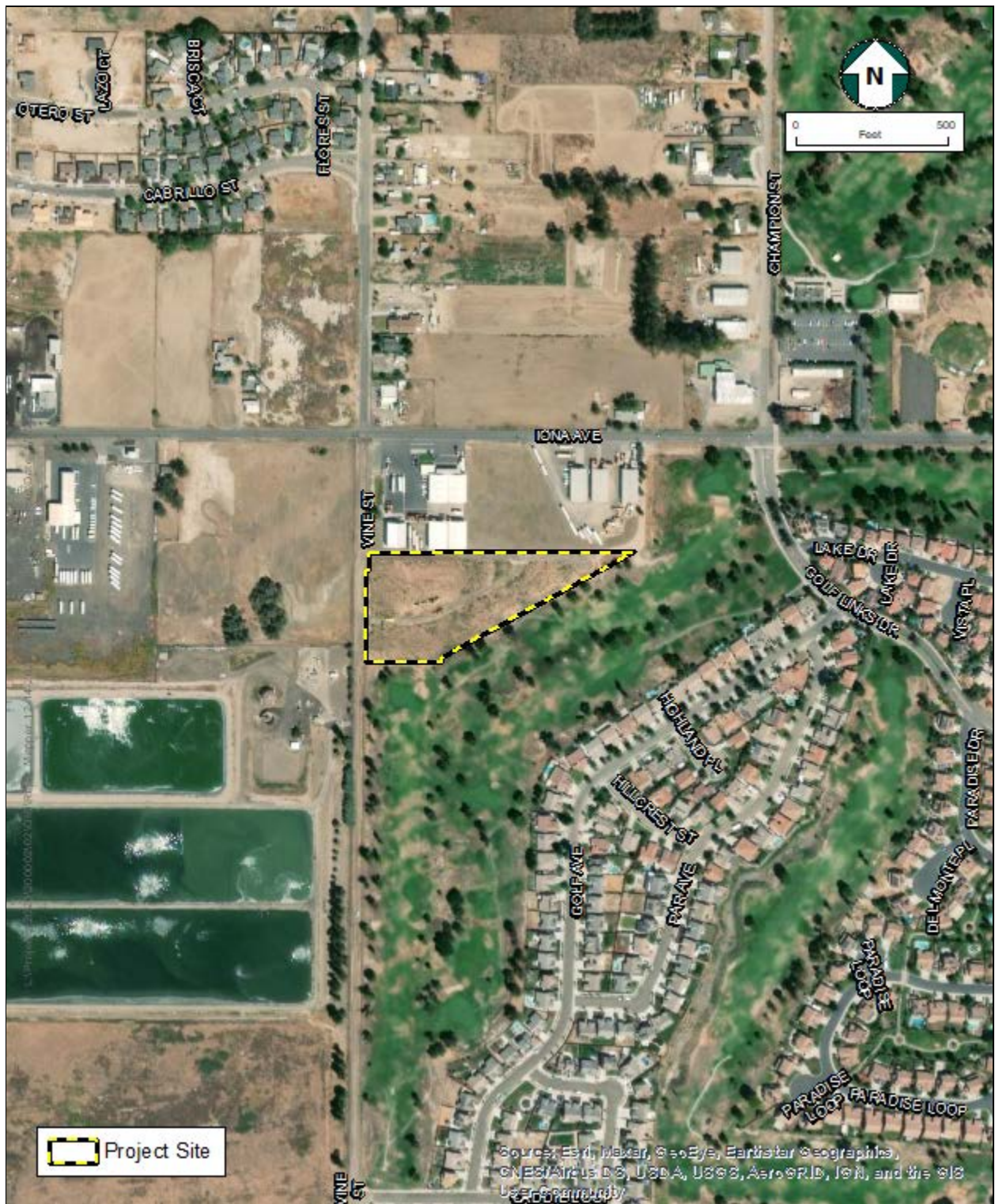
Project Proposal: The applicant proposes to subdivide 4.59 acres into 29 single-family residential lots and three outlots, which contain a small park, a 5-space parking area, and an on-site ponding basin. The project is located approximately 400 feet south of Iona Avenue and on the east side of Vine Street. Proposed access to the subdivision is from Sandtrap and Green Lanes along Vine Street on the site's western boundary. Land use to the immediate north of the site is designated Light Industrial and already supports several commercial moving and storage operations. On the east and south is the Lemoore Municipal Golf Course. To the west, across Vine Street, is the City's wastewater treatment facility.

The minimum lot size is 1,934 square feet, and the maximum lot size is 5,470. The average lot size is 3,702. The applicant has also submitted elevations and floor plans for four separate home layouts to be built on the lots. Three of the four elevation plans have two different elevation types, ornamentation, and roofline options. The homes are pre-plotted, meaning that a specific floor plan is planned for each lot.

Applicant: GJ Gardner Homes
Location: Vine Street south of Iona Avenue
Existing Land Use: Vacant Land
APN(s): 024-390-001 thru -042
Home Size: Min. 867 sq.ft. – Max. 1,551 sq.ft.
Lot Size: Min. 1,934 sq.ft.; Max. 5,470
Average Lot Size: 3,702 sq.ft.
Current Zoning: Low-Medium Density Residential
Current General Plan: Low-Medium Density Residential

Adjacent Land Use, Zones, and General Plan Designations:

Direction	Current Use	Zone	General Plan
North	Moving & Storage Business	ML	Light Industrial
South	Municipal Golf Course	PR	Parks & Recreation
East	Municipal Golf Course	PR	Parks & Recreation
West	Sewer Treatment Facility	CF	Community Facilities



Site Location
Fairway Courtyards

Previous Relevant Actions: As per City Resolution No. 2004-48, Tract Map TR 820 – Fairway Courtyards, was previously approved and the final map was recorded, creating 39 lots with 3 outlots on the site. Construction of the infrastructure and roadways began but were not completed due to unfavorable economic conditions at the time. The original project, a 39-unit multi-family housing project was approved per Planned Unit Development 2004-021, CUP 2004-054 and TSM 2004-043, was passed and adopted by Resolution 2004-48 on September 7, 2004 (Exhibit C).

The previously approved and installed street and utility improvements will be utilized for the new development. The new Planned Unit Development (PUD) and tentative subdivision map will recreate 29 new lots over the 39 existing lots. Therefore, the former project, Planned Unit Development No. 2004-021, and finalized lots (APNs: 024-390-001 through 024-390-042) would be revoked and superseded by the new PUD and tentative subdivision map.

General Plan: The site is designated Low-Medium Density Residential by the General Plan. The proposed residential density is consistent with this General Plan designation. The General Plan allows PUDs to be created in this designation that meet the planned density.

Zoning: The Zoning Map designates the site as Low-Medium Density Residential (RLMD). The proposed use is consistent with the current municipal Zoning ordinance. The Zoning Ordinance allows PUDs to be approved that deviate from the standard minimum lot sizes and building setback standards.

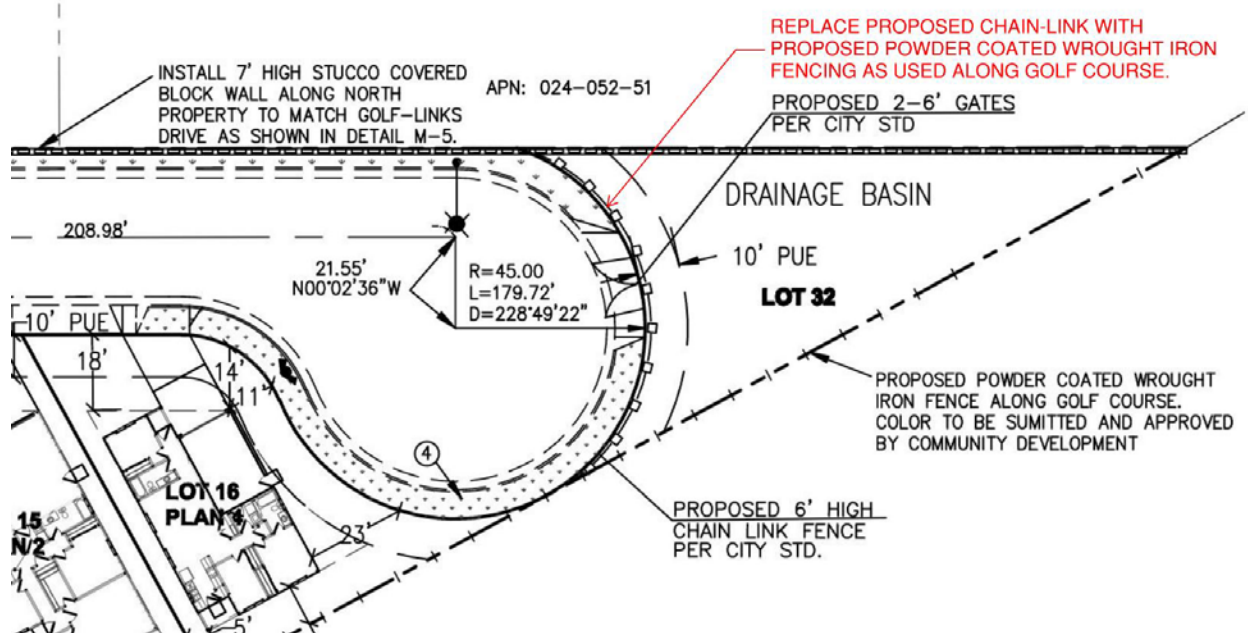
Tentative Map: The Tentative Subdivision Map includes 29 total residential lots and 3 outlots consisting of 1.2 acres. The streets servicing the area are Vine Street and Iona Avenue. Local streets are proposed as public streets. They will not comply with current City standards. The City engineer will accept the non-standard streets because they are already partially constructed. To change the project to meet City standard would make the project economically infeasible.

The new map configuration will supersede the previously approved TSM 2004-043 and reconfigure lot layouts for the 29 individual parcels shown.

Major Site Plan Review: The Major Site Plan Review comments and checklists from the City departments are attached. As noted, the proposed map is consistent with City standards for new subdivisions, as modified by the proposed PUD. A condition has been included in the Resolution to meet the conditions in the site plan comments/checklists.

Vehicular and Pedestrian Access: The proposed ingress/egress to the subdivision is via two entrances. One is from Vine Street at Sandtrap Lane and the other is just to the south at Green Lane. These two points of ingress/egress provide adequate traffic circulation and access for all 29 residential lots. Parcels adjacent to Vine Street would not have any direct access onto Vine Street. As a collector street under the General Plan designations, the proposed right-of-way of Vine Street would be 60 feet, which is acceptable to the Public Works Department and allowed by the General Plan.

Storm Drainage Basin: The Plan proposes to drain surface and collected stormwater to a basin at the eastern end of the site. The existing basin will be expected to accommodate all the stormwater runoff from the subdivision. Storm drainage basin calculations for sizing basin will need to be provided to the City. The lowest grade elevation within the development will be one foot above the high water level of the basin. Other specific requirements for storm drainage improvements can be found in the Major Site Plan Review comments.



Drainage Basin

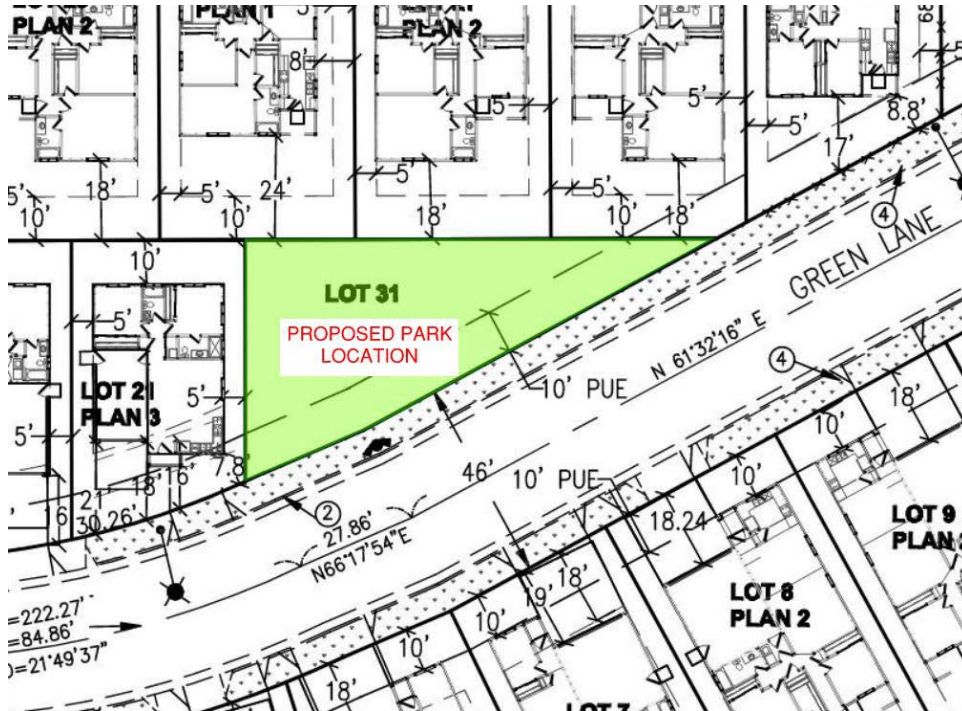
The triangular-shaped Storm Drain Basin will be fully enclosed with six-foot high wrought iron fencing on the south and west sides and a seven-foot high stucco CMU wall on the north. Maintenance Access to the basin will be via two six-foot wide wrought iron swing gates located on the east end of the Sandtrap Lane cul-de-sac at the designated approach apron and immediately adjacent the back of the proposed landscape buffer.

The applicant proposed a chain-link fence between the street and the basin. However, staff is recommending a condition that the fence and gates be constructed of the same powder coated wrought iron as that of the existing golf course fences. A 5' landscaped area is required between the back of the cul-de-sac sidewalk and the proposed fence line on the west edge of the ponding basin area.

Park: The park, shown on the plan as Lot 31, will be built to City standards by the developer and dedicated to the City when completed. Maintenance will be funded through a public facilities maintenance district (PFMD). The applicant has submitted a concept plan for landscaping of the park. Staff is recommending the proposed park be ADA compliant and include a minimum of one tot lot play structure suitable for 2-5 year olds, two park benches, one picnic table, shade trees, landscaping and access walk/walks connecting benches, table, play structure and the street. The park and all included

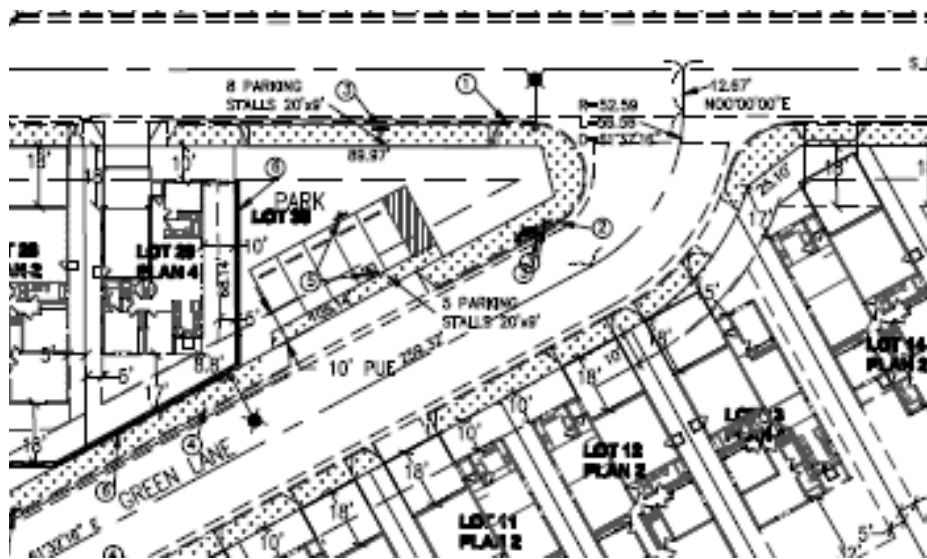
equipment shall be approved by the Community Development Director prior to installation. To ensure that the park is available to new residents, Staff is recommending a condition that the park be completed and open for use prior to completion of the 10th home.

The Lemoore Municipal Code requires 0.016 acres per single-family lot to be dedicated as park land with a new subdivision. The 29 lots would require 0.464 acres (or 20,212 sq.ft.) of park acreage. Based on the draft Tentative Subdivision Map submitted November 5, 2020, the park is approximately 3,128 sq.ft. Since the actual landscaped acreage of the park is less than 0.464 acres, the remaining acreage required for the Ordinance shall be provided through an in-lieu fee with the amount based on an appraisal of residentially zoned properties performed by an appraiser approved by the Community Development Director in accordance with City Ordinance Section 8-7N-4. The cost of the appraisal shall be paid by the developer. A condition is being recommended that up to \$7,500 in park in-lieu fees be credited toward the cost of the tot lot play structure.



Park Location

Parking Area: Lot 30 is designated as additional parking for residents and guests. Areas that do not contain pavement shall be landscaped in a manner compatible with the rest of the development.



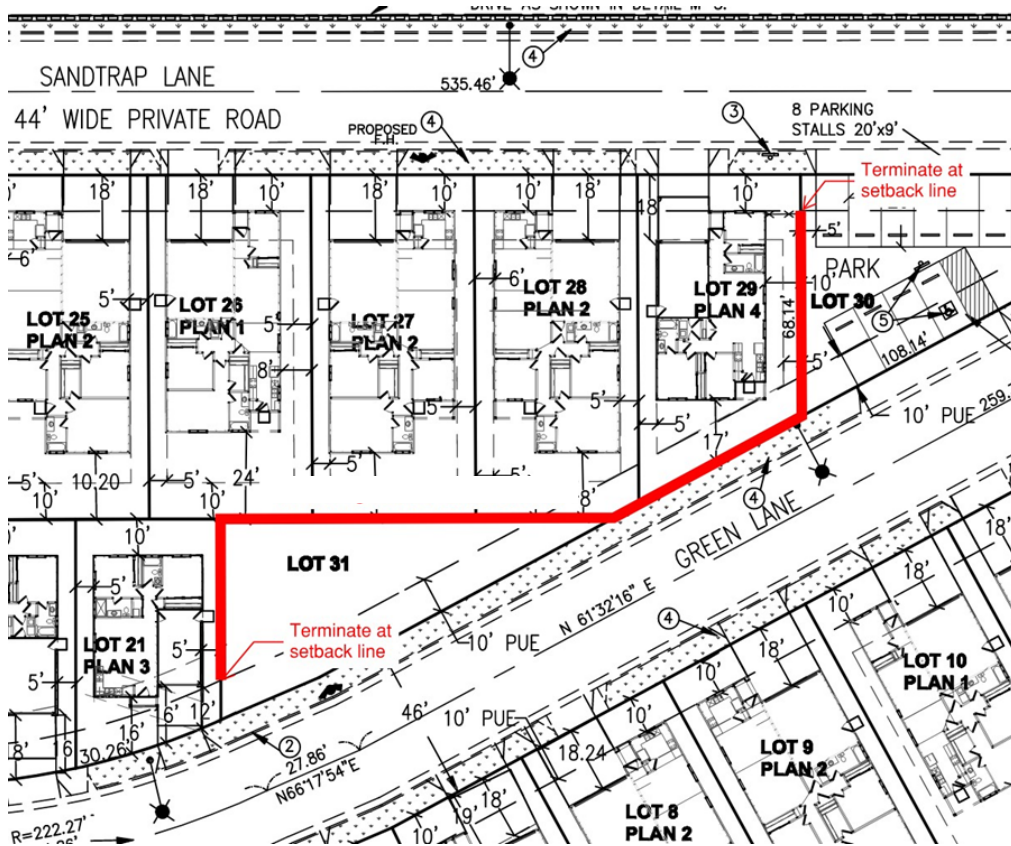
Parking Area

On-street Parking: Because the streets are narrower than City standard, on-street parking will only be allowed on the north side of Green Lane and Sandtrap Lane.

Walls & Fences: A minimum 6'8" high decorative masonry block wall shall be installed along the northern boundary line of the subdivision and along Vine Street and is to be compatible with the existing stucco covered wall in nearby golf course developments. The wall shall be constructed per City Standards and include columns and caps.

Fences along the south side of the subdivision, adjacent to the golf course, will be of powder coated wrought iron (or similar approved material) to match the properties of existing fencing currently surrounding the golf course. Staff is recommending this type of fencing between the cul-de-sac and the drainage basin. Staff is also recommending that the wrought iron fencing requirement be placed into the Conditions, Covenants, and Restrictions (CC&R's) so that future residents will know that they cannot replace the fencing with a different type.

Staff is recommending enhancements to the wood fence separating the residential living spaces from the proposed park and parking lot (Lots 30 and 31). This is because the City will be responsible for maintenance of the fence over time. The recommendation is that a continuous concrete mow strip be placed along the fence line, and that the fence posts be constructed of metal or concrete. This will lengthen the fence's lifespan before needing replacement.



Location of enhanced wood fence

Easements: The site plan indicates a proposed 10-foot wide public utility easement (PUE) on all lots adjoining the streets.

Due to the proximity of the wastewater treatment plant, a noise and odor easement needs to be recorded to legally inform buyers of the potential for noise and odor. This easement is required for all new subdivisions in Lemoore due to industrial, aircraft and agricultural activities, but it is especially important because of this project's proximity to the wastewater treatment facility.

Because the subdivision is located adjacent to the golf course, an airspace easement will need to be recorded. This is required to protect the golf course from claims for damage caused by golf ball impacts.

Water: Water service is provided by a looped line through the subdivision that connects to 12-inch service at Iona Avenue.

Fire Hydrants: The City Fire Department requires the installation of fire hydrants spaced approximately 300 feet apart within the subdivision and shall have adequate fire flow as determined by the City Engineer.

Streetlights: Streetlights will need to be provided along Vine Street and within the development. Streetlights along Vine Street will need to meet the City collector street standards. Streetlights along Sandtrap and Green Lanes will need to meet the City local street standards.

Cluster Mailboxes: The location of the cluster mailbox pads and installation of boxes are the responsibility of the developer and final number and location of the pads shall be coordinated with the Lemoore Postmaster.

Dust Control: Soil disruption during construction can cause significant fugitive dust, which is a major contributor to the current air quality problems in the region. The developer will need to comply with the San Joaquin Valley Air Pollution Control District standards and the City of Lemoore dust control requirements.

Planned Unit Development: The RLMD (Low-Medium Density Residential) zone has a minimum lot size standard of 3,000 square feet as shown in the Lemoore Municipal Code (LMC), Table 9-5A-4A. The applicant has proposed modifications to the development standards, which can be obtained through the approval of a Planned Unit Development (LMC, Title 9, Chapter 9), and would be conditioned on the future adoption of an ordinance by the City Council establishing an overlay zone for the Planned Unit Development. The proposed Planned Unit Development would modify those standards to allow smaller sized lots. The smallest lot would be 1,934 square feet. The average would be 3,750 square feet.

The RLMD (Low-Medium Density Residential) zone typically has a minimum front setback of 20 feet, 20 feet front for garage, 5 feet side (interior) for single-story homes, 10 feet side (interior) for two-story homes, 15 feet street side, 10 feet rear for single-story homes, and 10 feet rear for two-story homes, as shown in the Lemoore Municipal Code 9-5A-4A.

The applicant has proposed that the Planned Unit Development modify the standards to allow a change to the required minimum setbacks for this subdivision only. The project proposes minimum setbacks of 10 feet from the property line to front of living space and 18 feet to front of garage.

All the home layouts are single story with garages recessed behind the front living space. Street side setbacks will remain at 15 feet, Interior side setbacks at 5 feet and rear setbacks will remain at 10 feet for Lots 15 to 29 and would be 20 feet for Lots 1 to 14. The maximum height of the homes would remain the same as the standards in the zoning ordinance.

The home plans have been designed to fit on the site. While the lot sizes are changing, the desire to utilize the existing partially constructed infrastructure means that lot depths are fixed. The home plans have been designed to fit the proposed front and rear yard setbacks. The following table compares the City's minimum building setbacks in the RLMD zone to the previously approved PUD and the newly proposed PUD.

	Front Setback	Side Setback	Rear Setback
RLMD zone in Zoning Ordinance	Front to Living Space 20' Front to Garage 20'	Interior Side 5' Street Side 15'	10'
Previously Approved PUD	Front to Living Space 10' Front to Garage 10'	Single-story 5' Two-story 7.5'	13'
New Proposed PUD	Front to Living Space 10' Front to Garage 18'	Interior Side 5' Street Side 15'	20' (Lots 1 to 14) 10' (Lots 15 to 29)

As the table above shows, the new PUD proposes similar side and rear setbacks to the City's Zoning Ordinance. The revision proposed by the PUD occurs in the front setback with the front living space having only a 10' setback instead of the required 20' and the garage having an 18' setback as opposed to the required 20'.

Residential Master Home Plans: Review of residential master home plans is part of the Major Site Plan Review process for new residential subdivisions. The architecture of the home plans is depicted in the attached floor plan and elevation plans. Four floor plans were submitted with square footages of between 867 and 1,551 square feet. All the homes are single-story.

Plan 1 Models have three bedrooms. There are two possible façade treatments, architectural detail treatments, and roof line options. It has a two-car garage.

Plan 2 Models also have three bedrooms. There are two possible façade treatments, architectural detail treatments, and roof line options. It has a two-car garage.

Plan 3 Model has two bedrooms. There is one possible façade treatment option. It has a one-car garage. Only one of these homes is planned in the neighborhood.

Plan 4 Models have three bedrooms. There are two possible façade treatments, architectural detail treatments, and roof line options. It has a one-car garage.

To meet the standards for home plans in the Zoning Ordinance, a condition has been recommended that the detailing placed on the front of the house be wrapped around to the side of the house and on the street side of corner lots and that all homes shall be oriented to the street with garages deemphasized and living areas placed toward the front of homes. All other requirements for new master plan home designs are being met, including the requirement that all home plans provide entry features from a public or common sidewalk.

Staff reviewed the master home plans and elevations for conformance with Lemoore's Zoning Ordinance Section 9-5C-3 (Design Standards for Residential Projects.) In all,

seven different front elevation “looks” would be available to meet the City’s “six pack” rule. To match the requirements of the golf course subdivisions, tile roofs are required. Since all home elevations are substantially the same (one window and one garage door on either side of a centered front door), staff recommends offering purchasers an “option” to include brick and/or stone facades to further enhance the front elevations.

Illustrations of the floor plans and front elevation plans can be found in the attachments. A comparison of all seven possible elevations is also attached, along with a rendering of a carriage style garage door proposed by the developer.

Utilities and Development Impact Fees: All remaining utilities that do not currently exist on the site, will be installed by the developer. The project is serviced by the existing sewer line along Vine Street. Development impact fees will be paid when the homes acquire their certification of occupancy just prior to move-in.

Environmental Assessment: Because the site was previously partially developed, a Class 32 (Infill) Categorical Exemption was prepared for the project in accordance with the California Environmental Quality Act (CEQA). The previous approvals on the site included the approval of a Negative Declaration. However, it was a less common practice at that time to utilize this particular CEQA exemption.

Recommended Findings:

Staff recommends that the following findings be included in the Commission’s recommendation for approval. These findings are required by the Zoning Ordinance to be made to approve the project.

1. The project is consistent with the General Plan goals, policies, and implementation programs of the City.
2. The Planned Unit Development (PUD) is compatible and in conformity with public convenience, general welfare, and good land use and zoning practice. The PUD provides for alternative development standards that will increase the density of the site while avoiding negative impacts.
3. The PUD will not be detrimental to the health, safety, and general welfare of the City.
4. The PUD will not adversely affect the orderly development of property or the preservation of property values as the project involves the development of well-designed single-family homes.
5. The Tentative Subdivision Map is consistent with the General Plan and all applicable provisions of the Zoning Code, once approved as part of the PUD.
6. The proposed project will not be substantially detrimental to adjacent properties and will not materially impair the purposes of the Zoning Ordinance or the public interest.
7. As proposed and conditioned herein, the site design of the project is consistent with the residential development standards in the Zoning Ordinance, as modified by the Planned Unit Development.

8. The proposed project is consistent with the objectives of the General Plan and complies with applicable zoning regulations, including the proposed overlay zone for the Planned Unit Development, specific plan provisions, and improvement standards adopted by the City.
9. The proposed architecture, site design, and landscape are suitable for the purposes of the buildings and the site and will enhance the character of the neighborhood and community, upon approval of the conditions.
10. The architecture, character, and scale of the buildings and the site are compatible with the character of buildings on adjoining and nearby properties, upon approval of the conditions.
11. The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.
12. The project's lot sizes are consistent with densities in the General Plan and are appropriate for this site.

Recommended Conditions

Staff recommends that the following conditions be placed on the project:

1. The site shall be developed consistent with the approved Tentative Subdivision Map, as modified by the Planned Unit Development, these conditions, this staff report, and applicable development standards found in the Zoning Ordinance and Lemoore Municipal Code.
2. The site shall be developed consistent with the Site Plan Review comments dated February 16, 2021, along with the attached department checklists.
3. The project shall be developed and maintained in substantial compliance with the Tentative Subdivision Map, except for any modifications that may be needed to meet these conditions of approval.
4. The final subdivision map shall be submitted in accordance with City ordinances and standards.
5. Plans for all public and private improvements, including but not limited to, water, sewer, storm drainage, road pavement, curb and gutter, sidewalk, streetlights, landscaping, and fire hydrants shall be approved by the City Engineer. These improvements shall be completed in accordance with the approved plans to the satisfaction of the Public Works Department.
6. The ponding basin and storm drainage improvements shall be designed and constructed per the Site Plan Review comments and City Improvement Standards.
7. The park shall be constructed and opened to the public for use prior to the final inspection of the 10th new home is constructed. Development of the park shall include at least one tot lot play structure suitable for 2-5 year olds, two benches, one picnic

table, shade trees, landscaping and ADA access to all amenities. The acreage of the park area shall be counted toward park land dedication requirements in Section 8-7N-4 of the City Municipal Code.

8. Park in-lieu fees are required pursuant to Section 8-7N-4. Up to \$7,500 of the estimated cost to install the 2-5 year old tot lot play structure may serve as a credit against in-lieu fees. Proposed park amenities and estimated costs shall be submitted, reviewed, and approved by the Community Development Director during the preparation and acceptance of the project's required subdivision improvement agreement. Any appraiser needed to meet the requirements of Section 8-7N-4 shall be acceptable to the Community Development Director. The cost of the appraisal shall be paid by the developer.
9. A public facilities maintenance district shall be formed in conjunction with the Final Subdivision Map acceptance in order to provide the maintenance costs for the park, common landscaping, and other improvements in accordance with existing City policy.
10. The project shall be subject to the applicable development impact fees adopted by resolution of the City Council.
11. In conjunction with approval of the Final Subdivision Map, a noise and odor easement shall be recorded on all lots created to acknowledge the presence of nearby wastewater treatment plant, industry, aircraft, and agriculture, and the right of such uses to continue to emit such noise and odors as are otherwise allowable by law and to ensure that such uses in these areas are not unreasonably hindered by residential users and owners that move in or nearby at a later date.
12. The developer shall comply with the standards, provisions, and requirements of the San Joaquin Valley Air Pollution Control District that relate to the project.
13. A minimum six-foot eight-inch high stucco covered block wall shall be constructed along the entire length of the north property line north of Sandtrap Lane and along Vine Street. The wall shall be constructed per City standards and include columns and caps.
14. Wood fences adjacent to the Park and Parking Area (Lots 30 and 31) shall include a concrete footing and metal or concrete posts.
15. Fences along the property line adjacent to the golf course and between the ponding basin and cul-de-sac shall be constructed and maintained with wrought iron fencing to be consistent with existing fences in other nearby golf course developments. Access to the basin will be via two six-foot wide wrought iron swing gates located on the east end of the Sandtrap Lane cul-de-sac at the designated approach apron and immediately adjacent the back of the proposed landscape buffer.
16. Fire hydrant types and locations shall be approved by the Lemoore Volunteer Fire Department.
17. Concrete pads for installation of mailboxes shall be provided in accordance with determinations made by the Lemoore Postmaster.

18. Street trees from the City approved street tree list shall be planted with root barriers as per Public Works Standards and Specifications.
19. Streetlights shall be provided within the project as per City local streetlighting standards.
20. The sidewalk type along local streets (parkway type or curb adjacent type) shall be consistent throughout all phases of the subdivision, as per City standard.
21. Any existing roadway, sidewalk, or curb and gutter that is damaged during construction shall be repaired or replaced to the satisfaction of the Public Works Department.
22. All signs shall require a sign permit separate from the building permit.
23. The project and all subsequent uses must meet the requirements found in Section 9-5B-2 of the Zoning Ordinance related to noise, odor, and vibration, and maintenance.
24. Lot sizes less than 3,000 square feet are approved, consistent with the sizes shown on the Tentative Subdivision Map.
25. The project shall be added to Article "B" of Chapter 9 of Title 9 of the Lemoore Municipal Code, and the previously approved PUD shall be stricken, as follows:

Table 9-9B-3-1

Number	Name	Date Approved	Resolution Number	Average Density Per Gross Acre (du/ac)
2004-04	Coker Ellsworth Golf Course, Tract 752	February 1, 2005	2005-04	3.94
2020-03	GJ Gardner, Fairway Courtyards	~, 2021	2021-XX	6.3

Table 9-9B-4-1

Number	Name	Front Setback	Side Setback	Rear Setback
2004-02	Coker Ellsworth Fairway Courtyards, Tract 820	10' minimum	5' and 5' single story/15' combined for 2 story	13' minimum
2020-03	GJ Gardner, Fairway Courtyards	10' to living space 18' to garage	5' interior side 15' street side	20' (lots 1 to 14) 10' (lots 15 to 29)

26. Master home plans shall be substantially consistent to the floor plans and elevations submitted with the Tentative Subdivision Map, unless subsequently modified by the Planning Commission. Detailing used on the front of the home shall be carried around (or wrapped around) to the street side of the home where the side of the home is visible from the public street, such as in front of the fence. Developer to offer purchasers an “option” to include brick and/or stone facades to further enhance the front elevations.
27. Master Home Plans shall be modified to include tile roofs, similar to other golf course developments.
28. The developer shall prepare and record a Declaration of Covenants, Conditions, and Restrictions (CC&R's). A draft of the CC&R's shall be reviewed and approved by the Community Development Director prior to recordation.
29. The CC&R's shall require wrought iron fencing adjacent to golf course property similar to other established fences in nearby golf course developments.
30. The CC&R's shall include the following wording: The owner hereby reserves an easement, as hereinafter described in the entire airspace over, above, and upon all the lots in the subdivision, including any structures to be built thereon. The said easement shall and may be used and is intended for the following purposes: The flight of golf balls through the air over said lots. The entry of golf balls upon and/or across said lots, and over the normal and customary use of the remainder parcel as a municipal golf course. Any golf balls entering upon and occupying said parcels shall become the property of the owners of the respective parcels. Nothing herein is intended nor shall be construed to permit entry upon said lots by any person using the remainder parcel, including, but not limited to, for purposes of retrieval of golf balls. This easement shall not be constructed nor intended as a limitation on construction of improvements on said lots.
31. The CC&Rs shall include the following wording: The owner hereby acknowledges the nearby location of the City of Lemoore Waste Water Treatment Plant, industry, aircraft and agriculture, which have the potential to produce noise and odor.
32. The Tentative Subdivision Map approval shall expire two years from its effective date, unless a Final Subdivision Map is filed or an extension is granted via legislation or by the City, in accordance with the Subdivision Map Act. Expiration dates for the Major Site Plan Review shall run consistent with the expiration date of the Tentative Subdivision Map. The effective date of the Tentative Subdivision Map shall be the date the PUD Ordinance becomes effective, which is 30 days after the Ordinance is adopted.

Attachments:

Exhibit A – Planned Unit Development No. 2020-03

Exhibit B – Fairway Courtyards Tentative Subdivision Map No. 2020-02

Exhibit C – Existing Parcels

Attachments Continued:

Conceptual Plan of Park

Home Floor Plans and Elevation Plans

Side-by-Side Comparison of all Seven Elevations

Garage Door Rendering

Major Site Plan Review Comments Dated February 16, 2021

Draft Resolution No. 2021-01

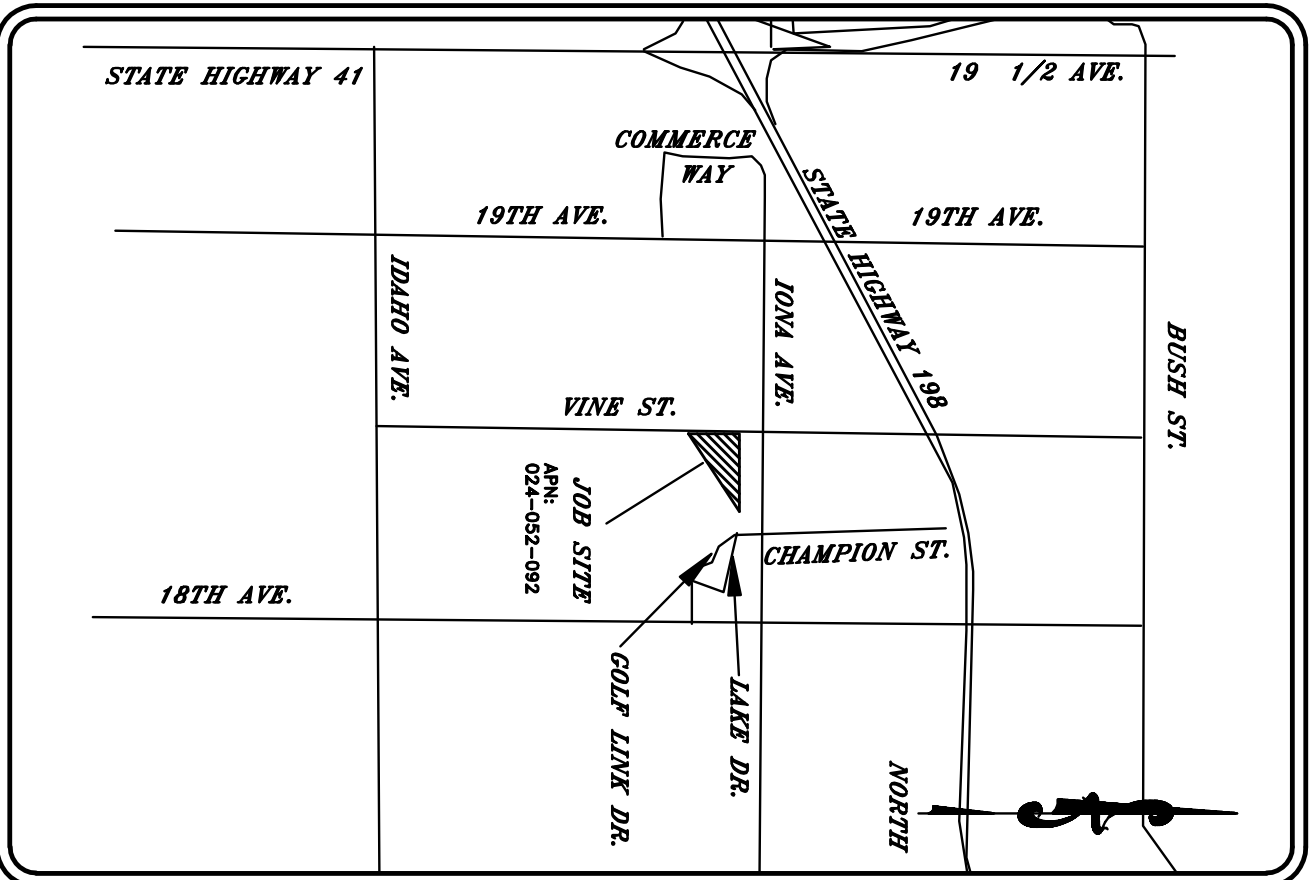
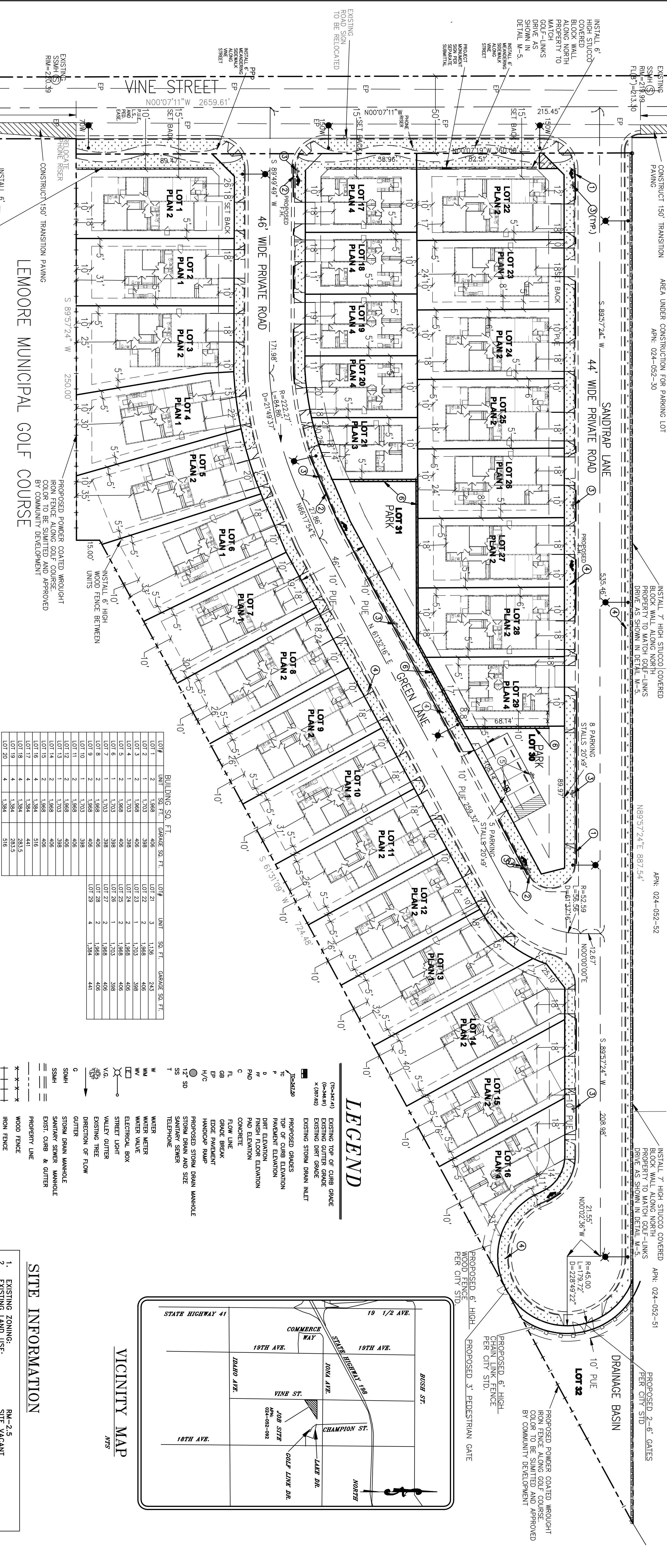
CEQA – Notice of Exemption

General Plan Land Use Map

Zoning Map

PLANNED SITE PLAN PLAN UNIT DEVELOPMENT /
REVISED TENTATIVE SUBDIVISION MAP NO. 820
FAIRWAY COURTYARDS
CITY OF LEMOORE

COUNTY OF KINGS, STATE OF CALIFORNIA
SHEET 2 OF 11



SITE INFORMATION

1. EXISTING ZONING: RM-2.5
2. PROPOSED ZONING: RM-2.5
3. PROPOSED LAND USE: MULTI-FAMILY RESID.
4. A.P.N.: 024-052-092
5. SOURCE OF WATER: DISPOSAL: CITY OF LEMOORE
6. SOURCE OF SEWER: DISPOSAL: CITY OF LEMOORE
7. SOURCE OF GAS: P.G.& E.
8. SOURCE OF CABLE T.V.: SOUTHERN CALIFORNIA GAS
9. PROPOSED IMPROVEMENTS: CITY OF LEMOORE STD.
10. PROPOSED IMPROVEMENTS: CITY OF LEMOORE STD.
11. PROPOSED IMPROVEMENTS: CITY OF LEMOORE STD.
12. PROPOSED IMPROVEMENTS: CITY OF LEMOORE STD.
13. PROPOSED IMPROVEMENTS: CITY OF LEMOORE STD.
14. AVERAGE LOT AREA: 3750 ± S.F.
15. DENSITY: 9.2 UNITS PER AC
16. LANDSCAPE AREA / OPEN AREA: 1934 S.F. ±
17. MINIMUM LOT SIZE:

LOT#	UNIT	SO. FT.	GARAGE SQ. FT.	LOT#	UNIT	SO. FT.	GARAGE SQ. FT.
LOT 1	2	1,968	406	LOT 21	3	1,136	243
LOT 2	1	1,703	398	LOT 22	2	1,968	406
LOT 3	2	1,968	406	LOT 23	1	1,703	398
LOT 4	1	1,703	398	LOT 24	2	1,968	406
LOT 5	2	1,968	406	LOT 25	2	1,968	406
LOT 6	1	1,703	398	LOT 26	1	1,703	398
LOT 7	2	1,968	406	LOT 27	2	1,968	406
LOT 8	2	1,968	406	LOT 28	2	1,968	406
LOT 9	2	1,968	406	LOT 29	4	1,384	441
LOT 10	1	1,703	398				
LOT 11	2	1,968	406				
LOT 12	2	1,968	406				
LOT 13	1	1,703	398				
LOT 14	2	1,968	406				
LOT 15	2	1,968	406				
LOT 16	4	1,384	441				
LOT 17	4	1,384	441				
LOT 18	4	1,384	283.5				
LOT 19	4	1,384	283.5				
LOT 20	4	1,384	516				

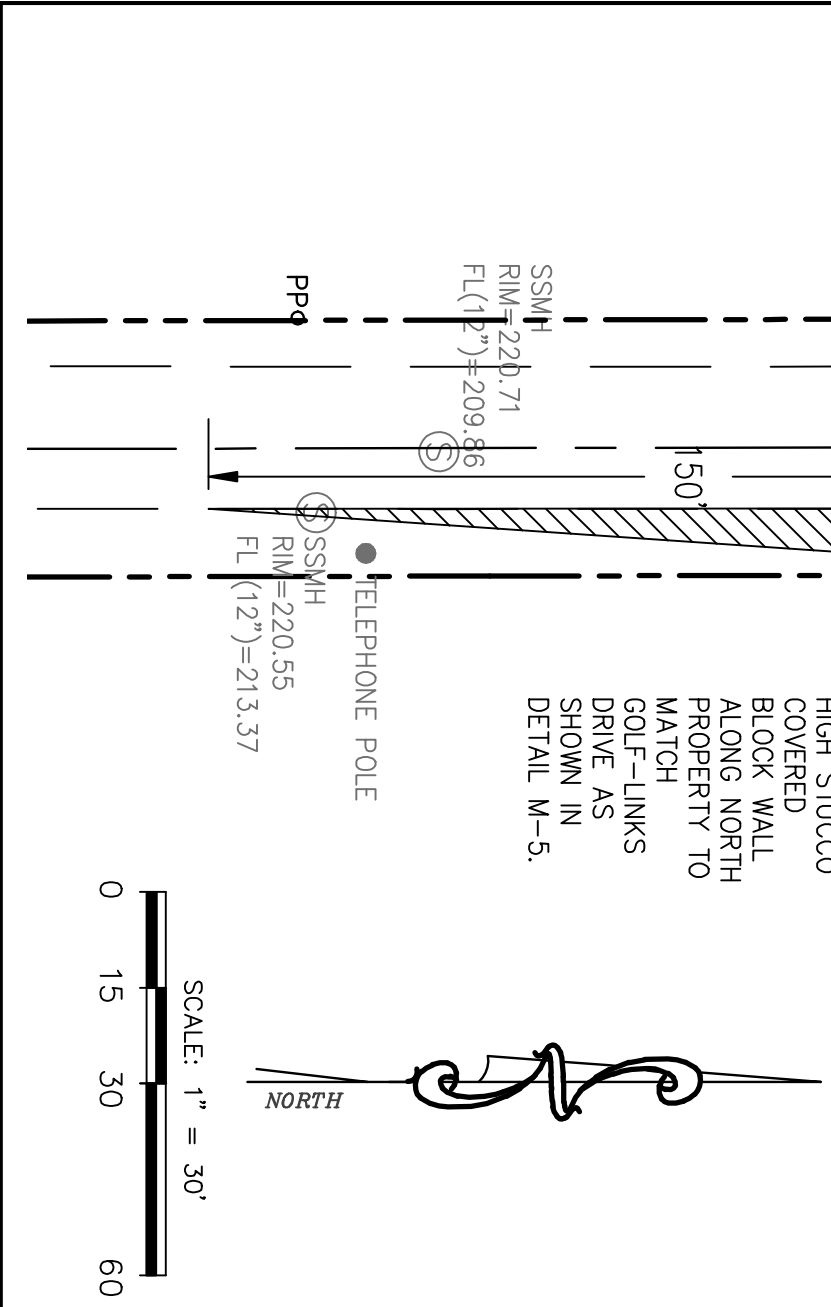
SITE NOTES:

1. PAINT CURB RED ALONG THE SOUTH SIDE OF SANDTRAP LANE - NO PARKING ALLOWED
2. PAINT CURB RED ALONG THE NORTH SIDE OF GREEN LANE - NO PARKING ALLOWED
3. INSTALL NO PARKING SIGN PER CALTRANS STD. AND PAINT CURB RED
4. INSTALL LANDSCAPING PER SEPARATE PLANS
5. INSTALL HANDICAP PARKING PAINT AND SIGN
6. INSTALL 6" HIGH STUCCO COVERED BLOCK WALL ALONG BOUNDARY LINE OF LOT 30, 28, 29 AND 30 TO MATCH GOLF-LINKS DRIVE AS SHOWN IN DETAIL M-5.

LOT BUILDING MIN. SET BACK:

- ALL LOTS:
- FRONT SET BACK 18 FEET
 - SIDE SET BACK 5 FEET
 - BACKYARD SET BACK 10 FEET
 - EXCEPT FOR LOTS NO. 17, 18, 19, 20, 21 AND 29:
 - FRONT SET BACK MIN. 10 FEET
 - EXCEPT FOR LOT 28: MIN. FRONT SET BACK 15 FEET

LEMOORE MUNICIPAL GOLF COURSE



Harbison International Inc.
Engineers – Surveyors – Planners
27755 E. SHAW AVE., SUITE 101, FRESNO, CA 93710, USA
PHONE: (559) 294-7485 FAX: (559) 294-7461

DALE H. WANN R.C.E. 23273

DATE

REGISTERED PROFESSIONAL ENGINEER
CIVIL
No. 12373
Exp. 12-31-24

DALE H. WANN

REGISTERED PROFESSIONAL SURVEYOR
No. 12373
Exp. 12-31-24

DALE H. WANN

DESIGNED BY: JUNE

CHECKED BY: M. HANZLY

DRAWN BY: JUNE

DATE: 11-5-2020

DATE: 12-4-2020

DATE: 01-24-2021

DATE: 01-24-2021

DATE: 01-24-2021

DATE: 01-24-2021

REVISIONS

APPROVALS

DATE

APPROVED

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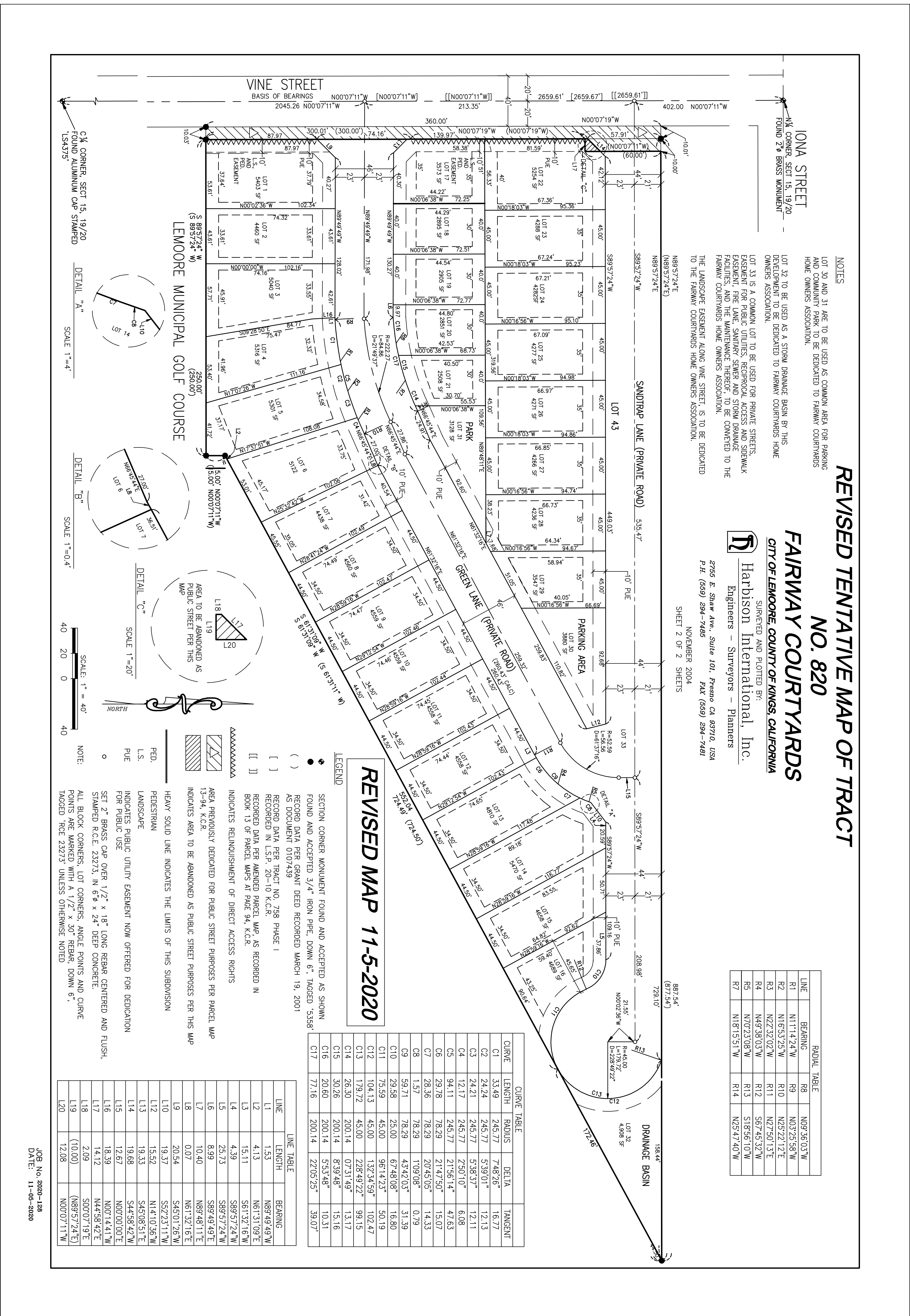
Subdivision Map No. 2004-04

Project Title: TRACT NO. 820 - FAIRWAY COURTYARDS
CITY OF LEMOORE, CA

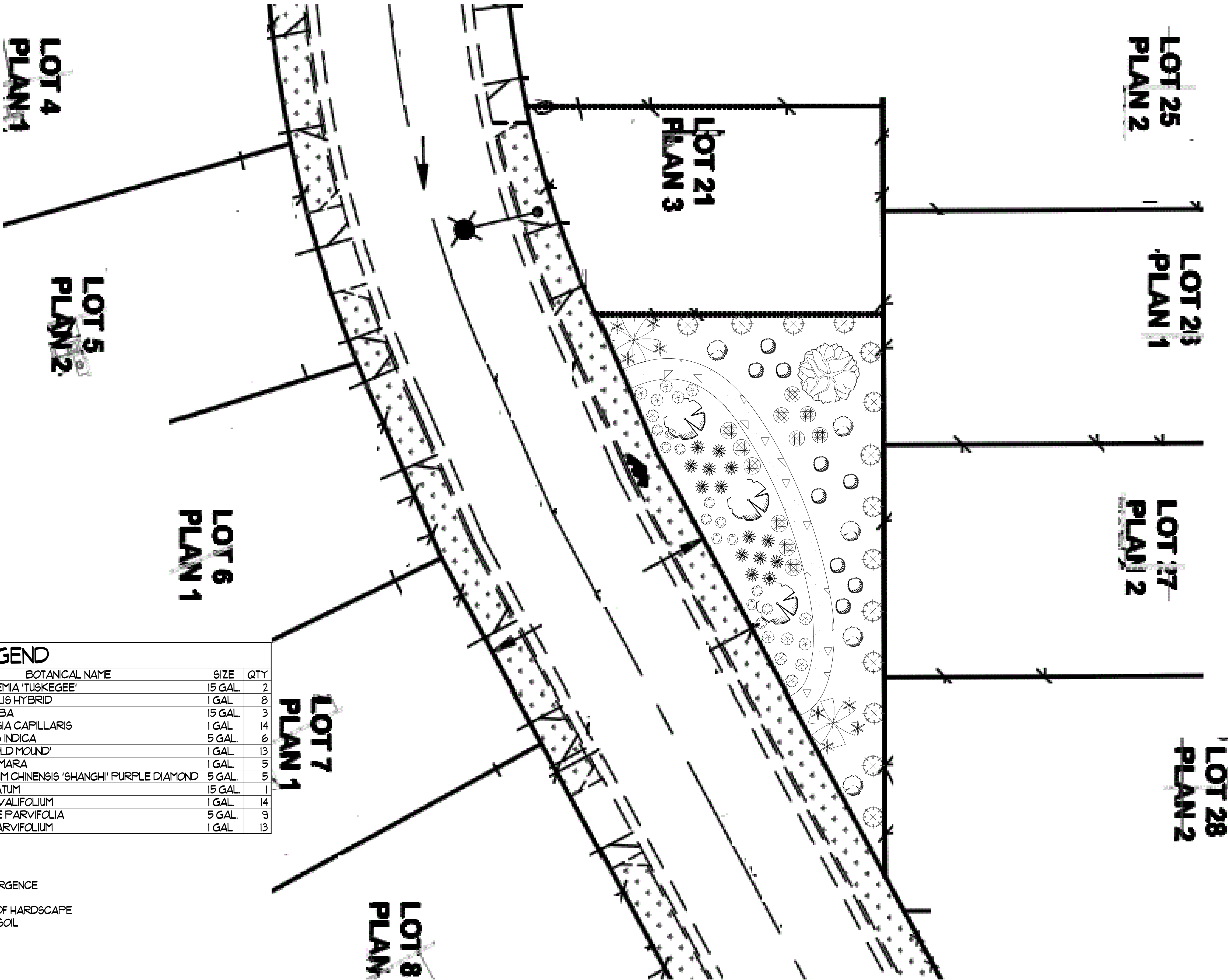
Project Description: REVISED SITE PLAN

SHEET NO. C-2

OF 11 SHEETS



Existing Parcels



RAINSCAPE

1222 N. ROSEBURG CT., VISALIA, CA 93291

PHONE: (559) 651-2333

I have complied with the criteria of "MWELQ" and applied them for the efficient use of water in the landscape & irrigation design plan.

SHAWN COOPERShawn CooperLicensee Landscape Contractor # 318642

RAINSCAPE

1222 N. ROSEBURG CT., VISALIA, CA 93291

PHONE: (559) 651-2333

I CERTIFY THAT I AM ELIGIBLE UNDER PROVISIONS OF APPLICABLE CODES & REGULATIONS TO SIGN THIS DOCUMENT AS THE PERSON RESPONSIBLE FOR ITS PREPARATION & THAT I AM THE LICENSED CONTRACTOR WHO WILL PERFORM THIS WORK.

SHAWN COOPERShawn CooperDATE12-31-2020LICENSE NO. 318642

LEGEND			
	COMMON NAME	BOTANICAL NAME	
✳	CRAPEMYRTLE, PINK-RED	LAGERSTROEMIA 'TUSKEGEE'	SIZE QTY
✳	DAYLILY, STELLA	HEMEROCALLIS HYBRID	1 GAL 8
✳	GINGKO	GINGKO BILOBA	15 GAL 3
✳	GRASS, MULHY PINK	MUHLENBERGIA CAPILLARIS	1 GAL 14
✳	HAWTHORN, INDIAN PRINCESS	RAPHIOLEPIS INDICA	5 GAL 6
✳	LANTANA, GOLDMOUND	LANTANA 'GOLD MOUND'	1 GAL 13
✳	LANTANA, PURPLE	LANTANA CAMARA	1 GAL 5
✳	LOROPETALUM, PURPLE DIAMOND	LOROPETALUM CHINENSIS 'SHANGHI' PURPLE DIAMOND	5 GAL 5
✳	MAPLE, ACER PALMATUM	ACER PALMATUM	15 GAL 1
✳	PRIVET, CALIFORNIA	LIGUSTRUM OVALIFOLIUM	1 GAL 14
✳	YUCCA, RED	HESPERALOE PARVIFOLIA	5 GAL 9
✳	MYOPORIUM	MYOPORIUM PARVIFOLIUM	1 GAL 13

2" COMPACTED DG WITH EDGING

NOTES:
SHRUB AREAS TO RECIEVE 3" MULCH OVER PRE EMERGENCE
ALL TREES TO BE DOUBLED STAKED
ROOTBARRIER REQUIRED FOR ALL TREES WITH IN 8' OF HARDSCAPE
INCORPORATE 6CY COMPOST PER 1000 SQ FT INTO SOIL

Revision #:

Date: 12/31/2020

Scale:

1" = 10'

Landscape Plan: L-1

Fairway Courtyards Park

Landscape Design by: Shawn Cooper

Rainscape

**FAIRWAY COURTYARDS
HOME FLOOR PLANS & ELEVATION PLANS**

Plan	No.	Square Feet		
Plan 1	8	1,703 sq.ft.	2 elevations	two-car garage
Plan 2	14	1,968 sq.ft.	2 elevations	two-car garage
Plan 3	1	1,136 sq.ft.	1 elevation	one-car garage
Plan 4	6	1,384 sq.ft.	2 elevations	one-car garage
Total	29			

This floor plan shows a 3-bedroom, 2-bathroom house with a garage and an optional patio. The layout includes:

- Garage:** 8'-0" CLG, CONG., with a 16'00 METAL GARAGE DR.
- Living Room:** 8'-0" CLG, CARPET.
- Dining Room:** 8'-0" CLG, SPC.
- Kitchen:** 8'-0" CLG, SPC, featuring a sink, stove, and refrigerator.
- Optional Patio:** 8'-0" CLG, CONG.
- Entry:** 8'-0" CLG, SPC.
- Bedrooms:**
 - Bed 1:** 8'-0" CLG, CARPET.
 - Bed 2:** 8'-0" CLG, CARPET.
 - Bed 3:** 8'-0" CLG, CARPET.
- Bathrooms:**
 - Bath 1:** 8'-0" CLG, SPC.
 - Bath 2:** 8'-0" CLG, SPC.
- Hall:** 8'-0" CLG, CARPET.
- Laundry:** 8'-0" CLG, SPC.
- W.C. (Water Closet):** 8'-0" CLG, CARPET.
- M. Bath (Master Bathroom):** 8'-0" CLG, SPC.
- Other Features:** A SINK, STOVE, and REFRIG. are located in the kitchen area. A 16'00 METAL GARAGE DR. is shown at the bottom of the garage.

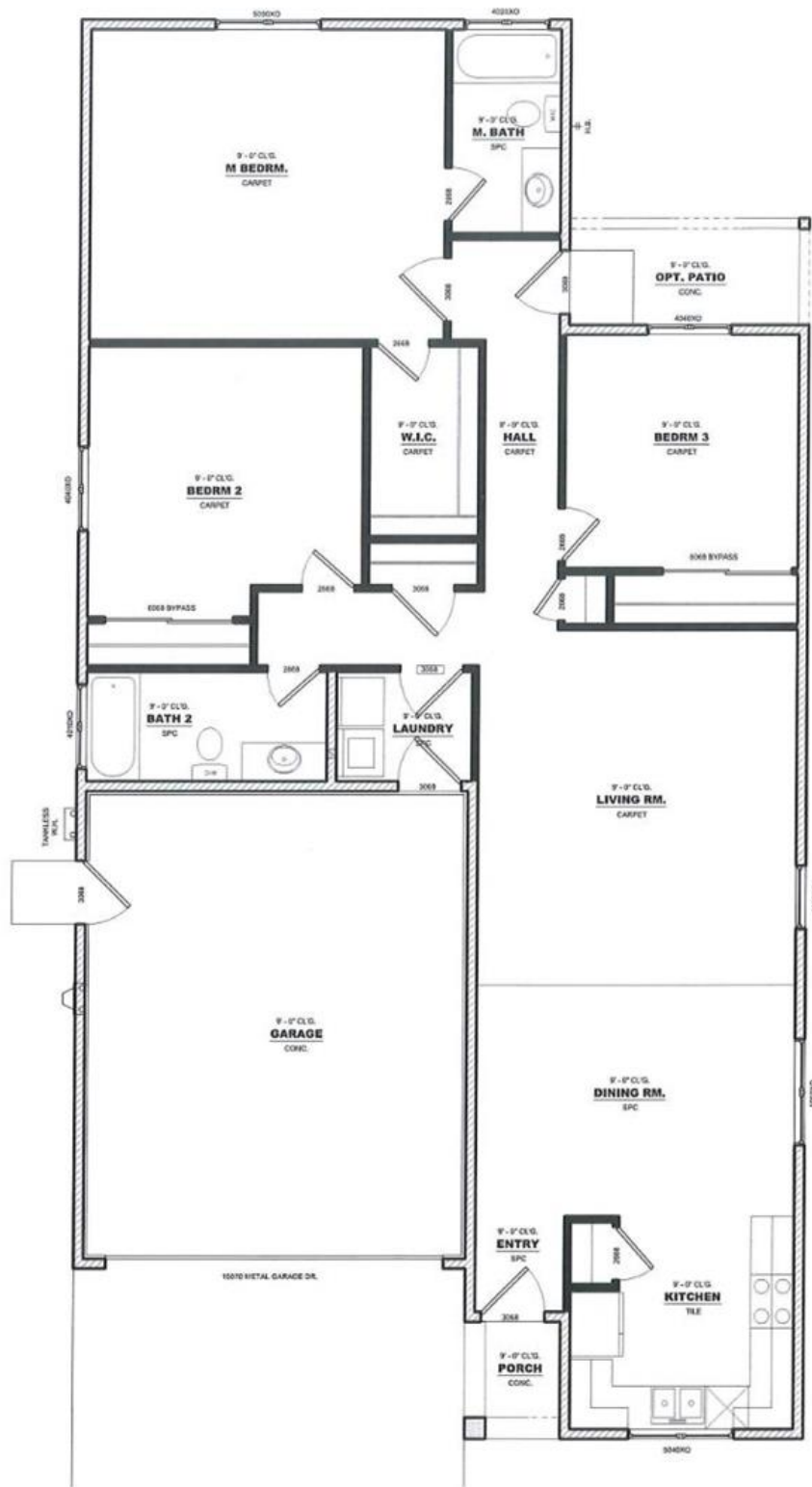
Plan 1
1304 - A elevation



Plan 1
1304 - B elevation



PLAN 2 MODEL



Plan 2
1551-B elevation



Plan 2
1551-A elevation



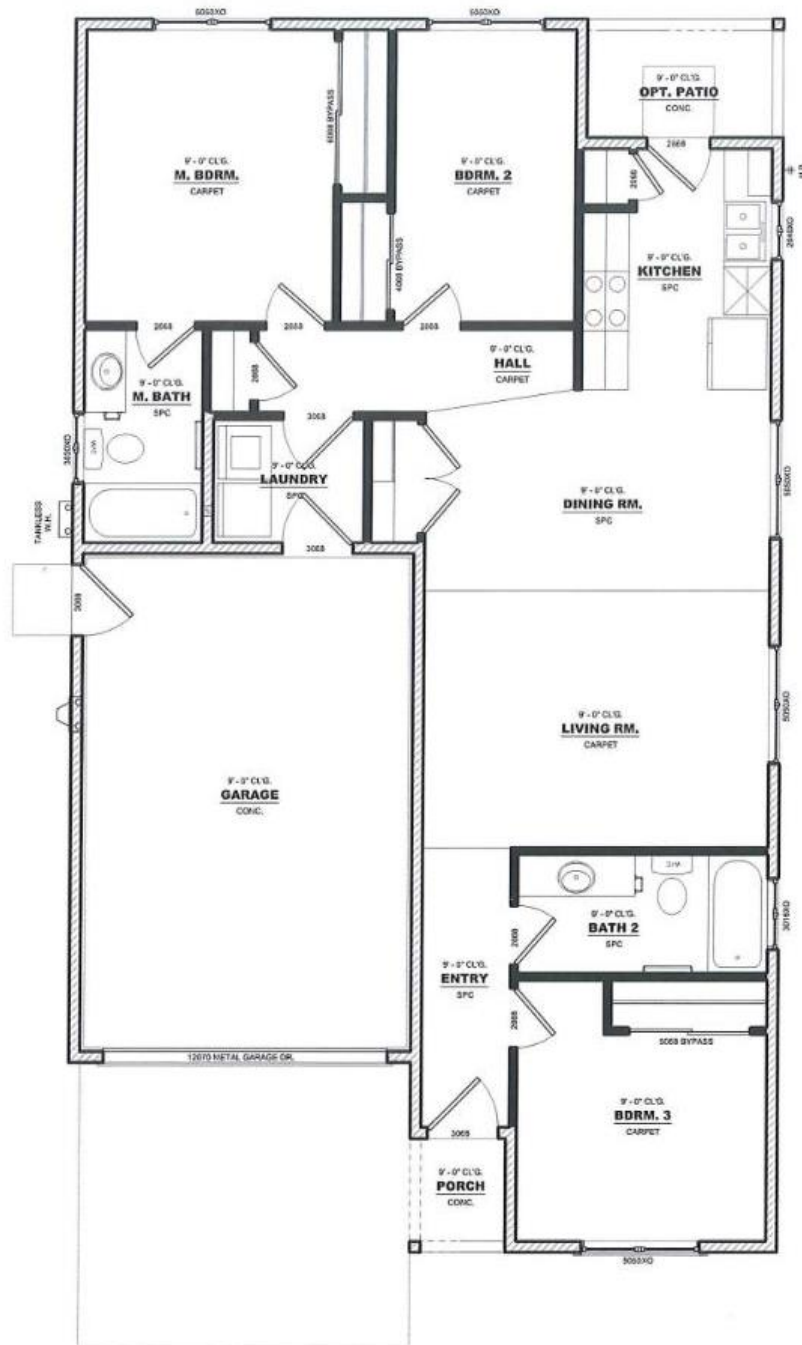
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Plan 3

2222 – A elevation



PLAN 4 MODEL



Plan 4

1073 – A elevation



Plan 4

1073 – B elevation



Plan 1
1304 - A elevation



Plan 1
1304 - Belevation



Plan 2
1551 - A elevation



Plan 2
1551 - B elevation



Plan 3



Plan 4
1073 - A Elevation



Plan 4
1073 - B elevation





711 W. Cinnamon Drive • Lemoore, CA 93245 • Planning (559) 924-6744
Community Development Department

Site Plan Review

To: GJ Gardner Homes
From: Steve Brandt, City Planner
Date: February 16, 2021
Subject: Planned Unit Development No. 2020-03, Revision of Fairway Courtyards Tentative Subdivision Map 2020-02, and Major Site Plan Review No. 2020-05: A request by GJ Gardner Homes to divide 4.59 acres into 29 single-family lots and three outlots. The project is located on the east side of Vine Street, approximately 400 feet south of Iona Avenue in the City of Lemoore (APNs: 024-390-001,-002,-003,-004,-005,-006,-007,-008,-009,-010,-011,-012,-013,-014,-015,-016,-017,-018,-019,-020,-021,-022,-023,-024,-025,-026,-027,-028,-029,-030,-031,-032,-033,-034,-035,-036,-037,-038,-039,-040,-041,-042). A Categorical Exemption has been prepared in accordance with the California Environmental Quality Act.

Building plans shall be submitted based on the following comments.

Any deviation from the approved plans shall require an amendment to the prior approvals or approval of a new permit as determined by the City.

1st Submittal

The site plan is approved with the corrections identified in the attached comments, subject to final approval by the City Council.

Zoning/General Plan:

The proposed use of the site is allowed in the Low-Medium Density Residential zone.

Environmental Review:

The project has been determined to be Categorically Exempt from CEQA (Class 32).

Time Limits:

Unless a condition of approval establishes a different time limit, this permit, if not exercised within

two (2) years of approval, shall expire and become void, except where an extension of time is approved in compliance with Lemoore Municipal Code Section 9-2A-9 subsection C, "Permit Extensions". The exercise of a permit occurs when the applicant or property owner has performed substantial work and incurred substantial liabilities in good faith reliance upon such permit(s).

Attached Comments:

Comments from Planning
Comments from Engineering, with Site Plan notes
Comments from Refuse
Comments from Solid Waste
Comments from Streets Traffic
Comments from Building
Comments from Fire
Comments from Public Safety

SITE PLAN REVIEW COMMENTS



DATE: December 4, 2020
 SITE PLAN NO: Major Site Plan Review No. 2020-05
 PROJECT TITLE: Fairway Courtyards
 DESCRIPTION: Amendment to Subdivision Tract Map TR 820
 APPLICANT: GJ Gardner (Energy Homes)
 PROPERTY OWNER: Coker Ellsworth
 LOCATION: SE Corner of Iona Ave and Vine Street
 APN(S): 024-039-001 through 024-039-043

PLANNING

Planning/Zoning - The following comments are applicable when checked. Comments in *italics* are specific to the project.

- ☒ General Plan Land Use Element land use designation(s): *Low-Medium Density Residential*
- ☒ General Plan Circulation Element adjacent street(s): *Vine Street is designated an existing Collector Street.*
- ☒ Zoning designation: *Low-Medium Density Residential (RLMD)*
- ☒ Proposed land use: *development of 29-lot single-family residential subdivision and 3 out-lots for a park, parking area and drainage basin.*
- ☒ Allowed use ☐ Not allowed use ☐ Requires a conditional use permit

- ☒ Setbacks and heights:

	Required	Proposed	
Front of building	<i>20 feet with 2-foot stagger from adjacent homes</i>	<i>10 feet min. to living space 20 feet min. garage</i>	<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise
Interior Side	<i>5 feet min.</i>	<i>5 feet min.</i>	<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise
Street Side	<i>15 feet min.</i>	<i>15 feet min.</i>	<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise
Rear	<i>10 feet min.</i>	<i>Lots 1 to 14, 20 feet min. Lots 15 to 29, 10 feet min.</i>	<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise
Height	<i>35 feet max.</i>	<i>35 feet max.</i>	<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise

Minimum 20-foot setback fence at rear of lots fronting onto the municipal golf course to the rear of residential structures for Lots 1 to 14. Modified setbacks to be approved through PUD.

- ☒ Open Space Requirements: *1.2 acres of dedicated out-lots for a park, parking lot and drainage basin.*
- ☒ Off-street Parking required: *2 vehicles per unit required. Seven home plans have 1-car garages. This is offset by 5-space neighborhood parking lot. Additional street parking on cul de sac with no homes fronting on it.*
- ☒ Parking: ☒ Minimum Parking is met. ☐ Parking is needed.
- ☒ Outdoor lighting: *Required in parking area.*

General Lighting Requirements: The requirements listed below shall apply to all outdoor lighting:

- Nuisance Prevention: All outdoor lighting shall be designed, located, installed, and maintained in order to prevent glare, light trespass, and light pollution.
- Shielding: Except as otherwise exempt, all outdoor lighting shall be recessed and/or constructed with full downward shielding in order to reduce light and glare impacts on trespass to adjoining properties and public rights of way. Each fixture shall be directed downward and away from adjoining properties and public rights of way, so that no light fixture directly illuminates an area outside of the project site.
- Level of Illumination: Outdoor lighting shall be designed to illuminate at the minimum level necessary for safety and security and to avoid harsh contrasts in lighting levels between the project site and adjacent properties.

SITE PLAN REVIEW COMMENTS



DATE: December 4, 2020
SITE PLAN NO: Major Site Plan Review No. 2020-05
PROJECT TITLE: Fairway Courtyards
DESCRIPTION: Amendment to Subdivision Tract Map TR 820
APPLICANT: GJ Gardner (Energy Homes)
PROPERTY OWNER: Coker Ellsworth
LOCATION: SE Corner of Iona Ave and Vine Street
APN(S): 024-039-001 through 024-039-043

- Maximum Height Of Freestanding Outdoor Light Fixtures: The maximum height of freestanding outdoor light fixtures less than ten feet (10') from a property line abutting residential development shall be eighteen feet (18'). Otherwise, the maximum height for freestanding outdoor light structures shall be twenty four feet (24'). Height shall be measured from the finish grade, inclusive of the pedestal, to the top of the fixture. The designated approving authority may allow greater heights upon finding that there are special circumstances that affect the feasibility of meeting this standard.
- Energy Efficient Fixtures Required: Outdoor lighting shall utilize energy efficient fixtures and lamps, such as high pressure sodium, metal halide, low pressure sodium, hard wired compact fluorescent, or other lighting technology that is of equal or greater efficiency. All new outdoor lighting fixtures shall be energy efficient with a rated average bulb life of not less than ten thousand (10,000) hours.
- Accent Lighting: Architectural features may be illuminated by uplighting, provided that the lamps are low intensity to produce a subtle lighting effect and no glare or light trespass is produced. Wherever feasible, solar powered fixtures should be used.

- ☒ Elevations: ☒ Approved: *As per recommendations from City Staff* ☐ Revise and resubmit
- ☒ Fences, walls, and hedges: ☐ Approved ☒ Revise and resubmit: *Proposed fence at front of ponding basin to be changed from chain link to wrought iron matching fence along golf course.*

Add 6-7 foot concrete block wall or wood fence with continuous concrete footing and metal or concrete posts separating public park space from adjoining residences.

Add either 6-7 foot concrete block wall or wood fence separating Vine Street from adjoining residences.

- ☐ Screening: ☐ Acceptable: ☐ Revise and resubmit
- ☒ Landscaping: ☒ Plans required at Building Permit submittal ☐ Plans submitted ☐ Revise and resubmit

Landscape Plans will be checked for compliance with MWELO, including but not limited to the following conditions:

- Plan shall include square footages of landscaped area shown, water use calculations, and the material to be utilized.
- Plant water use classifications shall be based on WUCOLS IV.
- All other landscaped areas shown as landscaped shall be landscaped.
- Landscaping shall meet all other applicable requirements of Title 9, Article D1 of the Zoning Ordinance.

Other Landscape requirements:

- *Street trees required on Vine Street frontage.*
- *Street trees required on Sandtrap and Green Lanes.*
- *Climbing vines or other approved screening to be established along the length of the barrier wall at north side property line.*
- *Park shall be ADA compliant and include, one (1) bench, two (2) picnic tables, shade trees, landscaping and access walk connecting tables and benches to the street.*
- *Landscape unpaved areas of designated community parking lot.*

- ☒ Street trees are required.
- ☐ Existing address must be changed to be consistent with City address.

Entitlements

- ☒ Major Site Plan Review is required for this project.
- ☐ A Use Permit is required for this project.
- ☐ A Zone Variance is required for this project.

SITE PLAN REVIEW COMMENTS



DATE:	December 4, 2020
SITE PLAN NO:	Major Site Plan Review No. 2020-05
PROJECT TITLE:	Fairway Courtyards
DESCRIPTION:	Amendment to Subdivision Tract Map TR 820
APPLICANT:	GJ Gardner (Energy Homes)
PROPERTY OWNER:	Coker Ellsworth
LOCATION:	SE Corner of Iona Ave and Vine Street
APN(S):	024-039-001 through 024-039-043

- ☒ A Tentative Subdivision Map is required for this project.
- ☐ A Tentative Parcel Map is required for this project.
- ☐ A Lot Line Adjustment is required for this project. Lot Line Adjustment application is required to be processed simultaneously since building is placed on property line.
- ☐ A Zone Change is required for this project.
- ☐ A General Plan Amendment is required for this project.
- ☒ Other discretionary action required for this project: *Planned Unit Development*

Environmental Technical Documents

- ☐ Air Impact Analysis required.
- ☐ Acoustical Analysis required.
- ☐ Biologic survey required.
- ☐ Cultural Records Search required.
- ☐ Traffic Impact Assessment required.
- ☐ Vehicle Trip Generation Estimates required.
- ☐ Covenant required.
- ☒ Additional comments: *To be consistent with other adjacent golf course developments, Conditions, Covenants and Restrictions (CC&R's) shall be prepared and reviewed by the Community Development Director prior to recordation.*

The CC& R's shall require wrought iron fencing adjacent to golf course property similar to other established fences in nearby golf course developments.

The CC& R's shall include the following wording: The owner hereby reserves an easement, as hereinafter described in the entire airspace over, above, and upon all the lots in the subdivision, including any structures to be built thereon. The said easement shall and may be used and is intended for the following purposes: The flight of golf balls through the air over said lots. The entry of golf balls upon and/or across said lots, and over the normal and customary use of the remainder parcel as a municipal golf course. Any golf balls entering upon and occupying said parcels shall become the property of the owners of the respective parcels. Nothing herein is intended nor shall be construed to permit entry upon said lots by any person using the remainder parcel, including, but not limited to, for purposes of retrieval of golf balls. This easement shall not be constructed nor intended as a limitation on construction of improvements on said lots.

Public Facilities Maintenance District (PFMD) required to provide maintenance funding for lighting, block walls, streets, public parking area, park, drainage basin, common landscape areas, and other items as per City ordinance.

 //s// KB
Authorized signature

 2-16-2021
Date

 Steve Brandt, AICP
Printed name

SITE PLAN REVIEW COMMENTS



DATE:	December 4, 2020
SITE PLAN NO:	Major Site Plan Review No. 2020-05
PROJECT TITLE:	Fairway Courtyards
DESCRIPTION:	Amendment to Subdivision Tract Map TR 820
APPLICANT:	GJ Gardner (Energy Homes)
PROPERTY OWNER:	Coker Ellsworth
LOCATION:	SE Corner of Iona Ave and Vine Street
APN(S):	024-039-001 through 024-039-043

ENGINEERING

The following comments are applicable when checked:

- ☒ Submit improvement plans detailing all proposed work
- ☒ Bonds, certificate of insurance, cash payment of fees/inspection, and approved map and plan required prior to approval of Final Map.
- ☒ The Final Map and Improvements shall conform to the Subdivision Map Act, the City of Lemoore's Subdivision Ordinance, Master Plans, Standard Details and Improvement Standards.
- ☐ A preconstruction conference is required prior to the start of any construction.
- ☒ Right-of-way dedication required – Provide 30' ½ street RW on Vine Street and as needed to allow for accessible ramps at Sandtrap Lane and Green Lane. A title report is required for verification of ownership ☒ by map ☐ by deed.
- ☒ City encroachment permit required which shall include an approved traffic control plan.
- ☐ Caltrans encroachment permit required.
- ☒ If sanitary sewer, water and storm drain mains and services are to be maintained by the City, indicate on the plans and provide utility easements for the City of Lemoore to operate and maintain the main lines.
- ☒ Public Facilities Maintenance District (PFMD) and Homeowners Association (HOA) required prior to approval of Final Map. PFMD will maintain public common area landscaping, streetlights, street trees and public right of way as applicable along Vine Street. Submit completed PFMD application and filing fee a minimum of 75 days before approval of Final Map. HOA shall maintain private streets, common areas (such as Lots 30, 31 & 32), and on-site utilities unless otherwise noted. Developer to identify facilities to be maintained through HOA and
- ☒ Landscape and irrigation improvement plans to be submitted for each phase, if phased. Landscape plans will need to comply with the City of Lemoore's street tree ordinance, MWEL requirements and other applicable City ordinances. If phased, a street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting district.
- ☒ Dedicate landscape lots to the City that are to be maintained by the PFMD (along Vine Street only).
- ☐ Written comments required from ditch company.
- ☒ Sanitary Sewer master plan for the entire development shall be submitted for approval prior to approval of any portion of the system. The sewer system will need to be extended to the boundaries of the development where future connection and extension is anticipated. The sewer system will need to be sized to serve any future developments that are anticipated to connect to the system.
- ☒ Grading and drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades.
 - ☒ Prepared by a registered civil engineer or project architect.
 - ☒ All elevations shall be based on the City's benchmark network.Storm run-off from the project shall be handled as follows:
 - ☒ Directed to the City's existing storm drainage system – **Construct storm drain system and drainage basin per City of Lemoore requirements and the City's Storm Drain Master Plan**
 - ☒ Directed to a permanent on-site basin
 - ☐ Directed to a temporary on-site basin which is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin: _____:_____ maximum side slopes, perimeter fencing required, and provide access ramp to bottom for maintenance.
- ☐ Protect Oak trees during construction.

SITE PLAN REVIEW COMMENTS



DATE:	December 4, 2020
SITE PLAN NO:	Major Site Plan Review No. 2020-05
PROJECT TITLE:	Fairway Courtyards
DESCRIPTION:	Amendment to Subdivision Tract Map TR 820
APPLICANT:	GJ Gardner (Energy Homes)
PROPERTY OWNER:	Coker Ellsworth
LOCATION:	SE Corner of Iona Ave and Vine Street
APN(S):	024-039-001 through 024-039-043

ENGINEERING

- ☒ Show adjacent property grade elevations on improvement plans. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.
- ☒ Relocate existing utility poles and/or facilities.
- ☐ Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding.
- ☒ Provide R-value tests; Provide per City requirements, coordinate with the City Engineer; previous Geotech report for Tract 820 may be acceptable
- ☒ Traffic indexes per City standards: Min of 6.0 for Vine St; 5.5 for local/private streets
- ☒ All public streets across project frontage and private streets within project limits shall be improved to their full width, subject to available right-of-way, in accordance with City policies, standards and specifications. ***Construct all private streets to City local street requirements.***
- ☒ All lots shall have separate drive approaches constructed to City Standards.
- ☒ Install street striping as required by the City Engineer.
- ☒ Install sidewalk: 6 ft. wide, with meandering parkway on Vine Street; match City improvements on Vine Street south of Green Lane; remove and replace damaged existing sidewalk;
- ☒ Install sidewalk: 4 ft. min wide, along the private streets to provide access to Vine Street in accordance with City Ordinance
- ☒ Use cluster postal unit and show proposed location on the improvement plans. Provide approval of cluster postal unit by US Postal Service.
- ☐ Subject to existing reimbursement agreement to reimburse prior developer.
- ☒ Construct water mains in the private streets in accordance with City of Lemoore improvement standards.
- ☐ Abandon existing wells per Code; a building permit is required.
- ☐ Remove existing irrigation lines and dispose off-site.
- ☐ Remove existing leach fields and septic tanks.
- ☒ Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air Pollution Control District's Regulation VIII. Copies of any required permits will be provided to the City of Lemoore.
- ☒ The project may be subject to the San Joaquin Valley Air Pollution Control District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City of Lemoore.
- ☒ If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit will be provided to the City of Lemoore.
- ☐ Comply with prior comments
- ☒ Resubmit with additional information – show lot dimensions, show pedestrian access pathway for each residence to Vine Street (such as sidewalk along the private street); Review No Parking along Sandtrap Lane and consider moving it to the north side
- ☐ Redesign required

SITE PLAN REVIEW COMMENTS



DATE:	December 4, 2020
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PROPERTY OWNER:	Coker Ellsworth
LOCATION:	SE Corner of Iona Ave and Vine Street
APN(S):	024-039-001 through 024-039-043

ENGINEERING

Additional comments:

1. Developer shall show all existing improvements constructed on-site per the previous Tract 820. Developer shall confirm that any existing improvements intended to be used have been tested and checked to the satisfaction of the City Public Works Director and City Engineer prior to being allowed to remain and be used.
2. Developer shall remove and replace any existing improvements that are not acceptable to the City for use in the development and/or do not match the revised final map and improvement plans.
3. Developer shall be responsible for the disposition of any existing property corners and monuments set per the previous Tract 820 in accordance with the latest edition of the Subdivision Map Act and the Professional Land Surveyors' Act.
4. Lots 18, 19, 20, 21, 28 and 29 do not provide the min. 18' front yard setback shown for all other lots. Show setback to garage especially since there is no parking on the north side of Green Lane. Provide min. distance for vehicle parking in driveway.
5. Verify street name change from Spyglass to Green Lane.
6. Develop all on-site civil improvements per City Standards and ordinances.
7. Water and sewer services and laterals (number, size, and location) per the approved improvement plans for the private streets shall be revised to match the proposed development.
8. All public improvements must be constructed in conformance with the City of Lemoore Standard Plans and Specifications and Planned Unit Development Design Guidelines.
9. Provide design of all public improvements (such as sanitary sewer, storm drainage, water, and streets) in accordance with applicable Master Plans and City standards.
10. The improvement plans for the subdivision must be approved by the City of Lemoore prior to construction.
11. Provide temporary blow-offs at terminating water mains.
12. Local streets shall have a street centerline radius of not less than two hundred feet.
13. Provide fire flow requirements and analysis to show that adequate fire flows can be achieved with submittal of improvement plans. The requirements are 1,500 gpm at 20 psi.
14. Storm drainage basin shall be designed for retention storage requirements. Provide storm drainage basin calculations for sizing basin.
15. Show existing sanitary sewer, storm drainage, water and street infrastructure associated with development.
16. Lowest grade elevation within development shall be 1 foot above high-water level in ponding basin.
17. Fire hydrants to be spaced at a maximum distance of 300 feet.
18. Provide streetlights along the east side of Vine Street and within development.
19. A digital copy of the improvement plans and final map shall be provided to the City upon final approval.
20. Provide adequate transitional paving along the east side of Vine Street in accordance with Caltrans specifications.
21. Relocate all existing utilities underground.
22. Provide lot drainage for City approval.
23. Show water and sanitary sewer service connection points.
24. Provide adequate on-site parking.

SITE PLAN REVIEW COMMENTS



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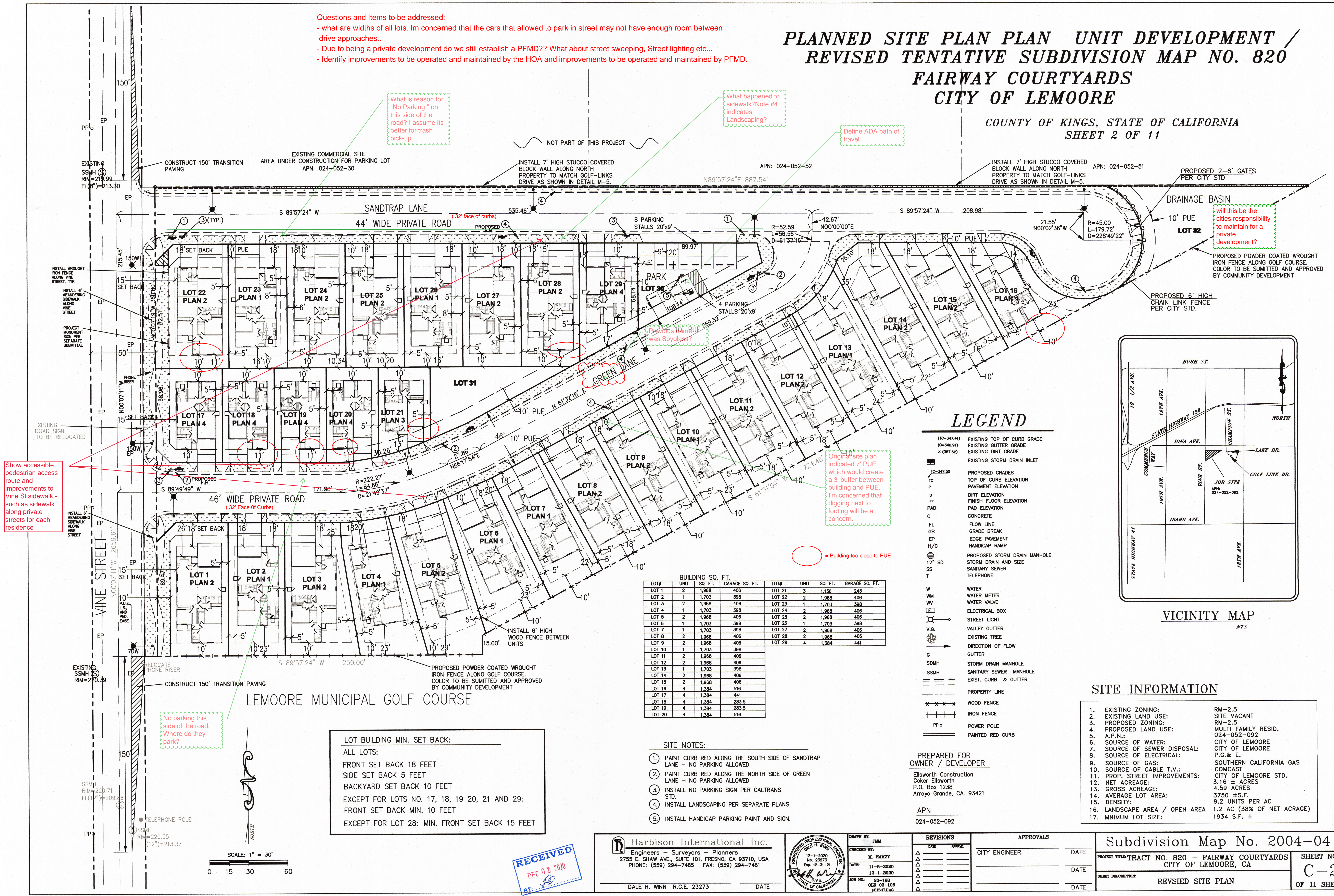
ENGINEERING

☐ No comments. Acceptable as submitted.

//s// KB
Authorized Signature

January 11, 2021
Date

Jeff Cowart, PE, City Engineer
Printed name



SITE PLAN REVIEW COMMENTS



DATE: December 4, 2020

SITE PLAN NO: Major Site Plan Review No. 2020-05

PROJECT TITLE: Fairway Courtyards

DESCRIPTION: Amendment to Subdivision Tract Map TR 820

APPLICANT: GJ Gardner (Energy Homes)

PROPERTY OWNER: Coker Ellsworth

LOCATION: SE Corner of Iona Ave and Vine Street

APN(S): 024-039-001 Through 024-039-043

REFUSE

The following comments are applicable when checked:

- ☒ Type of refuse service not indicated.
- ☒ You are responsible for all cardboard and other bulky recyclables to be broken down before depositing in recycle containers.
- ☐ Refuse enclosure not to City of Lemoore Standards.
- ☐ Refuse enclosure(s) must be M-6 single dumpster enclosure(s).
- ☐ Refuse enclosure(s) must be M-6 double dumpster enclosure(s). *Room for minimum 4 dumpsters.*
- ☐ Refuse enclosure gates required.
- ☒ You must provide combination or keys for access to locked gates / bins.
- ☐ Location of bin enclosure not acceptable. Relocate to: _____.
- ☐ Inadequate number of bins to provide sufficient service.
- ☐ Drive approach too narrow for refuse truck access. *Provide vehicle turning movement layout.*
- ☐ Area not adequate to allowing refuse truck turning radius: *Based on vehicle turning movement layout.*
 - ☐ Commercial ____ ft. outside ____ ft. inside; ☐ Residential ____ ft. outside ____ ft. inside.
- ☐ Paved areas should be engineered to withstand a 55,000 lb. refuse truck.
- ☐ Hammerhead turnaround required at: _____.
- ☐ Cul-de-sac must be built per City of Lemoore Standards.
- ☐ Refuse enclosures are for City refuse containers only. Storage of grease drums or any other items is not allowed.
- ☐ Refuse enclosure gates must open 180 degrees and hinges mounted in front of post.
- ☐ Concrete slab required in front of enclosure per Lemoore City Standards.
- ☐ Area in front of refuse enclosures must be striped with NO PARKING.
- ☐ Refuse enclosure to be designed and located for STAB service (DIRECT ACCESS).
- ☐ You will be required to roll container out to curb for service.
- ☐ Roll off compactors must have a clearance of 3 feet from any wall on both sides and there must be a minimum of 53 feet clearance in front of the compactor to allow truck service.

Additional comments: each resident will be provided 3 garage containers. All containers must not be stored behind front yard fence. And not visible from the street.

☐ No comments. Acceptable as submitted.

//ss// KB
Authorized signature

January 27, 2021
Date

Frank Rivera, Public Works Director
Printed name

SITE PLAN REVIEW COMMENTS



DATE: December 4, 2020
SITE PLAN NO: Major Site Plan Review No. 2020-05
PROJECT TITLE: Fairway Courtyards
DESCRIPTION: Amendment to Subdivision Tract Map TR 820
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PROPERTY OWNER: Coker Ellsworth
LOCATION: SE Corner of Iona Ave and Vine Street
APN(S): 024-039-001 through 024-039-043

SOLID WASTE

The following comments are applicable when checked:

- ☐ Wastewater discharge permit application required.
- ☐ Sand and grease interceptor – 3 compartment required. _____
- ☐ Grease interceptor required. _____
- ☐ Garbage grinder required – ____ hp. Maximize. _____
- ☐ Submission of dry process declaration required. _____
- ☐ No single pass cooling water is permitted. _____

Additional comments: _____

☒ No comments. Acceptable as submitted.

Authorized signature

Frank Rivera, Public Works Director

Printed name

Date

SITE PLAN REVIEW COMMENTS



DATE: December 4, 2020
SITE PLAN NO: Major Site Plan Review No. 2020-05
PROJECT TITLE: Fairway Courtyards
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APN(S): 024-039-001 Through 024-039-043

STREETS / TRAFFIC

The following comments are applicable when checked:

- ☒ The City will prohibit on-street parking as deemed necessary.
- ☒ Install street light(s) per City of Lemoore Standards.
- ☒ Install street name blades at each intersection. Street names to be modified to the alignment of existing streets and without duplicating names.
- ☒ Install Stop Signs at interior roadways intersecting with: MUTCD requirements and City Standads.

-
- ☒ Construct parking per City of Lemoore Standards.
 - ☒ Construct drive approach(es) per City of Lemoore Standards.
 - ☒ Traffic Impact Study required.

Additional comments: Confirm with planning

☐ No comments. Acceptable as submitted.

//s// KB
Authorized signature

January 27, 2021
Date

Frank Rivera, Public Works Director
Printed name

SITE PLAN REVIEW COMMENTS



DATE: December 4, 2020
SITE PLAN NO: Major Site Plan Review No. 2020-05
PROJECT TITLE: Fairway Courtyards
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BUILDING

The following comments are applicable when checked:

- ☒ These are general comments and DO NOT constitute a complete plan check for your specific project. Please refer to the applicable California Code and local ordinances for additional requirements.
- ☒ Business Tax certification is required. *For information call (559) 924-6744 ext. 712*
- ☒ A building permit will be required. *For information call (559) 924-6744 ext. 730*
 - ☐ Submit 3 sets of professionally prepared plans and 2 sets of calculations (Small Tenant Improvements).
 - ☐ Submit 5 sets of plans signed by an architect or engineer. Must comply with 2010 California Building Code Sec. 2308 for conventional light-frame construction or submit 2 sets of engineered calculations.
- ☐ Indicate abandoned wells, septic systems and excavations on construction plans.

You are responsible to ensure compliance with the following checked items:

- ☒ Meet State and Federal Americans with Disabilities Act (ADA) requirements.
- ☒ A path of travel, parking and common area must comply with ADA Requirements.
- ☒ All accessible units must meet ADA Requirements.
- ☐ Maintain sound transmission control between units minimum of 50 STC.
- ☒ Maintain fire-resistive requirements at property lines.
- ☐ Demolition permit and deposit is required. *For information call (559) 924-6744 ext. 730*
- ☒ Obtain required permits from San Joaquin Valley Air Pollution Control District.
For information call (559) 230-6000
- ☐ Location of cashier must provide clear view of gas pump island.
- ☒ Treatment connection charge to be assessed based on use.
- ☐ Plans must be approved by the Kings County Health Department. *For information call (559) 584-1411*
- ☐ Project is located in flood zone _____. ☐ Hazardous materials report.
- ☒ Arrange for an onsite inspection. *For information call (559) 924-6744 ext. 730 (Inspection fees may apply.)*
- ☒ School Development fees: *For information call (559) 924-6744 ext. 730*
- ☒ Park Development fee \$_____ per unit collected with building permits.
- ☐ Existing address must be changed to be consistent with City address. *Call (559) 924-6744 ext. 740*

Additional comments: *Building permit required for Grading and for the construction of the homes.*

☐ No comments. Acceptable as submitted.

//s//

KB

Date: January 27, 2021

Frank Rivera, Public Works Director

SITE PLAN REVIEW COMMENTS



DATE:	December 4, 2020
SITE PLAN NO:	Major Site Plan Review No. 2020-05
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FIRE DEPARTMENT

The following comments are applicable when checked:

- ☐ Refer to previous comments dated _____.
- ☐ More information is needed before a Site Plan Review can be conducted. Please submit plans with more detail.
- ☐ No fire protection items required for parcel map or lot line adjustment; however, any future projects will be subject to fire protection requirements.
- ☐ Address numbers must be placed on the exterior of the building in such a position as to be clearly and plainly visible from the street. Numbers will be at least 6 inches high and shall be of a color to contrast with their background. If multiple addresses served by a common driveway, the range of numbers shall be posted at the roadway / driveway.
- ☐ No additional fire hydrants are required for this project; however, additional fire hydrants may be required for any future development.
- ☒ There is / **are** 4 fire hydrants required for this project. One hydrant shall be installed every 300 ft. (see marked plans for fire hydrant locations).
- ☒ The turning radius for emergency fire apparatus is 20 feet inside radius and 43 feet outside radius. Ensure that the turns identified to you during site plan comply with these requirements. An option is a hammer-head constructed to City of Lemoore standards.
- ☐ An access road is required and shall be a minimum of 20 feet wide. The road shall be an all-weather driving surface accessible prior to and during construction.
- ☐ Buildings or portions of buildings or facilities exceeding 30 feet in height above the lowest level of fire department vehicle access shall be provided with an approved fire apparatus access roads capable of accommodating fire department aerial apparatus. Access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders. Access routes shall be located within a minimum of 15 feet and maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building.
- ☐ A fire lane is required for this project. The location will be given to you during the site plan meeting.
- ☐ A Knox Box key lock system is required. Applications are available at the City of Lemoore Fire Department Administrative Office. NOTE: Knox boxes shall be ordered using an approved application from Lemoore Fire Department Administrative Office, 711 W. Cinnamon Drive. Please allow adequate time for shipping and installation.
- ☐ The security gates, if to be locked, shall be locked with a typical chain and lock that can be cut with a common bolt cutter, or the developer may opt to provide a Knox Box key lock system. Applications are available at the Lemoore Fire Department Administrative Office.
- ☐ That portion of the building that is built upon a property line shall be constructed as to comply with Section 503.4 and Table 5-A of the California Building Code.
- ☐ Commercial dumpsters with 1.5 cubic yards or more shall not be stored or placed within 5 feet of combustible walls, openings, or a combustible roof eave line except when protected by a fire sprinkler system.
- ☐ If you handle hazardous material in amounts that exceed the exempt amounts listed on Table 3-D of the California Building Code, you are required to submit an emergency response plan to the Kings County Health Department. Prior to the building final inspection, we will require a copy of the plan and any Material Safety Data Sheets.

SITE PLAN REVIEW COMMENTS



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- ☐ An automatic fire sprinkler system is required for this building. A fire hydrant is required within 50 feet of the fire department connection. The fire hydrant, fire department connection and the PIV valve should be located together and minimum 25 feet from the building, if possible. The caps on the FDC shall be Knox locking caps.
- ☐ All hardware on exit doors shall comply with Chapter 10 of the California Fire Code. This includes all locks, latches, dolt locks, and panic and exit hardware.
- ☐ Provide illuminated exit signs and emergency lighting throughout the building.
- ☐ All Fire and Life Safety systems located within the building shall be maintained.
- ☐ An automatic fire extinguishing system for protection of the kitchen grease hood and ducts is required.
- ☐ City of Lemoore Fire Department Impact Fee. *For information call (559) 924-6730*
- ☐ City of Lemoore Fire Department Permit Fee – complete application during Building Department permit process.

Additional comments: _____

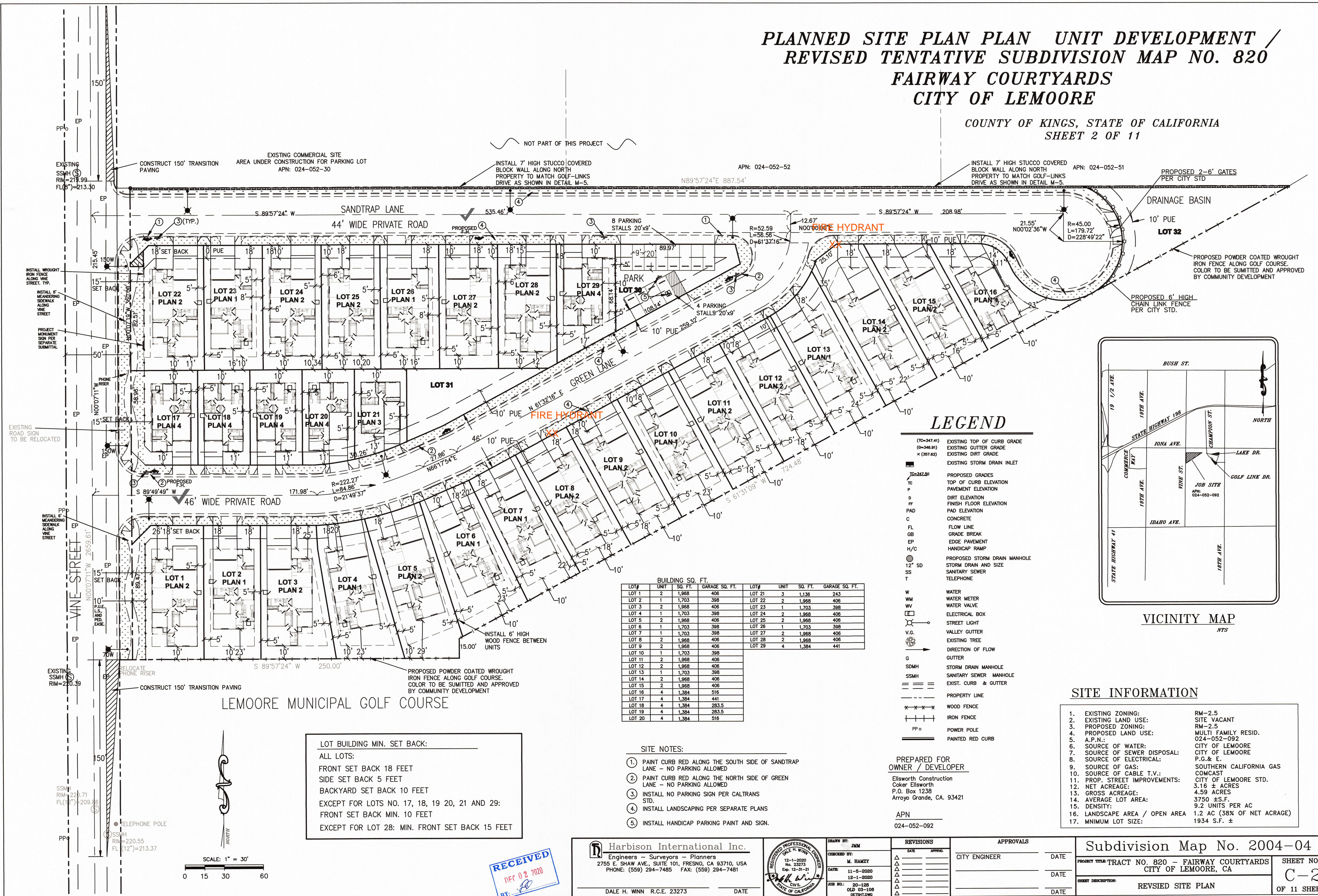
- ☐ No comments. Acceptable as submitted.

Bruce German/Faith Faria //S// KB
Authorized signature

1-25-2021
Date

Bruce German, Fire Chief
Printed name

COUNTY OF KINGS, STATE OF CALIFORNIA
SHEET 2 OF 11



BUILDING SQ. FT.				GARAGE SQ. FT.			
LOT#	UNIT	SQ. FT.		LOT#	UNIT	SQ. FT.	GARAGE SQ. FT.
LOT 1	2	1,968	406	LOT 21	3	1,136	243
LOT 2	1	1,703	398	LOT 22	2	1,968	406
LOT 3	2	1,968	406	LOT 23	1	1,703	398
LOT 4	1	1,703	398	LOT 24	2	1,968	406
LOT 5	2	1,968	406	LOT 25	2	1,968	406
LOT 6	1	1,703	398	LOT 26	1	1,703	398
LOT 7	1	1,703	398	LOT 27	2	1,968	406
LOT 8	2	1,968	406	LOT 28	2	1,968	406
LOT 9	2	1,968	406	LOT 29	4	1,384	441
LOT 10	1	1,703	398				
LOT 11	2	1,968	406				
LOT 12	2	1,968	406				
LOT 13	1	1,703	398				
LOT 14	2	1,968	406				
LOT 15	2	1,968	406				
LOT 16	4	1,384	516				
LOT 17	4	1,384	441				
LOT 18	4	1,384	283.5				
LOT 19	4	1,384	283.5				
LOT 20	4	1,384	516				

SITE NOTES:

1. PAINT CURB RED ALONG THE SOUTH SIDE OF SANDTRAP LANE - NO PARKING ALLOWED
2. PAINT CURB RED ALONG THE NORTH SIDE OF GREEN LANE - NO PARKING ALLOWED
3. INSTALL NO PARKING SIGN PER CALTRANS STD.
4. INSTALL LANDSCAPING PER SEPARATE PLANS
5. INSTALL HANDICAP PARKING PAINT AND SIGN.

PREPARED FOR
OWNER / DEVELOPER

Ellsworth Construction
Coker Ellsworth
P.O. Box 1238
Arroyo Grande, CA. 93421

APN
024-052-092

[illegible]

APPROVALS	
CITY ENGINEER _____	DATE _____
_____	DATE _____
_____	DATE _____

SITE INFORMATION

- | | | |
|-----|----------------------------|----------------------------|
| 1. | EXISTING ZONING: | RM-2.5 |
| 2. | EXISTING LAND USE: | SITE VACANT |
| 3. | PROPOSED ZONING: | RM-2.5 |
| 4. | PROPOSED LAND USE: | MULTI FAMILY RESID. |
| 5. | A.P.N.: | 024-052-092 |
| 6. | SOURCE OF WATER: | CITY OF LEMOORE |
| 7. | SOURCE OF SEWER DISPOSAL: | CITY OF LEMOORE |
| 8. | SOURCE OF ELECTRICAL: | P.G.& E. |
| 9. | SOURCE OF GAS: | SOUTHERN CALIFORNIA GAS |
| 10. | SOURCE OF CABLE T.V.: | COMCAST |
| 11. | PROP. STREET IMPROVEMENTS: | CITY OF LEMOORE STD. |
| 12. | NET ACRAGE: | 3.16 ± ACRES |
| 13. | GROSS ACRAGE: | 4.59 ACRES |
| 14. | AVERAGE LOT AREA: | 3750 ±S.F. |
| 15. | DENSITY: | 9.2 UNITS PER AC |
| 16. | LANDSCAPE AREA / OPEN AREA | 1.2 AC (38% OF NET ACRAGE) |
| 17. | MINIMUM LOT SIZE: | 1934 S.F. ± |

Subdivision Map No. 2004-04

PROJECT TITLE: TRACT NO. 820 - FAIRWAY COURTYARDS CITY OF LEMOORE, CA

SHEET DESCRIPTION: REVSIED SITE PLAN

SHEET NO.

11 SHEETS

SITE PLAN REVIEW COMMENTS



DATE: December 4, 2020
SITE PLAN NO: Major Site Plan Review No. 2020-05
PROJECT TITLE: Fairway Courtyards
DESCRIPTION: Amendment to Subdivision Tract Map TR 820
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PROPERTY OWNER: Coker Ellsworth
LOCATION: SE Corner of Iona Ave and Vine Street
APN(S): 024-039-001 through 024-039-043

PUBLIC SAFETY

The following comments are applicable when checked:

☐ Public Safety Impact Fee:

Ordinance No.:

Effective Date:

Impact fees shall be imposed by the City of Lemoore pursuant to this Ordinance as a condition of, or in conjunction with, the approval of a development project. "New Development or Development Project" means any new building, structure or improvement of any parcels of land upon which no like building, structure or improvement previously existed. NOTE: Refer to Engineering Site Plan comments for fee estimation.

☐ Not enough information provided. Please provide the following information:

☐ Access controlled / restricted etc.:

☐ Landscaping concerns:

☐ Lighting concerns:

☐ Line of sight issues:

☐ Surveillance issues:

☐ Territorial reinforcement – define property lines (private / public space):

☐ Traffic concerns:

☐ Request opportunity to comment or make recommendations as to safety issues as plans are developed.

☐ Additional comments:

☒ No comments. Acceptable as submitted.

Authorized signature

12/7/2020
Date

M. KENDALL

Printed name

RESOLUTION NO. 2021-01

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LEMOORE
RECOMMENDING APPROVAL OF PLANNED UNIT DEVELOPMENT NO. 2020-03, REVISION OF
FAIRWAY COURTYARDS TENTATIVE SUBDIVISION MAP NO. 2020-02, AND MAJOR SITE PLAN
REVIEW NO. 2020-05 TO DIVIDE 4.59 ACRES INTO 29 SINGLE-FAMILY LOTS AND THREE
OUTLOTS AND FOR APPROVAL OF NEW SINGLE-FAMILY HOME MASTER PLANS,
LOCATED ON THE EAST SIDE OF VINE STREET, APPROXIMATELY 400 FEET SOUTH OF IONA
AVENUE, IN THE CITY OF LEMOORE**

At a Special Meeting of the Planning Commission of the City of Lemoore duly called and held on February 22, 2021, at 7:00 p.m. on said day, it was moved by Commissioner _____, seconded by Commissioner _____, and carried that the following Resolution be adopted:

WHEREAS, GJ Gardner Homes has requested approval of a Planned Unit Development, Tentative Subdivision Map, and a Major Site Plan Review to divide 4.59 acres into 29 single-family lots and three separate out-lots, and for approval of new single-family home master plans, located on Vine Street south of Iona Avenue, in the City of Lemoore (Currently APN: 024-390-001, -002, -003, -004, -005, -006, -007, -008, -009, -010, -011, -012, -013, -014, -015, -016, -017, -018, -019, -020, -021, -022, -023, -024, -025, -026, -027, -028, -029, -030, -031, -032, -033, -034, -035, -036, -037, -038, -039, -040, -041, -042); and

WHEREAS, the proposed site is 4.59 acres in size and is zoned Low-Medium Density Residential, surrounded by Light Industrial, Community Facilities and Recreation zones; and

WHEREAS, the project has been determined to be Categorically Exempt for CEQA based on the Class 32 Infill Exemption; and

WHEREAS, the Lemoore Planning Commission held a duly noticed public hearing at a February 22, 2021, Special Meeting.

NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Lemoore hereby makes the following findings regarding the proposed projects, based on facts detailed in the February 22, 2021, staff report, which is hereby incorporated by reference, as well as the evidence and comments presented during the Public Hearing:

1. The project is consistent with the General Plan goals, policies, and implementation programs of the City.
2. The Planned Unit Development (PUD) is compatible and in conformity with public convenience, general welfare, and good land use and zoning practice. The PUD provides for alternative development standards that will increase the density of the site while avoiding negative impacts.
3. The PUD will not be detrimental to the health, safety, and general welfare of the City.
4. The PUD will not adversely affect the orderly development of property or the preservation of property values as the project involves the development of well-designed single-family homes.
5. The Tentative Subdivision Map is consistent with the General Plan and all applicable provisions of the Zoning Code, once approved as part of the PUD.

6. The proposed project will not be substantially detrimental to adjacent property and will not materially impair the purposes of the Zoning Ordinance or the public interest.
7. As proposed and conditioned herein, the site design of the project is consistent with the residential development standards in the Zoning Ordinance, as modified by the Planned Unit Development.
8. The proposed project is consistent with the objectives of the General Plan and complies with applicable zoning regulations, including the proposed overlay zone for the Planned Unit Development, specific plan provisions, and improvement standards adopted by the City.
9. The proposed architecture, site design, and landscape are suitable for the purposes of the buildings and the site and will enhance the character of the neighborhood and community.
10. The architecture, character, and scale of the buildings and the site are compatible with the character of buildings on adjoining and nearby properties.
11. The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.
12. The project's lot sizes are consistent with densities in the General Plan and are appropriate for this site.

BE IT FURTHER RESOLVED that the Planning Commission of the City of Lemoore recommends approval of the Categorical Exemption, Planned Unit Development No. 2020-03, Fairway Courtyards Tentative Subdivision Map No. 2020-02, and Major Site Plan Review No. 2020-05, subject to the following conditions:

1. The site shall be developed consistent with the approved Tentative Subdivision Map, as modified by the Planned Unit Development, these conditions, staff report dated February 19, 2021, and applicable development standards found in the Zoning Ordinance and Lemoore Municipal Code.
2. The site shall be developed consistent with the Site Plan Review comments dated February 16, 2021, along with the attached department checklists.
3. The project shall be developed and maintained in substantial compliance with the Tentative Subdivision Map, except for any modifications that may be needed to meet these conditions of approval.
4. The final subdivision map shall be submitted in accordance with City ordinances and standards.
5. Plans for all public and private improvements, including but not limited to, water, sewer, storm drainage, road pavement, curb and gutter, sidewalk, streetlights, landscaping, and fire hydrants shall be approved by the City Engineer. These improvements shall be completed in accordance with the approved plans to the satisfaction of the Public Works Department.
6. The ponding basin and storm drainage improvements shall be designed and constructed per the Site Plan Review comments and City Improvement Standards.
7. The park shall be constructed and opened to the public for use prior to the final inspection of the 10th new home is constructed. Development of the park shall include at least one tot lot play structure suitable for 2-5 year olds, two benches, one picnic table, shade trees,

landscaping and ADA access to all amenities. The acreage of the park area shall be counted toward park land dedication requirements in Section 8-7N-4 of the City Municipal Code.

8. Park in-lieu fees are required pursuant to Section 8-7N-4. Up to \$7,500 of the estimated cost to install the 2-5 year old tot lot play structure may serve as a credit against in-lieu fees. Proposed park amenities and estimated costs shall be submitted, reviewed, and approved by the Community Development Director during the preparation and acceptance of the project's required subdivision improvement agreement. Any appraiser needed to meet the requirements of Section 8-7N-4 shall be acceptable to the Community Development Director. The cost of the appraisal shall be paid by the developer.
9. A public facilities maintenance district shall be formed in conjunction with the Final Subdivision Map acceptance in order to provide the maintenance costs for the park, common landscaping, and other improvements in accordance with existing City policy.
10. The project shall be subject to the applicable development impact fees adopted by resolution of the City Council.
11. In conjunction with approval of the Final Subdivision Map, a noise and odor easement shall be recorded on all lots created to acknowledge the presence of nearby wastewater treatment plant, industry, aircraft, and agriculture, and the right of such uses to continue to emit such noise and odors as are otherwise allowable by law and to ensure that such uses in these areas are not unreasonably hindered by residential users and owners that move in or nearby at a later date.
12. The developer shall comply with the standards, provisions, and requirements of the San Joaquin Valley Air Pollution Control District that relate to the project.
13. A minimum six-foot eight-inch high stucco covered block wall shall be constructed along the entire length of the north property line north of Sandtrap Lane and along Vine Street. The wall shall be constructed per City standards and include columns and caps.
14. Wood fences adjacent to the Park and Parking Area (Lots 30 and 31) shall include a concrete footing and metal or concrete posts.
15. Fences along the property line adjacent to the golf course and between the ponding basin and cul-de-sac shall be constructed and maintained with wrought iron fencing to be consistent with existing fences in other nearby golf course developments. Access to the basin will be via two six-foot wide wrought iron swing gates located on the east end of the Sandtrap Lane cul-de-sac at the designated approach apron and immediately adjacent the back of the proposed landscape buffer.
16. Fire hydrant types and locations shall be approved by the Lemoore Volunteer Fire Department.
17. Concrete pads for installation of mailboxes shall be provided in accordance with determinations made by the Lemoore Postmaster.
18. Street trees from the City approved street tree list shall be planted with root barriers as per Public Works Standards and Specifications.
19. Streetlights shall be provided within the project as per City local streetlighting standards.

20. The sidewalk type along local streets (parkway type or curb adjacent type) shall be consistent throughout all phases of the subdivision, as per City standard.
21. Any existing roadway, sidewalk, or curb and gutter that is damaged during construction shall be repaired or replaced to the satisfaction of the Public Works Department.
22. All signs shall require a sign permit separate from the building permit.
23. The project and all subsequent uses must meet the requirements found in Section 9-5B-2 of the Zoning Ordinance related to noise, odor, and vibration, and maintenance.
24. Lot sizes less than 3,000 square feet are approved, consistent with the sizes shown on the Tentative Subdivision Map.
25. The project shall be added to Article "B" of Chapter 9 of Title 9 of the Lemoore Municipal Code, and the previously approved PUD shall be stricken, as follows:

Table 9-9B-3-1

Number	Name	Date Approved	Resolution Number	Average Density Per Gross Acre (du/ac)
2004-04	Coker Ellsworth Golf Course, Tract 752	February 1, 2005	2005-04	3.94
2020-03	GJ Gardner, Fairway Courtyards	~, 2021	2021-XX	6.3

Table 9-9B-4-1

Number	Name	Front Setback	Side Setback	Rear Setback
2004-02	Coker Ellsworth Fairway Courtyards, Tract 820	10' minimum	5' and 5' single story/15' combined for 2 story	13' minimum
2020-03	GJ Gardner, Fairway Courtyards	10' to living space 18' to garage	5' interior side 15' street side	20' (lots 1 to 14) 10' (lots 15 to 29)

26. Master home plans shall be substantially consistent to the floor plans and elevations submitted with the Tentative Subdivision Map, unless subsequently modified by the Planning Commission. Detailing used on the front of the home shall be carried around (or wrapped around) to the street side of the home where the side of the home is visible from the public street, such as in front of the fence. Developer to offer purchasers an "option" to include brick and/or stone facades to further enhance the front elevations.

27. Master Home Plans shall be modified to include tile roofs, similar to other golf course developments.
28. The developer shall prepare and record a Declaration of Covenants, Conditions, and Restrictions (CC&R's). A draft of the CC&R's shall be reviewed and approved by the Community Development Director prior to recordation.
29. The CC&R's shall require wrought iron fencing adjacent to golf course property similar to other established fences in nearby golf course developments.
30. The CC&R's shall include the following wording: The owner hereby reserves an easement, as hereinafter described in the entire airspace over, above, and upon all the lots in the subdivision, including any structures to be built thereon. The said easement shall and may be used and is intended for the following purposes: The flight of golf balls through the air over said lots. The entry of golf balls upon and/or across said lots, and over the normal and customary use of the remainder parcel as a municipal golf course. Any golf balls entering upon and occupying said parcels shall become the property of the owners of the respective parcels. Nothing herein is intended nor shall be construed to permit entry upon said lots by any person using the remainder parcel, including, but not limited to, for purposes of retrieval of golf balls. This easement shall not be constructed nor intended as a limitation on construction of improvements on said lots.
31. The CC&Rs shall include the following wording: The owner hereby acknowledges the nearby location of the City of Lemoore Waste Water Treatment Plant, industry, aircraft and agriculture, which have the potential to produce noise and odor.
32. The Tentative Subdivision Map approval shall expire two years from its effective date, unless a Final Subdivision Map is filed or an extension is granted via legislation or by the City, in accordance with the Subdivision Map Act. Expiration dates for the Major Site Plan Review shall run consistent with the expiration date of the Tentative Subdivision Map. The effective date of the Tentative Subdivision Map shall be the date the PUD Ordinance becomes effective, which is 30 days after the Ordinance is adopted.

Passed and adopted at a Special Meeting of the Planning Commission of the City of Lemoore held on February 22, 2021, by the following votes:

AYES:

NOES:

ABSTAINING:

ABSENT:

APPROVED:

, Chairperson

ATTEST:

Kristie Baley, Commission Secretary

Notice of Exemption

TO: ☐ Office of Planning and Research
1400 Tenth Street
Sacramento, CA 95814

☒ County Clerk
County of Kings
Kings County Government Center
Hanford, California 93230

FROM: City of Lemoore
711 W. Cinnamon Drive
Lemoore, CA 93245

PROJECT TITLE:
Tract Map 820 – Fairway Courtyards Subdivision
PUD 2020-03, TSM 2020-02, Major SPR 2020-05

PROJECT APPLICANT:
GJ Gardner, Energy Homes

PROJECT LOCATION – Specific:
Vine Street, 380 feet south of Iona Avenue

PROJECT LOCATION – City: Lemoore **County:** Kings

PROJECT DESCRIPTION:
The Tentative Subdivision Map is a request to subdivide 4.59 acres into 29 single-family residential lots with 3 outlot parcels.

NAME OF PUBLIC AGENCY APPROVING PROJECT:
City of Lemoore

NAME, ADDRESS, & PHONE NUMBER OF PERSON OR AGENCY CARRYING OUT PROJECT:
GJ Gardner, Energy Homes

EXEMPT STATUS: *(check one)*

☐ Ministerial (Section 21080(b)(1); 15268);

☐ Declared Emergency (Section 21080(b)(4); 15269(a));

☐ Emergency Project (Section 21080(b)(4); 15269(b)(c));

☐ Categorical Exemption. State type and section number: Sec. 15332 of CEQA below

☐ Statutory Exemptions. State code number: _____

REASONS WHY PROJECT IS EXEMPT:

The Project qualifies as a Class 32 categorical exemption pursuant to Section 15332 of California Environmental Quality Act (“CEQA”) Guidelines, Title 14, Chapter 3 of the California Code of Regulations, because it is a project characterized as in-fill development, meeting the conditions described in Section 15332. (see attached sheet)

LEAD AGENCY CONTACT PERSON:

Judy Holwell, Community Development Director
(559) 924-6744 Ext. 740

Signature

Date

Authority cited: Sections 21083 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, 21152.1, Public Resources Code.

CITY OF LEMOORE

CEQA Class 32 (Infill Development) Exemption Findings

The purpose of CEQA Categorical Exemption 32 is to promote in-fill development within urbanized areas. The class consists of environmentally benign in-fill projects which are consistent with local general plan and zoning requirements. This class is not intended to be applied to projects which would result in any significant traffic, noise, air quality, or water quality effects.

Project Description:

A request by GJ Gardner Homes for approval to develop a 4.59 acre parcel into a 29-lot single-family residential subdivision with 3 small out lots for a park, parking area and drainage basin. The project is located on Vine Street south of Iona Avenue in the city of Lemoore on a site that was previously developed but never completed.

Required Findings:

- a) This project is consistent with the applicable General Plan designation and all applicable General Plan policies as well as with applicable zoning designations and regulations.*

SUPPORTING INFORMATION: The project site is a unique parcel located along a portion of Vine Street that places it south of a light industrial use area and north of the municipal golf course. The site's major advantage are the views of the golf course and its proximity. As per the City of Lemoore Zoning plan the site is located in a RLMD Low-Medium Density Residential zone and complies with General Plan policies as well as with applicable zoning designations and regulations.

- b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.*

SUPPORTING INFORMATION: This small 4.59-acre project is a unique residential island surrounded by light industrial uses to the north, a municipal golf course to the south and a waste-water treatment facility across Vine street to the west of the site.

- c) The project site has no value as habitat for endangered, rare or threatened species.*

SUPPORTING INFORMATION: The project location on Vine Street south of Iona locates it in an area that been zoned primarily for Light Industrial and Public Facility uses. The site consists of previously developed streets and underground utilities and is devoid of any native vegetation, landscaping or trees. There are no known riparian habitats or sensitive natural communities within the planning area. It is adjacent to the

municipal golf course and with the inclusion of the drainage basin could eventually become part of any biological system or habitat that may already exist there.

d. 1) Approval of the project would not result in any significant effects relating to traffic.

SUPPORTING INFORMATION: The project contains only 29 single family residential lots and is located on the western edge of the city where development is still sparse. There is currently very little commercial or residential traffic on that portion of Vine Street. The project generates very few traffic trips and therefore does not increase any traffic activity already designated for the area. There are no known significant traffic related issues.

d. 2) Approval of the project would not result in any significant effects relating to noise.

SUPPORTING INFORMATION: The size and type of the project would not (significantly) increase the level of ambient noise already in the area. There are no known significant noise related issues.

d. 3) Approval of the project would not result in any significant effects relating to air quality.

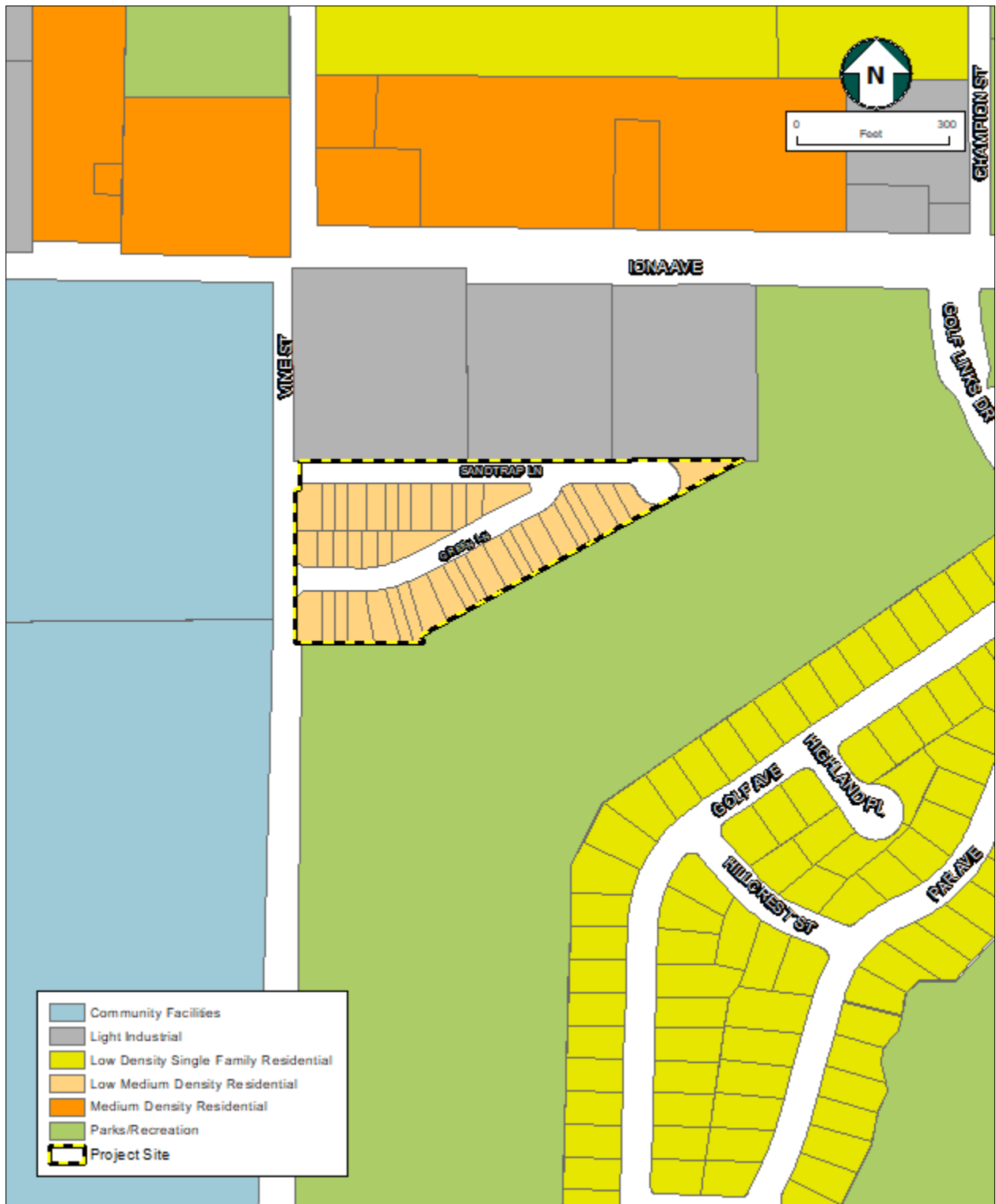
SUPPORTING INFORMATION: Since the site has been previously graded and street and utility improvements already installed there is no reason to think that with proper management practices during the home building phase of the project there would be any (significant) impact on the air quality in the area. There are no known (significant) effects relating to air quality.

d. 4) Approval of the project would not result in any significant effects relating to water quality.

SUPPORTING INFORMATION: Since there are no adjacent creeks, streams or other bodies of water to be affected, and since the site has been previously graded there is no reason to think that with proper management practices during the home building phase of the project there would be any (significant) impact on the water quality in the area. There are no known (significant) effects that would endanger water quality.

e) The site can be adequately served by all required utilities and public services.

SUPPORTING INFORMATION: The project site is located in an existing sector already serviced by all major utilities and municipal services. All major underground services and utilities have been previously installed. All other services, Police, Fire and Parks can adequately be provided for by the City. There are no known significant utility or service issues.



General Plan Land Use Designations

