

LEMOORE

CALIFORNIA

LEMOORE CITY COUNCIL
COUNCIL CHAMBER
429 C STREET
March 16, 2021

AGENDA

Please silence all electronic devices as a courtesy to those in attendance. Thank you.

5:30 pm STUDY SESSION

SS-1 Refuse Regulations Presentation (Champion)

CLOSED SESSION

This item has been set aside for the City Council to meet in a closed session to discuss matters pursuant to Government Code Section 54956.9(d)(4). The City Attorney will provide an oral report regarding the Closed Session at the beginning of the next regular City Council meeting.

1. Conference with Labor Negotiator
Government Code Section 54957.6
Agency Designated Representatives: Mary Lerner, City Attorney and Michelle Speer, Assistant City Manager
Employee Organizations: General Association of Service Employees, Lemoore Police Officers Association, Lemoore Police Sergeants Unit, Police Professional Services Bargaining Unit, Unrepresented
2. Liability Claim
Government Code Section 54956.95
Claimant: Mr. Ulysses Vega
Agency Claimed Against: City of Lemoore

7:30 pm REGULAR SESSION

- a. CALL TO ORDER
- b. INVOCATION
- c. PLEDGE OF ALLEGIANCE
- d. ROLL CALL
- e. CLOSED SESSION REPORT
- f. AGENDA APPROVAL, ADDITIONS, AND/OR DELETIONS

PUBLIC COMMENT

Public comment will be in accordance with the attached policy. This time is reserved for members of the audience to address the City Council on items of interest that are not on the Agenda and are within the subject matter jurisdiction of the Council. It is recommended that speakers limit their comments to three (3) minutes each and it is requested that no comments be made during this period on items on the Agenda. The Council is prohibited by law from taking any action on matters discussed that are not on the Agenda. Prior to addressing the Council, any handouts for Council will be provided to the City Clerk for distribution to the Council and appropriate staff.

CEREMONIAL / PRESENTATION – Section 1

No Ceremonial / Presentations

DEPARTMENT AND CITY MANAGER REPORTS – Section 2

2-1 Department & City Manager Reports

CONSENT CALENDAR – Section 3

Items considered routine in nature are placed on the Consent Calendar. They will all be considered and voted upon in one vote as one item unless a Council member or member of the public requests individual consideration.

- 3-1 Approval – Minutes – Regular Meeting – March 2, 2021
- 3-2 Approval – Second Reading – Ordinance 2021-01 – Amending Section 4-8-4(A) to the Lemoore Municipal Code Relating to Permitted Uses and Zoning for Commercial Cannabis Operations; Amending Section 4-8-7(E) of the Lemoore Municipal Code Relating to Grounds for Denial of an Employee Permit
- 3-3 Approval – Resolution 2021-05 - Regarding Public Transit Needs within The City of Lemoore and Authorizing the Filing of a Claim for Transportation Development Act Funds
- 3-4 Approval – Denial of Claim for Mr. Ulysses Vega

PUBLIC HEARINGS – Section 4

Report, discussion and/or other Council action will be taken.

- 4-1 Public Hearing – First Reading – Resolution 2021-06 and Ordinance 2021-02, approving Planned Unit Development No. 2020-03, Fairway Courtyards Tentative Subdivision Map No. 2020-02, and Major Site Plan Review No. 2020-05 (Brandt)

NEW BUSINESS – Section 5

Report, discussion and/or other Council action will be taken.

No New Business

BRIEF CITY COUNCIL REPORTS AND REQUESTS – Section 6

6-1 City Council Reports / Requests

ADJOURNMENT

Upcoming Council Meetings

- City Council Regular Meeting, Tuesday, April 6, 2021
- City Council Regular Meeting, Tuesday, April 20, 2021

Agendas for all City Council meetings are posted at least 72 hours prior to the meeting at the Council Chamber, 429 C Street and the Cinnamon Municipal Complex, 711 W. Cinnamon Drive. Written communications from the public for the agenda must be received by the City Clerk's Office no less than seven (7) days prior to the meeting date. The City of Lemoore complies with the Americans with Disabilities Act (ADA of 1990). The Council Chamber is accessible to the physically disabled. Should you need special assistance, please call (559) 924-6744, at least 4 business days prior to the meeting.

PUBLIC NOTIFICATION

I, Marisa Avalos, City Clerk for the City of Lemoore, declare under penalty of perjury that I posted the above amended City Council Agenda for the meeting of March 16, 2021 at Council Chamber, 429 C Street and Cinnamon Municipal Complex, 711 W. Cinnamon Drive, Lemoore, CA on March 12, 2021.

//s//
Marisa Avalos, City Clerk

CITY OF LEMOORE
CITY COUNCIL REGULAR MEETING
MARCH 16, 2021 @ 5:30 p.m.

Attendance and Public Comment Changes Due to COVID-19

The Lemoore City Council will be conducting its regular meeting on March 16, 2021. Given the current Shelter-In-Place covering Kings County and the Social Distance Guidelines issued by Federal, State, and Local Authorities, the City is implementing the following changes for attendance and public comment.

All upcoming regular and special City Council meetings **will be open to fifteen (15) members of the public on a first come, first served basis and via Zoom.** The meeting may be viewed through the following options:

- Join Zoom Meeting
- Please click the link below to join the webinar:
- <https://zoom.us/j/93016139701?pwd=T3l1Q1c5aWlSbnhFeGVJSEZubEl4dz09>
- Meeting ID: 930 1613 9701
- Passcode: 935545
- Phone: +1 669 900 6833

The City will also provide links to streaming options on the City's website and on its Facebook page.

If you wish to make a general public comment or public comment on a particular item on the agenda, **participants may do so via Zoom during the meeting** or by **submitting public comments by e-mail to: cityclerk@lemoore.com**. In the subject line of the e-mail, please state your name and the item you are commenting on. If you wish to submit a public comment on more than one agenda item, please send a separate e-mail for each item you are commenting on. Please be aware that written public comments, including your name, may become public information. Additional requirements for submitting public comments by e-mail are provided below.

General Public Comments & Comments on City Council Business Items

For general public comments and comments regarding specific City Council Business Items, public comments can be made via Zoom during the meeting or all public comments must be received by e-mail no later than 5:00 p.m. the day of the meeting. Comments received by this time will be read aloud by a staff member during the applicable agenda item, provided that such comments may be read within the normal three (3) minutes allotted to each speaker. Any portion of your comment extending past three (3) minutes may not be read aloud due to time restrictions. If a general public comment or comment on a business item is received after 5:00 p.m., efforts will be made to read your comment into the record. However, staff cannot guarantee that written comments received after 5:00 p.m. will be read. All written comments that are not read into the

record will be made part of the meeting minutes, provided that such comments are received prior to the end of the City Council meeting.

Public Hearings

For public comment on a public hearing, all public comments must be received by the close of the public hearing period. All comments received by the close of the public hearing period will be read aloud by a staff member during the applicable agenda item, provided that such comments may be read within the normal three (3) minutes allotted to each speaker. Any portion of your comment extending past three (3) minutes may not be read aloud due to time restrictions. If a comment on a public hearing item is received after the close of the public hearing, such comment will be made part of the meeting minutes, provided that such comment is received prior to the end of the meeting.

PLEASE BE AWARE THAT ANY PUBLIC COMMENTS RECEIVED THAT DO NOT SPECIFY A PARTICULAR AGENDA ITEM WILL BE READ ALOUD DURING THE GENERAL PUBLIC COMMENT PORTION OF THE AGENDA.

The City thanks you for your cooperation in advance. Our community's health and safety is our highest priority.



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Staff Report

Item No: SS-1

To: Lemoore City Council

From: Amanda Champion, Management Analyst

Date: March 9, 2021

Meeting Date: March 16, 2021

Subject: Refuse Regulations Presentation

Strategic Initiative:

- | | |
|--|--|
| <input type="checkbox"/> Safe & Vibrant Community | <input type="checkbox"/> Growing & Dynamic Economy |
| <input type="checkbox"/> Fiscally Sound Government | <input type="checkbox"/> Operational Excellence |
| <input type="checkbox"/> Community & Neighborhood Livability | <input checked="" type="checkbox"/> Not Applicable |

Proposed Motion:

Information Only.

Subject/Discussion:

City staff would like to update City Council on AB 341 (Mandatory Commercial Recycling), AB 1826 (Mandatory Commercial Organics Recycling), and SB 1383.

Financial Consideration(s):

None at this time.

Alternatives or Pros/Cons:

Not Applicable

Commission/Board Recommendation:

Not Applicable

Staff Recommendation:

Not Applicable

Attachments:

- ☐ Resolution:
- ☐ Ordinance:
- ☐ Map
- ☐ Contract
- ☐ Other
- List:

Review:

- ☒ Asst. City Manager
- ☒ City Attorney
- ☒ City Clerk
- ☒ City Manager
- ☒ Finance

Date:

03/10/2021
03/12/2021
03/12/2021
03/10/2021
03/10/2021

**March 2, 2021 Minutes
Lemoore City Council
Regular Meeting**

CALL TO ORDER:

At 7:30 p.m., the meeting was called to order.

ROLL CALL: Mayor: LYONS
Mayor Pro Tem: MATTHEWS
Council Members: CHANEY, GORNICK, ORTH

City Staff and contract employees present: City Manager Olson; Assistant City Manager Speer; City Attorney Lerner; Community Development Director Holwell; Police Chief Kendall; Public Works Director Rivera; City Clerk Avalos.

CLOSED SESSION REPORT

Nothing to report out of Closed Session.

AGENDA APPROVAL, ADDITIONS, AND/OR DELETIONS

None.

PUBLIC COMMENT

Tom Reed submitted a letter expressing to the Council that there is the Civic Auditorium next door that would adequately enable proper spacing to allow the public to attend meetings.

CEREMONIAL / PRESENTATION – Section 1

No Ceremonies / Presentations.

DEPARTMENT AND CITY MANAGER REPORTS – Section 2

Community Development Director Holwell provided Council with an update on current projects. An application from Helena Chemical has been received. GJ Gardner item is going to the Planning Commission on March 8th. Leprino West has submitted a plan for a large solar project. Recently received an application from Johnny Quick. Will be working on an annexation for the Lacey Ranch project.

Public Works Director Rivera informed Council of upcoming road closures. There was a sink hole on the North bound lane of Fox Street. 19th Avenue will be closed near the new Freedom Elementary due to the widening of the street. The Building on the corner of E and Heinlen Street has had a destruction permit pulled. In the next couple of weeks the building will be completely down.

City Manager Olson attended the Mosquito Abatement meeting. They will be transitioning to drones. Budget meetings will be started next week with Department Directors. Staff has been busy working on budgets and researching new software.

CONSENT CALENDAR – Section 3

- 3-1 Approval – Minutes – Regular Meeting – February 16, 2021
- 3-2 Approval – Resolution 2021-04 – Adopting an Addendum to Mitigated Negative Declaration for Lennar Homes Tract 848
- 3-3 Approval – Side Letter Number 2 between the City of Lemoore and the General Association of Service Employment Unit (GASE)

Items 3-2 and 3-6 were pulled for separate consideration.

Motion by Mayor Pro Tem Matthews, seconded by Council Member Orth, to approve the Consent Calendar as presented.

Ayes: Matthews, Orth, Gornick, Lyons
Abstain: Chaney

- 3-2 Approval – Resolution 2021-04 – Adopting an Addendum to Mitigated Negative Declaration for Lennar Homes Tract 848

Motion by Council Member Gornick, seconded by Council Member Orth, to approve Resolution 2021-04, adopting an Addendum to Mitigated Negative Declaration for Lennar Homes Tract 848.

Ayes: Gornick, Orth, Matthews, Lyons
Noes: Chaney

- 3-3 Approval – Side Letter Number 2 between the City of Lemoore and the General Association of Service Employees Unit (GASE)

Motion by Council Member Gornick, seconded by Mayor Pro Tem Matthews, to approve Side Letter Number 2 between the City of Lemoore and the General Association of Service Employees (GASE).

Ayes: Gornick, Matthews, Orth, Chaney, Lyons

PUBLIC HEARINGS – Section 4

- 4-1 Public Hearing – Adoption of Resolution No. 2021-01 for Planned Unit Development No. 202-03, Revision of Fairway Courtyards Tentative Subdivision Map 2020-02, and Major Site Plan Review No. 2020-05 (Holwell)

Motion by Council Member Orth, seconded by Council Member Gornick, to continue the Public Hearing to the March 16, 2021 City Council meeting.

Ayes: Orth, Gornick, Chaney, Matthews, Lyons

- 4-2 Public Hearing – Introduction and First Reading – Ordinance 2021-01 – Amending Section 4-8-4(A) to the Lemoore Municipal Code Relating to Permitted Uses and Zoning for Commercial Cannabis Operations; Amending Section 4-8-7(E) of the Lemoore Municipal Code Relating to Grounds for Denial of an Employee Permit (Olson)

Public Hearing Open: 8:09 p.m.

No one spoke.

Public Hearing Closed: 8:09 p.m.

Motion by Mayor Pro Tem Matthews, seconded by Council Member Gornick, to introduce and waive the first reading of Ordinance 2021-01 – Amending Section 4-8-4(A) to the Lemoore Municipal Code Relating to Permitted Uses and Zoning for Commercial Cannabis Operations; Amending Section 4-8-7(E) of the Lemoore Municipal Code Relating to Grounds for Denial of an Employee Permit.

Ayes: Matthews, Gornick, Orth, Chaney, Lyons

NEW BUSINESS – Section 5

No New Business.

BRIEF CITY COUNCIL REPORTS AND REQUESTS – Section 6

6-1 City Council Reports / Requests

Council Member Orth participated in the one year anniversary at Keba's Boutique in downtown. He attended the KCAG meeting last Wednesday. A new transit center is being built in Hanford. Construction will start in a couple weeks. He asked if there were any updates on the Property Brothers fundraiser. Thanked Lemoore PD and Fire.

Council Member Gornick addressed Mr. Reed's public comment. He would like to consider moving to a larger facility to allow the public to participate. He would like to see quarterly reports in regards to LLMDs, Code Enforcement, Fire, etc. He thanked staff.

Council Member Chaney thanked City Staff, City Manager, City Clerk, Judy and Frank and Leadership from the Police Department for all the work they do.

Mayor Pro Tem Matthews thanked LVFD for the donation of the retired patrol truck #3 to Big Creek Fire Department. Thanked LPD for keeping Lemoore safe. She attended Keba's Boutique and wished the owner continued success. A lot of new businesses coming to Lemoore. KWRA save money on overage trash hauls. Parks and Recreation has begun to open classes. March 12th from 4-6 p.m. there will be a spaghetti dinner fundraiser for the Sarah Mooney Museum.

Mayor Lyons thanked all City staff. Downtown looks really nice. He thanked everyone participating in the Adopt a Planter project. Lemoore Fire donated retired patrol truck. Members of the Fire Department had to put some work to get it in working order. Pasta Fresh is coming to Cinnamon Square.

ADJOURNMENT

At 8:22 p.m., Council adjourned.

Approved the 16th day of March 2021.

APPROVED:

Stuart Lyons, Mayor

ATTEST:

Marisa Avalos, City Clerk



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Staff Report

Item No: 3-2

To: Lemoore City Council

From: Nathan Olson, City Manager

Date: March 10, 2021

Meeting Date: March 16, 2021

Subject: Second Reading – Ordinance 2021-01 – Amending Section 4-8-4(A) to the Lemoore Municipal Code Relating to Permitted Uses and Zoning for Commercial Cannabis Operations; Amending Section 4-8-7(E) of the Lemoore Municipal Code Relating to Grounds for Denial of an Employee Permit

Strategic Initiative:

- | | |
|--|---|
| <input type="checkbox"/> Safe & Vibrant Community | <input checked="" type="checkbox"/> Growing & Dynamic Economy |
| <input type="checkbox"/> Fiscally Sound Government | <input type="checkbox"/> Operational Excellence |
| <input type="checkbox"/> Community & Neighborhood Livability | <input type="checkbox"/> Not Applicable |

Proposed Motions:

Approve Ordinance 2021-01, an Ordinance amending Sections 4-8-4(A) and 4-8-7(E) to Chapter 8 of Title 4 of the City of Lemoore Municipal Code.

Subject/Discussion:

Municipal Code section 4-8-4(A), enacted as part of Ordinance 2019-03, establishes the permitted uses and zoning areas for commercial cannabis operations within the City. Municipal Code section 4-8-4(A) designates Light Industrial (ML) and Neighborhood Commercial (NC) Zones for commercial cultivation cannabis operations, and Light Industrial (ML) for cannabis manufacturing, testing, and distribution operations. The City desires to amend Municipal Code section 4-8-4(A) to permit commercial cannabis operations in areas designated Heavy Industrial (MH) Zones.

Furthermore, the Lemoore Municipal Code Section 4-8-7(E) provides that prior conviction of a crime involving the illegal use, possession, transportation, distribution or similar activities related to controlled substances, as defined in the Federal Controlled Substances Act, is grounds for denial of an employee permit. The employee permit is

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required for every employee or independent contractor working at a commercial cannabis operation or involved in transportation/delivery-related services for a commercial cannabis operation. In 1996 California citizens passed the California Compassionate Use Act (CUA), which appeared on the ballot as Proposition 215, creating a limited immunity for individuals who used cannabis for medical purposes to use in court if they get arrested. The proposed amendment to Municipal Code section 4-8-7(E) would create an exception from denial of an employee permit for marijuana related offenses for which the conviction occurred prior to passage of the CUA.

Financial Consideration(s):

There are no additional expenditures associated with this amendment.

Alternatives or Pros/Cons:

Pros:

- Economic benefits through future development
- Job creation
- Potential stimulation of future growth

Cons:

None noted.

Staff Recommendation:

Staff recommends that City Council approve Ordinance 2021-01, an ordinance amending Sections 4-8-4(A) and 4-8-7(E) to Chapter 8 of Title 4 of the City of Lemoore Municipal Code.

Attachments:

- ☐ Resolution:
- ☒ Ordinance: 2021-01
- ☐ Map
- ☐ Contract
- ☐ Other
- List:

Review:

- ☒ Asst. City Manager
- ☒ City Attorney
- ☒ City Clerk
- ☒ City Manager
- ☒ Finance

Date:

- 03/10/2021
- 03/12/2021
- 03/12/2021
- 03/10/2021
- 03/10/2021

ORDINANCE NO. 2021-01

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LEMOORE
AMENDING SECTION 4-8-4(A) OF THE LEMOORE MUNICIPAL CODE RELATING
TO PERMITTED USES AND ZONING FOR COMMERCIAL CANNABIS
OPERATIONS; AMENDING SECTION 4-8-7(E) OF THE LEMOORE MUNICIPAL
CODE RELATING TO GROUNDS FOR DENIAL OF AN EMPLOYEE PERMIT**

WHEREAS, in November 2016, California citizens approved Proposition 64, known as “The Control, Regulate and Tax Adult Use of Marijuana Act,” allowing for adult recreational use of cannabis in addition to compassionate medical use; and

WHEREAS, on June 18, 2019, Ordinance 2019-03, to allow commercial cannabis operations in the City of Lemoore for the primary purpose of raising general fund revenue, was introduced at a regular meeting of the City Council; and

WHEREAS, on July 2, 2019, Ordinance 2019-03 was passed and adopted at a regular meeting of the City Council; and

WHEREAS, Municipal Code section 4-8-4(A), enacted as part of Ordinance 2019-03, establishes the permitted uses and zoning areas for commercial cannabis operations within the City; and

WHEREAS, Municipal Code section 4-8-4(A) designates Light Industrial (ML) and Neighborhood Commercial (NC) Zones for commercial cultivation cannabis operations, and Light Industrial (ML) for cannabis manufacturing, testing, and distribution operations; and

WHEREAS, the City Council desires to amend Municipal Code section 4-8-4(A), so as to allow commercial cannabis operations to be located within Heavy Industrial (MH) Zones and to allow minor commercial cannabis manufacturing operations to be located within Professional Office (PO) Zones; and

WHEREAS, In 1996 California citizens passed the California Compassionate Use Act (CUA), which appeared on the ballot as Proposition 215, creating a limited immunity for individuals who used cannabis for medical purposes to use in court if they get arrested; and

WHEREAS, Municipal Code section 4-8-7(E) provides that prior conviction of a crime involving the illegal use, possession, transportation, distribution or similar activities related to controlled substances, as defined in the Federal Controlled Substances Act, are grounds for denial of an employee permit; and

WHEREAS, the City Council desires to amend Municipal Code section 4-8-7(E) to create an exception for grounds of a denial of an employee permit for marijuana related offenses for which the conviction occurred prior to passage of the CUA.

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF LEMOORE
DOES ORDAIN AS FOLLOWS:**

Section 1. Title 4, Chapter 8, Section 4-8-4, subdivision (A) of the Lemoore Municipal Code is hereby amended as follows, with additions in underline:

A. Permitted Uses And Zoning: Business owners meeting the requirements of this section shall be allowed to conduct the following commercial cannabis operations in the zones designated:

1. Cultivation - Light Industrial (ML), Heavy Industrial (MH) and Neighborhood Commercial (NC) Zones.
2. Manufacturing - Light Industrial (ML) and Heavy Industrial (MH) Zones; Professional Office (PO), subject to a Conditional Use Permit.
3. Testing - Light Industrial (ML) and Heavy Industrial (MH) Zones.
4. Distribution - Light Industrial (ML) and Heavy Industrial (MH) Zones.
5. Dispensaries - Downtown Mixed Use, Core (DMX-1), Downtown Mixed Use, Auto Oriented (DMX-2), Mixed Use (MU), Neighborhood Commercial (NC), Regional Commercial (RC), and Light Industrial (ML) Zones.
6. Deliveries - As allowed by this chapter or State laws.

Section 2: Title 4, Chapter 8, Section 4-8-7, subdivision (E) of the Lemoore Municipal Code is hereby amended as follows, with additions in underline:

E. Grounds For Denial Of Employee Permit: The grounds for denial of an employee permit shall be one or more of the following:

1. The applicant has been issued a local or State permit related to cannabis operations at any other location in California, or another state, and that permit was suspended or revoked, or the applicant has had disciplinary action relating to the permit.
2. The applicant has been convicted of any crime that would disqualify the applicant from working at a commercial cannabis operation under the Act.
3. The applicant has been convicted of a serious or violent offense as listed under California Penal Code sections 667.5 and 1192.7(c); convicted of a misdemeanor involving moral turpitude as defined under State law (generally crimes relating to theft and dishonesty) within the five (5) years preceding the date of the application; or convicted of a crime involving the illegal use, possession, transportation, distribution or similar activities related to controlled substances, as defined in the Federal Controlled Substances Act, with the exception of marijuana related offenses for which the conviction occurred prior to passage of the California Compassionate Use Act. A conviction would include a plea or verdict of guilty or a conviction following a plea of nolo contendere (i.e. "no contest").
4. The applicant has engaged in misconduct related to the qualifications, functions or duties of a permittee.
5. The applicant has committed any act, which, if done by a permittee, would be grounds for suspension or revocation of a permit.

Section 3: Ordinance 2019-03, in all other material respects, shall remain the same.

Section 4: This Ordinance shall take effect thirty (30) days after its adoption.

Section 5: The City Clerk is authorized and directed to cause this ordinance to be codified after its adoption.

Section 6: The City Clerk is further authorized and directed to cause this ordinance, or a summary of this ordinance, to be published once in a newspaper of general circulation published and circulated in the City of Lemoore within fifteen (15) days after its adoption. If a summary of this ordinance is published, then the City Clerk also shall cause a summary of the proposed ordinance to be published and a certified copy of the full text of the proposed ordinance to be posted in the Office of the City Clerk at least five (5) days prior to the Council's meeting at which the ordinance is to be adopted and again after the meeting at which the ordinance is adopted. The City Attorney shall approve the summary.

The foregoing Ordinance No. 2021-01 was introduced at a regular meeting of the City Council of the City of Lemoore on the 2nd day of March, 2021, and was passed and adopted at a regular meeting of the City Council on the 16th day of March, 2021, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST:

APPROVED:

Marisa Avalos
City Clerk

Stuart Lyons
Mayor



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Staff Report

Item No: 3-3

To: Lemoore City Council
From: Frank Rivera, Public Works Director
Date: March 5, 2021 **Meeting Date:** March 16, 2021
Subject: Resolution 2021-05 – Regarding Public Transit Needs Within the City of Lemoore and Authorizing the Filing of a Claim for Transportation Development Act Funds

Strategic Initiative:

- | | |
|---|--|
| <input type="checkbox"/> Safe & Vibrant Community | <input type="checkbox"/> Growing & Dynamic Economy |
| <input checked="" type="checkbox"/> Fiscally Sound Government | <input type="checkbox"/> Operational Excellence |
| <input type="checkbox"/> Community & Neighborhood Livability | <input type="checkbox"/> Not Applicable |

Proposed Motion:

Approve, by motion, the filing of a Notice of Exemption to certify that projects to be constructed with these funds are categorically exempt from the California Environmental Quality Act (CEQA); adopt Resolution 2021-05 making a determination regarding public transit needs; and authorize the City Manager to submit the Transportation Development Act (TDA) Fund claim application, including any needed amendments after the Department of Finance population estimates are released on May 1.

Subject/Discussion:

The City has received the “Estimated Fiscal Year 2021-2022” TDA Shares from Kings County Association of Governments (KCAG) regarding Fiscal Year 2021-2022 Local Transportation Fund (LTF) Claims. The estimate of funds available for apportionment is provided by the Kings County Auditor and is apportioned based on population percentages of each jurisdiction, from the most current Department of Finance population estimate.

Attached is the Article 8 Claim Form for the Kings County procedural records to request Lemoore’s share of funds, a Categorical Notice of Exemption and Resolution 2021-05.

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KCAG also included an Article 3 Claim Form for Pedestrian and Bicycle Facilities funding. However, this year, as in the past none of the agencies will be requesting these funds to be separated from the general LTF shares. This procedure allows all agencies to use these monies where needed. Staff recommends that the City of Lemoore not request funds under Article 3.

Below is the estimated distribution of TDA funds for the apportionment allocated to the City of Lemoore for FY 2021-2022:

KCAG Transportation Planning Costs	\$49,357
KCAPTA System Costs	\$274,324
Local Streets and Roads – Claim Amt.	\$504,684
City of Lemoore TDA Fund Total	\$828,365

These figures will be adjusted around May 1 when the new state population estimates are released. Resolution 2021-05 provides that the City Manager sign and submit this claim as well as any amended claims, as may be required.

In regards to filing of an Exemption Notice, Title 14, Section 15301(c) Public Resources Code provides that rehabilitation and/or reconstruction of existing highways and streets within existing rights of ways are categorically exempt from EIR requirements.

All agencies filing a claim for funds are required to hold a public hearing to determine if unmet transit needs exist within their jurisdiction. The Kings County Area Public Transit Agency (KCAPTA) scheduled a public hearing for February 24, 2021 on behalf of its member agencies.

Financial Consideration(s):

The funds of approximately \$504,684 will be deposited in our Local Transportation Fund (033) for use on street maintenance projects.

Alternatives or Pros/Cons:

None noted.

Commission/Board Recommendation:

Not applicable.

Staff Recommendation:

Staff recommends that City Council approve, by motion, the filing of a Notice of Exemption from CEQA and adopt resolution 2021-05 regarding public transit needs and authorize the City Manager to sign and submit claim for funds and any subsequent amended claims required.

Attachments:

- ☒ Resolution: 2021-05
- ☐ Ordinance:
- ☐ Map
- ☐ Contract
- ☒ Other

List: 2021 Claim Attachment "A"
 2021 TDA Shares Attachment "B"
 Summary of Capital Improvements Attachment "C"
 Notice of Exemption Attachment "D"

Review:

- ☒ Asst. City Manager
- ☒ City Attorney
- ☒ City Clerk
- ☒ City Manager
- ☒ Finance

Date:

- 03/10/2021
- 03/12/2021
- 03/01/2021
- 03/10/2021
- 03/10/2021

RESOLUTION NO. 2021-05

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LEMOORE
REGARDING PUBLIC TRANSIT NEEDS WITHIN THE CITY OF LEMOORE
AND AUTHORIZING THE FILING OF A CLAIM FOR
TRANSPORTATION DEVELOPMENT ACT FUNDS**

WHEREAS, the Transportation Development Act provides for Local Transportation Funds (LTF) for meeting transportation needs that can be reasonably met; and

WHEREAS, once public transportation needs are met, the balance of the LTF may be claimed for local streets and roads; and

WHEREAS, the City of Lemoore has participated with the Kings County Area Public Transit Agency (KCAPTA) to provide Public Transportation for the City of Lemoore; and

WHEREAS, the Kings County Area Public Transit Agency Board, a joint powers authority, had conducted a Public Hearing on behalf of the City Council to determine if there are unmet transportation needs that are reasonable to meet; and

WHEREAS, the aforementioned service is currently meeting all transit needs that are reasonable to be met.

NOW THEREFORE, BE IT RESOLVED that the City Council of the City of Lemoore does hereby find and determines based upon the testimony and evidence considered that there are no areas within its jurisdiction with unmet public transit needs which could be reasonably met by expansion of the existing transportation system or by the establishment of a new system.

BE IT FUTHER RESOLVED that the City Council of the City of Lemoore claims the unused balance of the Local Transportation Funds, not used for public transportation and transportation planning, for maintenance of local streets and roads and finds that maintenance of streets and roads is categorically exempt from environmental review.

BE IT FUTHER RESOLVED that the City Manager is hereby authorized to sign and submit the claim for Transportation Development Act Funds and any subsequent amended claims required.

/

/

/

PASSED AND ADOPTED by the City Council of the City of Lemoore at a Regular Meeting held on 16th day of March 2021 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST:

APPROVED:

Marisa Avalos
City Clerk

Stuart Lyons
Mayor

CLAIM FOR TDA FUND

OTHER CLAIMS ARTICLE 8

1. Claimant: City of Lemoore
711 W. Cinnamon Dr.
Lemoore, CA 93245
2. Claim for FY 2021-22
3. Amount of Apportionment (estimate): 17.2576% \$ 828,365
4. Purpose for which claimed funds will be used:

Article 8, Section 99400(a), Local Street and Roads.	\$ <u>504,684</u>
Article 8, Section 99400(c), Transportation Services.	\$ <u>0</u>
Article 8, Section 99233.1 and 99402, Planning.	\$ <u>49,357</u>
Article 8, Section 99234.9, Rail Passenger Service Projects	\$ <u>0</u>
5. NOTE: KCAPTA will Claim \$ 274,324 through Article 4.
6. Has your governing body conducted a public hearing for the purpose of soliciting comments on the unmet transit needs that may exist within your jurisdiction?

NO _____YES _____
7. Has your governing body passed a resolution in which the finding was made that there are no areas within your jurisdiction with unmet public transit needs which could reasonably be met by expansion of existing transportation systems or by establishing a new system?

NO _____YES _____

Include a copy of that resolution and documentation of the finding, including evidence and information that provides the basis for the finding, and designate it as "Attachment B".

8. Has your governing body passed a resolution authoring the person whose signature appears below to submit this claim?

NO _____

YES _____

9. Proposed road maintenance and construction budget for the fiscal year of this claim:

\$ _____

Include a list of road maintenance and construction projects for which the funds are requested and designate it as "Attachment C".

10. Has your governing body certified environmental documents for projects to be funded by this claim?

NO _____

YES _____

11. _____
Signature and Title

Date

Payment for projects approved by KCAG will be made to Claimant as money is available for distribution in Claimant's account.

**ESTIMATED FY 2021-22
TRANSPORTATION DEVELOPMENT ACT SHARES**

21-22 LOCAL TRANSPORTATION FUND SHARES				AMOUNT CLAIMED	AMOUNT REMAINING
1. Estimate of LTF for Fiscal Year 2021-22 by Kings County Auditor pursuant to Section 6620 of the California Administrative Code:					\$4,800,000
2. Article 3, Pedestrian and Bicycle Facilities:				\$96,000 (amount available)	\$4,800,000
AMOUNT					
Claimed to date \$0					
3. Shares of remaining LTF based on the Department of Finance population estimate as of May 1, 2020:					\$4,800,000
AGENCY	POPULATION*	PERCENTAGE	SHARE		
Avenal	13,189	8.5861%	\$412,133		
Corcoran	21,302	13.8678%	\$665,654		
Hanford	59,349	38.6366%	\$1,854,557		
Lemoore	26,509	17.2576%	\$528,365		
Kings Co.	33,259	21.6519%	\$1,039,291		
TOTAL	153,608	100.0000%	\$4,800,000		
4. LTF Administration and Article 8 Transportation Planning cost for KCAG:				\$286,000	\$4,514,000
AGENCY	PERCENTAGE	SHARE			
Avenal	8.5861%	\$24,556			
Corcoran	13.8678%	\$39,662			
Hanford	38.6366%	\$110,501			
Lemoore	17.2576%	\$49,357			
Kings Co.	21.6519%	\$61,924			
TOTAL	100.0000%	\$286,000			
5. Article 4, Public Transit, KART (Not Shared by Corcoran):				\$1,200,000	\$3,314,000
AGENCY	PERCENTAGE (Based on Pop. & Hrs. of Service)	SHARE			
Avenal	5.7074%	\$68,489			
Corcoran	0.0000%	\$0			
Hanford	52.4861%	\$629,833			
Lemoore	22.8603%	\$274,324			
Kings Co.	18.9462%	\$227,354			
TOTAL	100.0000%	\$1,200,000			
6. Article 8, Transportation Services and Planning, City of Avenal: (From Avenal's Share)				\$8,000	\$3,306,000
AGENCY	SHARE				
Avenal	\$8,000				
7. Article 4, Public Transit, Corcoran Dial-A-Ride: (From Corcoran's Share)				\$530,992	\$2,775,008
AGENCY	SHARE				
Corcoran	\$530,992				
8. Article 8, Transportation Services: (From Corcoran's Share)				\$95,000	\$2,680,008
AGENCY	SHARE				
Corcoran KART tickets	\$5,000				
Corcoran Amtrak tickets	\$90,000				
9. Remaining Article 8 shares for streets and roads. (By population % shown in item #3 above):				\$2,680,008	\$0
AGENCY	SHARE				
Avenal	\$311,088				
Corcoran	\$0				
Hanford	\$1,114,223				
Lemoore	\$504,684				
Kings Co.	\$750,013				
TOTAL	\$2,680,008				
Estimated FY 2021-22 LTF:				\$4,800,000	

* Based on 2020 Department of Finance estimates released on May 1, 2020.

2/24/2021

2021-22 STATE TRANSIT ASSISTANCE FUND SHARES				AMOUNT CLAIMED	AMOUNT REMAINING
1. Estimate of State Transit Assistance (STA) for Fiscal Year 2021-22 by State Controller pursuant to Section 99312.7 and Section 99314.8 of the Public Utilities Code:					\$1,103,218
2. Article 6.5 Allocation: By Population (PUC 99313):*				\$1,060,525	\$42,693
AGENCY	POPULATION	PERCENTAGE	SHARE		
KCAPTA	132,306	86.1322%	\$913,454		
Corcoran	21,302	13.8678%	\$147,071		
TOTAL	153,608	100.0000%	\$1,060,525		
By Revenue (PUC 99314):				\$42,693	\$0
AGENCY			SHARE		
KCAPTA			\$36,781		
Corcoran			\$5,912		
TOTAL			\$42,693		
Estimated FY 2021-22 STA:				\$1,103,218	

* Based on 2020 Department of Finance estimates released on May 1, 2020.
Note - SB 1 STA funds included

SCHEDULE 5

SUMMARY OF CAPITAL IMPROVEMENT PROJECTS

FUND	PROJECT #	PROJECT TITLE	2020-2021	2021-2022
		<u>STREETS</u>		
034	5001	Streets Master Plan	-	
034	5006	Slurry Seal Projects	117,500	119,850
033	New	FY 21-22 Summer Streets Maintenance		500,000
UNK	5007	Bush/41 Interchange	-	-
Multi	5010	Summer Overlay Projects	102,300	
Multi	5013	Bush Avenue 19th Overlay	940,000	
034	5027	Reclamite Projects	200,000	200,000
Multi	5028	Sidewalk on 19th Cinnamon to D Street	262,503	1,677,103
001	5029	Sidewalk Repair Program	-	50,000
034	5005	2020 Slurry SB1 Project	20,000	1,000,000
033	5015	Vine Street Pedestrian Path	220,400	
			<u>1,862,703</u>	<u>3,672,953</u>

ATTACHMENT “D”

Notice of Exemption

To: Kings County Clerk/Recorder
Kings County Government Center
1400 W Lacey Blvd
Hanford, CA 93230

From: City of Lemoore
711 W Cinnamon Drive
Lemoore, CA 93245

Project Title: Streets and Roads Maintenance and Reconstruction

Project Location: Existing street rights of way within the Lemoore City Limits

City: Lemoore **County:** Kings

Description of Project: Improvement of City streets for the benefit of vehicular traffic.

Name of Public Agency Approving Project: City of Lemoore

Name of Person or Agency Carrying Out Project: Public Works Department, City of Lemoore

Exempt Status:

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- ☒ Categorical Exemption. State type and section number: 15301(c)
- ☐ Statutory Exemptions. State code number: _____

Reasons why project is exempt: The project is exempt from provisions of the California Environmental Quality Act (CEQA) pursuant to section 15301(c) of the CEQA Guidelines.

- Section 15301(c) exempts repair or maintenance of existing highways and streets, sidewalks, gutters, bicycle and pedestrian trail, and similar facilities.

Contact Person: Amanda Champion

Telephone: 559-924-6744 Ext 701

Frank Rivera
Public Works Director

Date



711 West Cinnamon Drive • Lemoore, California 93245 • (559) 924-6744

Staff Report

Item No: 3-4

To: Lemoore City Council
From: Michelle Speer, Assistant City Manager/Administrative Services Dir.
Date: March 9, 2021 **Meeting Date:** March 16, 2021
Subject: Denial of Claim for Mr. Ulysses Vega
Strategic Initiative:

- | | |
|---|--|
| <input type="checkbox"/> Safe & Vibrant Community | <input type="checkbox"/> Growing & Dynamic Economy |
| <input checked="" type="checkbox"/> Fiscally Sound Government | <input type="checkbox"/> Operational Excellence |
| <input type="checkbox"/> Community & Neighborhood Livability | <input type="checkbox"/> Not Applicable |

Proposed Motion:

Approve the Denial of Claim for Mr. Ulysses Vega

Subject/Discussion:

The City of Lemoore received a claim from Mr. Ulysses Vega on January 15, 2021 for incident that occurred on October 8, 2020. Mr. Vega is alleging he suffered injuries as a result of a vehicle collision due to a pursuit.

The City submitted the claim to the third-party administrator of liability claims, Acclamation Insurance Management Services (AIMS). AIMS concluded their investigation and are recommending the City reject the claim, thereby starting the six-month statute of limitations deadline.

Financial Consideration(s):

The claimant is seeking an amount in excess of \$10,000.

Alternatives or Pros/Cons:

The City could choose to accept the claim.

Commission/Board Recommendation:

Not applicable.

Staff Recommendation:

Staff recommends denial of the claim for Mr. Ulysses Vega, as recommended by AIMS.

Attachments:

- ☐ Resolution:
 - ☐ Ordinance:
 - ☐ Map
 - ☐ Contract
 - ☒ Other
- List: Claim

Review:

- ☒ Asst. City Manager
- ☒ City Attorney
- ☒ City Clerk
- ☒ City Manager
- ☒ Finance

Date:

03/10/2021
03/12/2021
03/12/2021
03/10/2021
03/10/2021

CENTRAL SAN JOAQUIN VALLEY RISK MANAGEMENT AUTHORITY

CLAIM FORM

(Please Type Or Print)

CLAIM AGAINST Lemoore Police Depart. / City of Lemoore

(Name of Entity)

Claimant's name: Ulysses Vega

DOB. _____

Gender: Male ☒

Female _____

Claimant's address: _____

Telephone: _____

Address where notices about claim are to be sent, if different from above: _____

Date of incident/accident: 10/08/2020Date injuries, damages, or losses were discovered: 10/08/2020Location of incident/accident: Lemoore City Kings CountyWhat did entity or employee do to cause this loss, damage, or injury? Police chase caused vehicle being chased to collide with our clients vehicle

(Use back of this form or separate sheet if necessary to answer this question in detail.)

What are the names of the entity's employees who caused this injury, damage, or loss (if known)? _____

Lemoore Police Department / City of LemooreWhat specific injuries, damages, or losses did claimant receive? Concussion, head injury, back pain, neck pain, nose injury, mouth/jaw, teeth, hip and shoulder/arm.

(Use back of this form or separate sheet if necessary to answer this question in detail.)

What amount of money is claimant seeking or, if the amount is in excess of \$10,000, which is the appropriate court of jurisdiction. Note: If Superior and Municipal Courts are consolidated, you must represent whether it is a "limited civil case" [see Government Code 910(f)]

Amount is in excess of 10,000 /still pending final amountHow was this amount calculated (please itemize)? Property damage/medical bills and pending medical treatment

(Use back of this form or separate sheet if necessary to answer this question in detail.)

Date Signed: _____

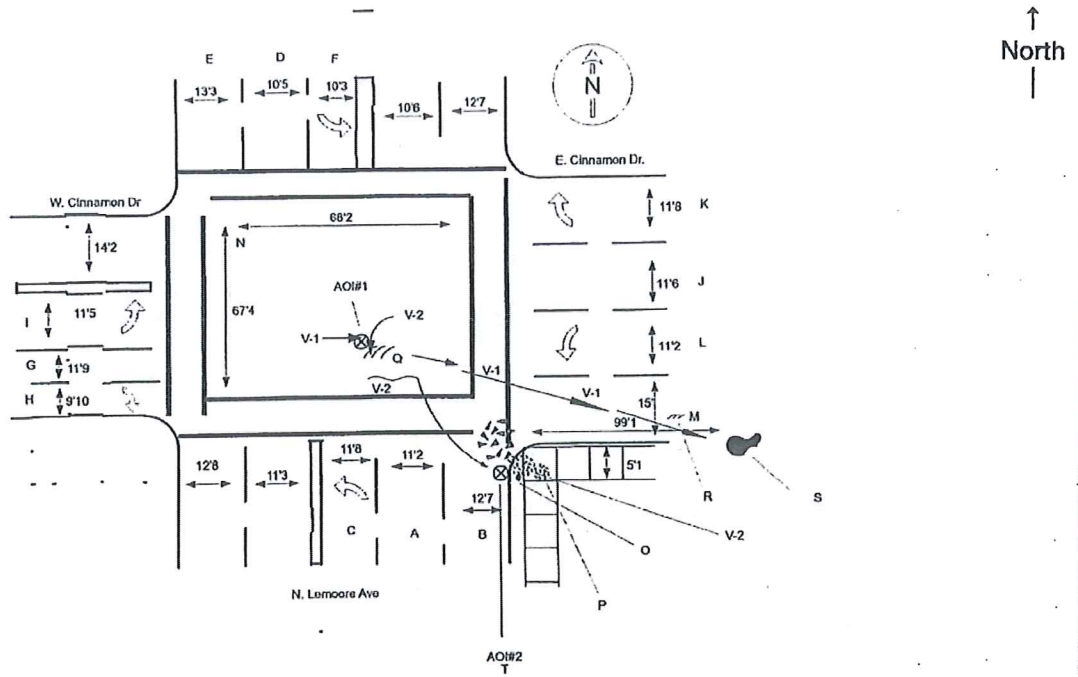
Signature: _____

If signed by representative:

Representative's Name Stephen MashneyAddress 335 N Brookhurst St. Anaheim CA 92801Telephone # (714) 535-5090Relationship to Claimant Attorney

DIAGRAMS

General Diagram



Street Incidents





711 West Cinnamon Drive • Lemoore, California 93245 • (559) 924-6744

Staff Report

Item No: 4-1

To: Lemoore City Council

From: Steve Brandt, City Planner

Date: March 9, 2021 Meeting Date: March 16, 2021

Subject: Resolution 2021-06 and Ordinance 2021-02, approving Planned Unit Development No. 2020-03, Fairway Courtyards Tentative Subdivision Map No. 2020-02, and Major Site Plan Review No. 2020-05 in accordance with the findings and conditions in the Resolution.

Strategic Initiative:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Safe & Vibrant Community | <input type="checkbox"/> Growing & Dynamic Economy |
| <input type="checkbox"/> Fiscally Sound Government | <input type="checkbox"/> Operational Excellence |
| <input checked="" type="checkbox"/> Community & Neighborhood Livability | <input type="checkbox"/> Not Applicable |

Proposed Motion:

Adopt Resolution 2021-06 and introduce and waive the first reading of Ordinance 2021-02, approving Planned Unit Development No. 2020-03, Fairway Courtyards Tentative Subdivision Map No. 2020-02, and Major Site Plan Review No. 2020-05 in accordance with the findings and conditions in the Resolution.

Subject/Discussion:

The applicant proposes to subdivide 4.59 acres into 29 single-family residential lots and three outlots, which contain a small park, a 5-space parking area, and an on-site ponding basin. The project is located approximately 400 feet south of Iona Avenue and on the east side of Vine Street. Proposed access to the subdivision is from Sandtrap and Green Lanes along Vine Street on the site's western boundary. Land use to the immediate north of the site is designated Light Industrial and already supports several commercial moving and storage operations. On the east and south is the Lemoore Municipal Golf Course. To the west, across Vine Street, is the City's wastewater treatment facility.

The minimum lot size is 2,508 square feet, and the maximum lot size is 5,747. The average lot size is 4,337. The applicant has also submitted elevations and floor plans for four separate home layouts to be built on the lots ranging in size from 867 square feet to 1,551 square feet. Three of the four elevation plans have two different elevation types, ornamentation, and roofline options. The homes are pre-plotted, meaning that a specific floor plan is planned for each lot.

Home Size:	867 sq. ft. to 1,551 sq. ft.
Lot Size:	2,508 sq. ft. to 5,747 sq. ft.
Average Lot Size:	4,337 sq. ft.



Site Location
Fairway Courtyards

Previous Relevant Actions: As per City Resolution No. 2004-48, Tract Map TR 820 – Fairway Courtyards, was previously approved and the final map was recorded, creating 39 lots with 3 outlots on the site. Construction of the infrastructure and roadways began but were not completed due to unfavorable economic conditions at the time. The original project, a 39-unit multi-family housing project was approved per Planned Unit Development 2004-021, CUP 2004-054 and TSM 2004-043, was passed and adopted by Resolution 2004-48 on September 7, 2004 (Exhibit C).

The previously approved and installed street and utility improvements will be utilized for the new development. The new Planned Unit Development (PUD) and tentative subdivision map will recreate 29 new lots over the 39 existing lots. Therefore, the former project, Planned Unit Development No. 2004-021, and finalized lots (APNs: 024-390-001 through 024-390-042) would be revoked and superseded by the new PUD and tentative subdivision map.

General Plan: The site is designated Low-Medium Density Residential by the General Plan. The proposed residential density is consistent with this General Plan designation. The General Plan allows PUDs to be created in this designation that meet the planned density.

Zoning: The Zoning Map designates the site as Low-Medium Density Residential (RLMD). The proposed use is consistent with the current municipal Zoning ordinance. The Zoning Ordinance allows PUDs to be approved that deviate from the standard minimum lot sizes and building setback standards.

Tentative Subdivision Map: The Tentative Subdivision Map includes 29 total residential lots and 3 outlots consisting of 1.2 acres. The streets servicing the area are Vine Street and Iona Avenue. Local streets are proposed as public streets. They will not comply with current City standards. The City engineer will accept the non-standard streets because they are already partially constructed. To change the project to meet City standard would make the project economically infeasible.

The new map configuration will supersede the previously approved TSM 2004-043 and reconfigure lot layouts for the 29 individual parcels shown.

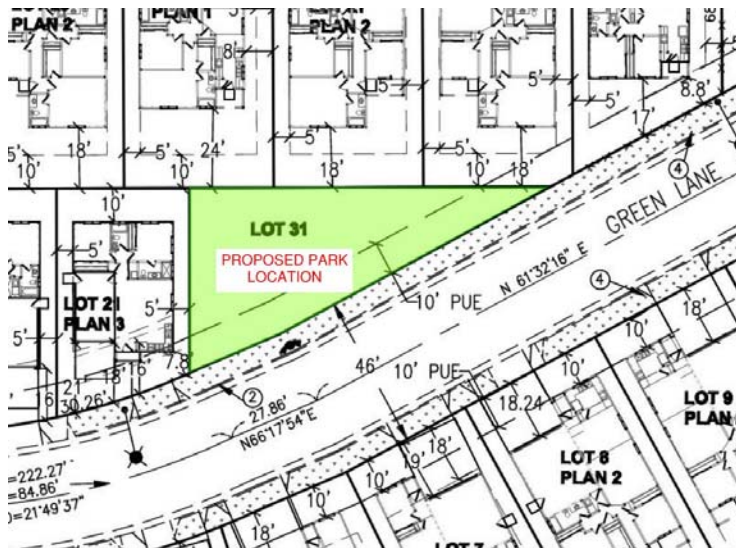
Major Site Plan Review: The Major Site Plan Review comments dated February 16, 2021 and checklists from the City departments are attached. As noted, the proposed map is consistent with City standards for new subdivisions, as modified by the proposed PUD. A condition has been included in the Resolution to meet the conditions in the site plan comments/checklists.

Vehicular and Pedestrian Access: The proposed ingress/egress to the subdivision is via two entrances. One is from Vine Street at Sandtrap Lane and the other is just to the south at Green Lane. These two points of ingress/egress provide adequate traffic circulation and access for all 29 residential lots. Parcels adjacent to Vine Street would not have any direct access onto Vine Street. As a collector street under the General Plan designations, the proposed right-of-way of Vine Street would be 60 feet, which is acceptable to the Public Works Department and allowed by the General Plan.

Storm Drainage Basin: The Plan proposes to drain surface and collected stormwater to a basin at the eastern end of the site. The existing basin will be expected to accommodate all the stormwater runoff from the subdivision. Storm drainage basin calculations for sizing basin will need to be provided to the City.

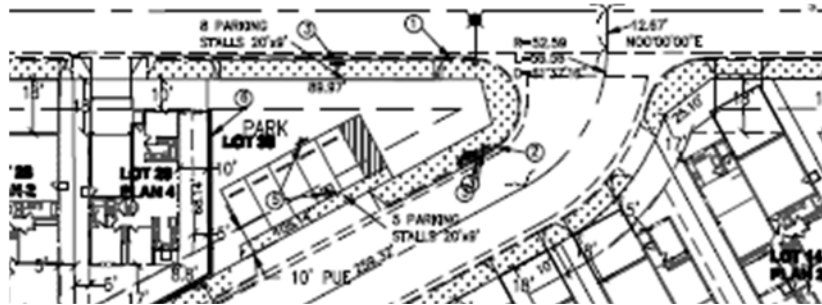
Park: The park, shown on the plan as Lot 31, will be built to City standards by the developer and dedicated to the City when completed. Maintenance will be funded through a public facilities maintenance district (PFMD). The applicant has submitted a concept plan for landscaping of the park. The Planning Commission has recommended the proposed park be ADA compliant and include a minimum of one tot lot play structure suitable for 2-5 year olds, two park benches, one picnic table, shade trees, landscaping and access walk/walks connecting benches, table, play structure and the street. The park and all included equipment shall be approved by the Community Development Director prior to installation. To ensure that the park is available to new residents, Staff is recommending a condition that the park be completed and open for use prior to completion of the 10th home.

The Lemoore Municipal Code requires 0.016 acres per single-family lot to be dedicated as park land with a new subdivision. The 29 lots would require 0.464 acres (or 20,212 sq.ft.) of park acreage. Based on the draft Tentative Subdivision Map submitted November 5, 2020, the park is approximately 3,128 sq.ft. Since the actual landscaped acreage of the park is less than 0.464 acres, the remaining acreage required for the Ordinance shall be provided through an in-lieu fee with the amount based on an appraisal of residentially zoned properties performed by an appraiser approved by the Community Development Director in accordance with City Ordinance Section 8-7N-4. The cost of the appraisal shall be paid by the developer. A condition is being recommended that up to \$7,500 in park in-lieu fees be credited toward the cost of the tot lot play structure.



Park Location

Parking Area: Lot 30 is designated as additional parking for residents and guests. Areas that do not contain pavement shall be landscaped in a manner compatible with the rest of the development.



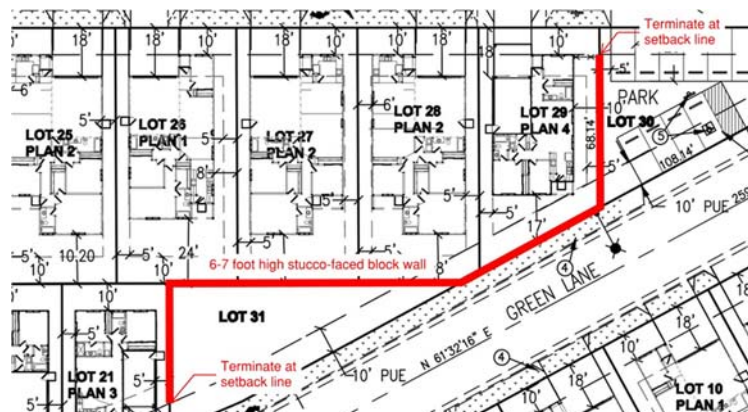
Parking Area

On-street Parking: Because the streets are narrower than City standard, on-street parking will only be allowed on the south side of Green Lane and Sandtrap Lane. The north side of both streets will have red curb for no parking.

Walls & Fences: A minimum 6'8" high decorative masonry block wall shall be installed along the northern boundary line of the subdivision and along Vine Street. To be consistent with the other golf course subdivisions, Staff had recommended a stucco covered wall; however, the Planning commission, after hearing testimony from the applicant, is recommending a painted wall. The wall shall be constructed per City Standards and include columns and caps.

Fences along the south side of the subdivision, adjacent to the golf course, will be of powder coated wrought iron (or similar approved material) to match the properties with existing fencing currently surrounding the golf course. The wrought iron fencing will also be located between the end of the cul-de-sac and the drainage basin.

An enhanced wood fence separating the residential living spaces from the proposed park and parking lot (Lots 30 and 31) is recommended since the City will be responsible for maintenance of the fence over time. The recommendation is that a continuous concrete mow strip be placed along the fence line, and that the fence posts be constructed of metal or concrete. This will lengthen the fence's lifespan before needing replacement. The fence shall be constructed so that the posts face away from the public view.



Location of enhanced wood fence

Easements: The site plan indicates a proposed 10-foot wide public utility easement (PUE) on all lots adjoining the streets.

Due to the proximity of the wastewater treatment plant, a noise and odor easement needs to be recorded to legally inform buyers of the potential for noise and odor. This easement is required for all new subdivisions in Lemoore due to industrial, aircraft and agricultural activities, but it is especially important because of this project's proximity to the wastewater treatment facility.

Because the subdivision is located adjacent to the golf course, an airspace easement will need to be recorded. This is required to protect the golf course from claims for damage caused by golf ball impacts.

Vine Street Walkway/Bikeway: The City has obtained a grant to construct an off-street walkway/bikeway adjacent to Vine Street extending south of Green Lane adjacent to the golf course property. A condition has been added to continue the walkway/bikeway along the project site between the curb and block wall along Vine Street north of Green Lane.

Water: Water service is provided by a looped line through the subdivision that connects to 12-inch service at Iona Avenue.

Fire Hydrants: The City Fire Department requires the installation of fire hydrants spaced approximately 300 feet apart within the subdivision and shall have adequate fire flow as determined by the City Engineer.

Streetlights: Streetlights will need to be provided along Vine Street and within the development. Streetlights along Vine Street will need to meet the City collector street standards. Streetlights along Sandtrap and Green Lanes will need to meet the City local street standards.

Cluster Mailboxes: The location of the cluster mailbox pads and installation of boxes are the responsibility of the developer and final number and location of the pads shall be coordinated with the Lemoore Postmaster.

Dust Control: Soil disruption during construction can cause significant fugitive dust, which is a major contributor to the current air quality problems in the region. The developer will need to comply with the San Joaquin Valley Air Pollution Control District standards and the City of Lemoore dust control requirements.

Planned Unit Development: The RLMD (Low-Medium Density Residential) zone has a minimum lot size standard of 3,000 square feet as shown in the Lemoore Municipal Code (LMC), Table 9-5A-4A. The applicant has proposed modifications to the development standards, which can be obtained through the approval of a Planned Unit Development (LMC, Title 9, Chapter 9), and would be conditioned on the future adoption of an ordinance by the City Council establishing an overlay zone for the Planned Unit Development. The proposed Planned Unit Development would modify those standards to allow smaller sized lots. The smallest lot would be 1,934 square feet. The average would be 3,750 square feet.

The RLMD (Low-Medium Density Residential) zone typically has a minimum front setback of 20 feet, from the front of the garage, 5 feet side (interior) for single-story homes, 10 feet side (interior) for two-story homes, 15 feet street side, 10 feet rear for single-story

homes, and 10 feet rear for two-story homes, as shown in the Lemoore Municipal Code 9-5A-4A.

The applicant has proposed that the Planned Unit Development modify the standards to allow a change to the required minimum setbacks for this subdivision only. The project proposes minimum setbacks of 10 feet from the property line to front of living space and 18 feet to front of garage.

All the home layouts are single story with garages recessed behind the front living space. Street side setbacks will remain at 15 feet. Interior side setbacks will remain at 5 feet. To accommodate the proposed home plans, Staff is recommending minimum rear setbacks be 10 feet for Lots 15 to 29 and 20 feet for Lots 1 to 14. The homes shown on the plan that do not meet these minimums can be shifted so that the minimums are met. The maximum height of the homes would remain the same as the standards in the zoning ordinance.

The home plans have been designed to fit on the site. While the lot sizes are changing, the desire to utilize the existing partially constructed infrastructure means that lot depths are fixed. The home plans have been designed to fit the proposed front and rear yard setbacks. The following table compares the City's minimum building setbacks in the RLMD zone to the previously approved PUD and the newly proposed PUD.

	Front Setback	Side Setback	Rear Setback
RLMD zone in Zoning Ordinance	Front to Living Space 20' Front to Garage 20'	Interior Side 5' Street Side 15'	10'
Previously Approved PUD	Front to Living Space 10' Front to Garage 10'	Single-story 5' Two-story 7.5'	13'
New Proposed PUD	Front to Living Space 10' Front to Garage 18'	Interior Side 5' Street Side 15'	20' (Lots 1 to 14) 10' (Lots 15 to 29)

As the table above shows, the new PUD proposes similar side and rear setbacks to the City's Zoning Ordinance. The revision proposed by the PUD occurs in the front setback with the front living space having only a 10' setback instead of the required 20' and the garage having an 18' setback as opposed to the required 20'.

Residential Master Home Plans: Review of residential master home plans is part of the Major Site Plan Review process for new residential subdivisions. The architecture of the home plans is depicted in the attached floor plan and elevation plans. Four floor plans were submitted with square footages of between 867 and 1,551 square feet. All the homes are single-story. To be consistent with other subdivisions at the golf course, Staff had recommended that the homes have tile roofs; however, the Planning Commission, after hearing testimony from the applicant, is not making that recommendation, meaning the applicant can choose any type of roofing material.

Plan 1 Models have three bedrooms. There are two possible façade treatments, architectural detail treatments, and roof line options. It has a two-car garage.

Plan 2 Models also have three bedrooms. There are two possible façade treatments, architectural detail treatments, and roof line options. It has a two-car garage.

Plan 3 Model has two bedrooms. There is one possible façade treatment option. It has a one-car garage. Only one of these homes is planned in the neighborhood.

Plan 4 Models have three bedrooms. There are two possible façade treatments, architectural detail treatments, and roof line options. It has a one-car garage.

The Planning Commission reviewed the master home plans and elevations for conformance with Lemoore's Zoning Ordinance Section 9-5C-3 (Design Standards for Residential Projects.) In all, seven different front elevation "looks" would be available to meet the City's "six pack" rule. Since all home elevations are substantially the same (one window and one garage door on either side of a centered front door), staff recommends offering purchasers an "option" to include brick and/or stone facades to further enhance the front elevations.

Illustrations of the floor plans and front elevation plans can be found in the attachments. A comparison of all seven possible elevations is also attached, along with a rendering of a carriage style garage door proposed by the developer.

Utilities and Development Impact Fees: All remaining utilities that do not currently exist on the site, will be installed by the developer. The project is serviced by the existing sewer line along Vine Street. Development impact fees will be paid when the homes acquire their certification of occupancy just prior to move-in.

Environmental Assessment: Because the site was previously partially developed, a Class 32 (Infill) Categorical Exemption was prepared for the project in accordance with the California Environmental Quality Act (CEQA). The previous approvals on the site included the approval of a Negative Declaration. However, it was a less common practice at that time to utilize this particular CEQA exemption.

Financial Consideration(s):

Funding for maintenance for the park, parking area and ponding basin will be incorporated into the Public Facilities Maintenance District.

Alternatives or Pros/Cons:

City Council can choose to deny the proposal, or to approve the proposal with revisions to the Planning Commission's recommended conditions of approval.

Commission/Board Recommendation:

The Planning Commission voted 7-0 to recommend approval at their meeting on March 8, 2021, with the conditions in Resolution 2021-06.

Staff Recommendation:

Staff recommends adoption of Resolution 2021-06 and introduce and waive the first reading of Ordinance 2021-02, recommending approval of Planned Unit Development No. 2020-03, Revision of Fairway Courtyards Tentative Subdivision Map No. 2020-02, and Major Site Plan Review No. 2020-05 in accordance with the findings and conditions in the Resolution.

Attachments:

- ☒ Resolution: 2021-06
- ☒ Ordinance: 2021-02
- ☒ Map: See below.
- ☐ Contract
- ☒ Other:

Review:

- ☒ Asst. City Manager
- ☒ City Attorney
- ☒ City Clerk
- ☒ City Manager
- ☒ Finance

Date:

- 03/10/2021
- 03/12/2021
- 03/12/2021
- 03/10/2021
- 03/10/2021

Tentative Subdivision Map No. 2020-02 Revised Map dated 3-1-2021 with corrections noted

Planned Unit Development Site Plan No. 2020-03 Revision No. 7 dated 3-1-2021 with corrections noted

Home Floor Plans and Elevation Plans

Side-by-side Comparison of Elevations

Carriage style garage door

Conceptual Plan of Park

Major Site Plan Review Comments dated February 16, 2021 and checklists

Engineer Comments dated February 25, 2021 (TSM and PUD site plan notes attached.)

CEQA – Notice of Exemption (Findings attached.)

General Plan Land Use Map

Zoning Map

RESOLUTION NO. 2021-06

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LEMOORE
APPROVING FAIRWAY COURTYARDS TENTATIVE SUBDIVISION MAP NO. 2020-02 AND SITE PLAN REVIEW NO. 2020-05 TO DIVIDE 4.59 ACRES INTO 29 SINGLE-FAMILY LOTS AND THREE OUTLOTS LOCATED ON THE EAST SIDE OF VINE STREET, APPROXIMATELY 400 FEET SOUTH OF IONA AVENUE, IN THE CITY OF LEMOORE**

WHEREAS, Energy Homes Inc. dba G.J. Gardner Homes has requested approval of a Planned Unit Development, Tentative Subdivision Map and a Major Site Plan Review to divide 4.59 acres into 29 single-family lots and three outlots, and for approval of new single-family home master plans, located on the east side of Vine Street, approximately 400 feet south of Iona Avenue in the City of Lemoore (Currently APN: 024-390-001, -002, -003, -004, -005, -006, -007, -008, -009, -010, -011, -012, -013, -014, -015, -016, -017, -018, -019, -020, -021, -022, -023, -024, -025, -026, -027, -028, -029, -030, -031, -032, -033, -034, -035, -036, -037, -038, -039, -040, -041, -042); and

WHEREAS, the proposed site is 4.59 acres in size and is zoned Low-Medium Density Residential; and

WHEREAS, the project has been determined to be Categorically Exempt for CEQA based on the Class 32 Infill Exemption; and

WHEREAS, the Lemoore Planning Commission held a duly noticed public hearing at its March 8, 2021, meeting, which had been continued from February 22, 2021, and voted 7-0 to recommend approval of the planned unit development, tentative subdivision map, and major site plan review, with conditions.

WHEREAS, the Lemoore City Council held a duly noticed public hearing at its March 16, 2021, Regular Meeting.

NOW THEREFORE, BE IT RESOLVED that the City Council of the City of Lemoore hereby makes the following findings regarding the proposed projects, based on facts detailed in the March 16, 2021, staff report, which is hereby incorporated by reference, as well as the evidence and comments presented during the Public Hearing:

1. The proposed project consists of one-story single-family homes with public streets and a park, parking area, and drainage basin that will be maintained by a Public Facilities Maintenance District (PFMD).
2. The project is consistent with the General Plan goals, policies, and implementation programs of the City.
3. The Planned Unit Development (PUD) is compatible and in conformity with public convenience, general welfare, and good land use and zoning practice. The PUD provides

for alternative development standards that will increase the density of the site while avoiding negative impacts.

4. The PUD will not be detrimental to the health, safety, and general welfare of the City.
5. The PUD will not adversely affect the orderly development of property or the preservation of property values as the project involves the development of well-designed single-family homes.
6. The Tentative Subdivision Map is consistent with the General Plan and all applicable provisions of the Zoning Code, once approved as part of the PUD.
7. The proposed project will not be substantially detrimental to adjacent property and will not materially impair the purposes of the Zoning Ordinance or the public interest.
8. As proposed and conditioned herein, the site design of the project is consistent with the residential development standards in the Zoning Ordinance, as modified by the Planned Unit Development.
9. The proposed project is consistent with the objectives of the General Plan and complies with applicable zoning regulations, including the proposed overlay zone for the Planned Unit Development, specific plan provisions, and improvement standards adopted by the City.
10. The proposed architecture, site design, and landscape are suitable for the purposes of the buildings and the site and will enhance the character of the neighborhood and community.
11. The architecture, character, and scale of the buildings and the site are compatible with the character of buildings on adjoining and nearby properties.
12. The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.
13. The project's lot sizes are consistent with densities in the General Plan and are appropriate for this site.

BE IT FURTHER RESOLVED that the City Council of the City of Lemoore approves Fairway Courtyards Tentative Subdivision Map No. 2020-02 and Site Plan Review No. 2020-05 subject to the following conditions, and intends to approve Planned Unit Development No. 2020-03 by separate ordinance.

1. The site shall be developed consistent with the approved Tentative Subdivision Map, as modified by the Planned Unit Development, these conditions, staff report dated March 8, 2021, and applicable development standards found in the Zoning Ordinance and Lemoore Municipal Code.
2. The site shall be developed consistent with the Site Plan Review comments in the March 8, 2021 staff report, along with the attached department checklists.
3. The project shall be developed and maintained in substantial compliance with the Tentative Subdivision Map, except for any modifications that may be needed to meet these conditions of approval.

4. The final subdivision map shall be submitted in accordance with City ordinances and standards.
5. Plans for all public and private improvements, including but not limited to, water, sewer, storm drainage, road pavement, curb and gutter, sidewalk, streetlights, landscaping, and fire hydrants shall be approved by the City Engineer. These improvements shall be completed in accordance with the approved plans to the satisfaction of the Public Works Department.
6. The ponding basin and storm drainage improvements shall be designed and constructed per the Site Plan Review comments and City Improvement Standards.
7. The park shall be constructed and opened to the public for use prior to the final inspection of the 10th new home constructed. Development of the park shall include at least one tot lot play structure suitable for 2-5 year olds, two benches, one picnic table, shade trees, landscaping and ADA access to all amenities. The acreage of the park area shall be counted toward park land dedication requirements in Section 8-7N-4 of the City Municipal Code.
8. Park in-lieu fees are required pursuant to Section 8-7N-4. Up to \$7,500 of the estimated cost to install the 2-5 year old tot lot play structure may serve as a credit against in-lieu fees. Proposed park amenities and estimated costs shall be submitted, reviewed, and approved by the Community Development Director during the preparation and acceptance of the project's required subdivision improvement agreement. Any appraiser needed to meet the requirements of Section 8-7N-4 shall be acceptable to the Community Development Director. The cost of the appraisal shall be paid by the developer.
9. A public facilities maintenance district shall be formed in conjunction with the Final Subdivision Map acceptance in order to provide the maintenance costs for the park, common landscaping, and other improvements in accordance with existing City policy.
10. The project shall be subject to the applicable development impact fees adopted by resolution of the City Council.
11. In conjunction with approval of the Final Subdivision Map, a noise and odor easement shall be recorded on all lots created to acknowledge the presence of nearby wastewater treatment plant, industry, aircraft, and agriculture, and the right of such uses to continue to emit such noise and odors as are otherwise allowable by law and to ensure that such uses in these areas are not unreasonably hindered by residential users and owners that move in or nearby at a later date.
12. The developer shall comply with the standards, provisions, and requirements of the San Joaquin Valley Air Pollution Control District that relate to the project.
13. A minimum six-foot eight-inch high painted block wall shall be constructed along the entire length of the north property line north of Sandtrap Lane and along Vine Street. The wall shall be constructed per City standards and include columns and caps.

14. Wood fences adjacent to the Park and Parking Area (Lots 30 and 31) shall include a concrete footing and metal or concrete posts facing away from the public space.
15. Fences along the property line adjacent to the golf course and between the ponding basin and cul-de-sac shall be constructed and maintained with wrought iron fencing to be consistent with existing fences in other nearby golf course developments. Access to the basin will be via two six-foot wide wrought iron swing gates located on the east end of the Sandtrap Lane cul-de-sac at the designated approach apron and immediately adjacent the back of the proposed landscape buffer.
16. Fire hydrant types and locations shall be approved by the Lemoore Volunteer Fire Department.
17. Concrete pads for installation of mailboxes shall be provided in accordance with determinations made by the Lemoore Postmaster.
18. Street trees from the City approved street tree list shall be planted with root barriers as per Public Works Standards and Specifications.
19. Streetlights shall be provided within the project as per City local streetlighting standards.
20. Provide a paved bikeway/walkway with shoulders between the curb and block wall along Vine Street adjacent to the project site north of Green Lane to connect to the City's planned bikeway currently under construction to the south of Green Lane, in accordance with design standards provided by the City Engineer.
21. The sidewalk type along local streets (parkway type or curb adjacent type) shall be consistent throughout all phases of the subdivision, as per City standard.
22. Any existing roadway, sidewalk, or curb and gutter that is damaged during construction shall be repaired or replaced to the satisfaction of the Public Works Department at the developer's expense.
23. All signs shall require a sign permit separate from the building permit.
24. The project and all subsequent uses must meet the requirements found in Section 9-5B-2 of the Zoning Ordinance related to noise, odor, and vibration, and maintenance.
25. Lot sizes less than 3,000 square feet are approved, consistent with the sizes shown on the Tentative Subdivision Map.
26. The project shall be added to Article "B" of Chapter 9 of Title 9 of the Lemoore Municipal Code, and the previously approved PUD shall be stricken and replaced, as follows:

Table 9-9B-3-1

Number	Name	Date Approved	Resolution Number	Average Density Per Gross Acre (du/ac)
2004-04	Coker Ellsworth Golf Course, Tract 752	February 1, 2005	2005-04	3.94
2020-03	GJ Gardner, Fairway Courtyards	~, 2021	2021-XX	6.3

Table 9-9B-4-1

Number	Name	Front Setback	Side Setback	Rear Setback
2004-02	Coker Ellsworth Fairway Courtyards, Tract 820	10' minimum	5' and 5' single story/15' combined for 2 story	13' minimum
2020-03	GJ Gardner, Fairway Courtyards	10' to living space 18' to garage	5' interior side 15' street side	20' (lots 1 to 14) 10' (lots 15 to 29)

27. Master home plans shall be substantially consistent to the floor plans and elevations submitted with the Tentative Subdivision Map, unless subsequently modified by the City Council. Detailing used on the front of the home shall be carried around (or wrapped around) to the street side of the home where the side of the home is visible from the public street, such as in front of the fence. Developer to offer purchasers an “option” to include brick and/or stone facades to further enhance the front elevations.

28. The developer shall prepare and record a Declaration of Covenants, Conditions, and Restrictions (CC&R's). A draft of the CC&R's shall be reviewed and approved by the Community Development Director prior to recordation and prior to approval of the subdivision agreement.

29. The CC&R's shall require wrought iron fencing adjacent to golf course property similar to other established fences in nearby golf course developments.

30. The CC&R's shall include the following wording: The owner hereby reserves an easement, as hereinafter described in the entire airspace over, above, and upon all the lots in the subdivision, including any structures to be built thereon. The said easement shall and may

be used and is intended for the following purposes: The flight of golf balls through the air over said lots. The entry of golf balls upon and/or across said lots, and over the normal and customary use of the remainder parcel as a municipal golf course. Any golf balls entering upon and occupying said parcels shall become the property of the owners of the respective parcels. Nothing herein is intended nor shall be construed to permit entry upon said lots by any person using the neighboring parcel, including, but not limited to, for purposes of retrieval of golf balls. This easement shall not be constructed nor intended as a limitation on construction of improvements on said lots.

31. The CC&Rs shall include the following wording: The owner hereby acknowledges the nearby location of the City of Lemoore Waste Water Treatment Plant, industry, aircraft and agriculture, which have the potential to produce noise and odor.
32. The Tentative Subdivision Map approval shall expire two years from its effective date, unless a Final Subdivision Map is filed or an extension is granted via legislation or by the City, in accordance with the Subdivision Map Act. Expiration dates for the Major Site Plan Review shall run consistent with the expiration date of the Tentative Subdivision Map. The effective date of the Tentative Subdivision Map shall be the date the PUD Ordinance becomes effective, which is 30 days after the Ordinance is adopted.

PASSED AND ADOPTED by the City Council of the City of Lemoore at a Regular Meeting held on 16th day of March 2021 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST:

APPROVED:

Marisa Avalos
City Clerk

Stuart Lyons
Mayor

ORDINANCE NO. 2021-02

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LEMOORE
ADOPTING PLANNED UNIT DEVELOPMENT NO. 2020-03**

THE CITY COUNCIL OF THE CITY OF LEMOORE HEREBY DOES ORDAIN:

SECTION 1. FINDINGS.

- (a) Energy Homes Inc. dba G.J. Gardner Homes has requested approval of a planned unit development.
- (b) The RLMD (Low-Medium Density Residential) zone has a minimum lot size of 3,000 square feet. The applicant has proposed modifications to the development standards, which can be obtained through the approval of a Planned Unit Development (“PUD”).
- (c) This planned unit development will replace Planned Unit Development No. 2004-04, which had been previously adopted on the site.
- (d) On March 8, 2021, the Planning Commission for the City of Lemoore recommended approval of the PUD project, including specific building setback and architectural requirements, subject to approval by the City Council of a zoning overlay for the PUD.
- (e) The proposed PUD would modify the development standards for the RLMD zone to allow smaller sized lots and different building setbacks for this project.
- (f) The building setbacks for the proposed PUD shall be as follows: front yard – 10 feet to the living space, 18 feet to the garage; side yard - 5 feet; street side yard - 15 feet; rear yard – 10 to 20 feet.
- (g) All of the elevations for the homes in the PUD conform to the City’s design standards.
- (h) The site design of the project is consistent with the new residential development standards in the Zoning Ordinance, as modified by the Planned Unit Development.
- (i) Plans for all public and private improvements in the PUD, including but not limited to, water, sewer, storm drainage, road pavement, curb and gutter, sidewalk, street lights, landscaping, and fire hydrants are required to be approved by the City Engineer, and these improvements shall be completed in accordance with the approved plans to the satisfaction of the Public Works Department.
- (j) The proposed PUD would have two vehicular and pedestrian access points; both from Vine Street.

- (k) Park land in-lieu fees for the PUD would be paid to the City, prior to the approval of the final map, in accordance with City ordinance and the conditions of approval of the tentative map.
- (l) Fire hydrant types and locations for the PUD would be approved by the Lemoore Volunteer Fire Department.
- (m) Street trees for the PUD would be from the City's approved list and would be planted with root barriers as per Public Works' Standards and Specifications.
- (n) Street lights shall be provided within the project as per City local street lighting standards.
- (o) This ordinance is consistent with the City of Lemoore General Plan, Lemoore Municipal Code and the Zoning Ordinance and would not be detrimental to the public interest, health, safety, convenience, and welfare of the City.
- (p) A Notice of Exemption (Class 32) has been prepared and adopted in accordance with the California Environmental Quality Act (CEQA).

SECTION 2. PLANNED UNIT DEVELOPMENT ESTABLISHMENT.

A planned unit development is hereby established on property located on the east side of Vine Street, approximately 400 feet south of Iona Avenue in the City of Lemoore (Currently APN: 024-390-001, -002, -003, -004, -005, -006, -007, -008, -009, -010, -011, -012, -013, -014, -015, -016, -017, -018, -019, -020, -021, -022, -023, -024, -025, -026, -027, -028, -029, -030, -031, -032, -033, -034, -035, -036, -037, -038, -039, -040, -041, -042); The official Zoning Map shall be amended to reflect this change.

SECTION 3. AMENDMENT OF CODE: ADOPTION OF PLANNED UNIT DEVELOPMENT OVERLAY ZONES

Article "B" of Chapter 9 of Title 9 of the Lemoore Municipal Code is amended as follows:

Table 9-9B-3-1, containing the adopted PUD overlay zones, is hereby amended to delete the previous PUD and add PUD 2020-03:

Number	Name	Date Approved	Resolution Number	Average Density Per Gross Acre (du/ac)
2004-04	Coker Ellsworth Golf Course, Tract 752	February 1, 2005	2005-04	3.94
2020-03	GJ Gardner, Fairway Courtyards	~, 2021	2021-XX	6.3

Table 9-9B-4-1, containing specific development standards in the adopted PUD overlay zones, is hereby amended to delete the previous PUD and add PUD 2020-03:

Number	Name	Front Setback	Side Setback	Rear Setback
2004-02	Coker-Ellsworth Fairway Courtyards, Tract 820	10' minimum	5' — and — 5' single story/15' combined for 2-story	13' minimum
2020-03	GJ Gardner, Fairway Courtyards	10' to living space 18' to garage	5' interior side 15' street side	20' (lots 1 to 14) 10' (lots 15 to 29)

SECTION 4. SEVERABILITY.

If any provision of this ordinance is declared unlawful by a court of competent jurisdiction, the City Council intends that the remaining provisions of this ordinance remain in effect.

SECTION 5. EFFECTIVE DATE.

The ordinance codified herein shall take effect and be in full force and effect from and after thirty (30) days after its final passage and adoption. Within fifteen (15) days after its adoption, the ordinance codified herein, or a summary of the ordinance codified herein, shall be published once in a newspaper of general circulation.

The foregoing Ordinance was introduced at a regular meeting of the City Council of the City of Lemoore held on the 16th day of March 2021 and was passed and adopted at a regular meeting of the City Council held on the 6th day of April 2021 by the following vote:

AYES:

NOES:

ABSTAINING:

ABSENT:

ATTEST:

APPROVED:

Marisa Avalos, City Clerk

Stuart Lyons, Mayor

TENTATIVE SUBDIVISION MAP OF ~~TRACT NO. 2020-02~~ FAIRWAY COURTYARDS

CITY OF LEMOORE, COUNTY OF KINGS, CALIFORNIA



SURVEYED AND PLOTTED BY:
Harbison International, Inc.
Engineers - Surveyors - Planners

2755 E. Shaw Ave., Suite 101, Fresno CA 93710, USA
P.H. (559) 294-7485 FAX (559) 294-7481

FEB. 2021
SHEET 1 OF 1 SHEETS

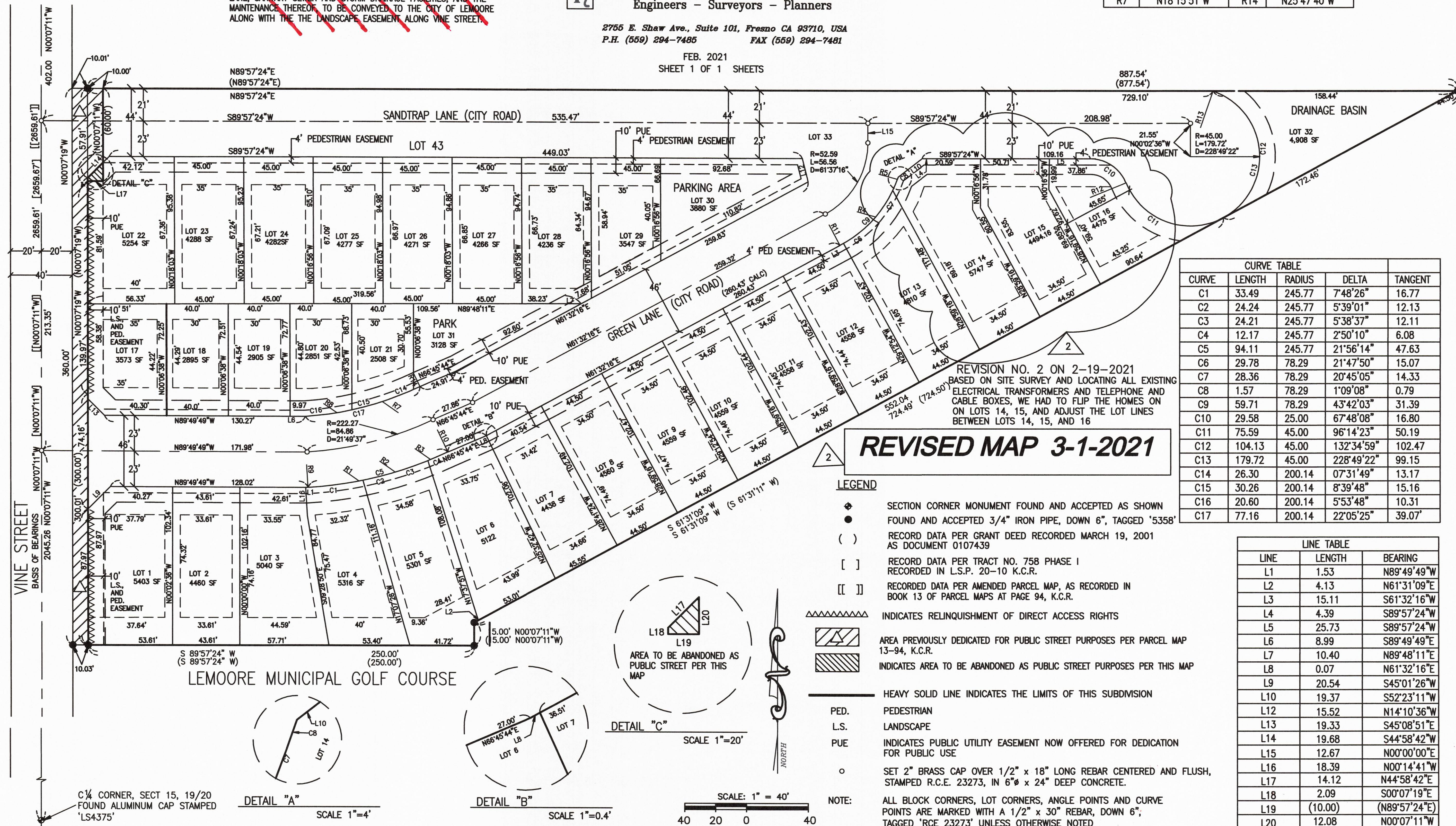
NOTES

LOT 30 AND 31 ARE TO BE USED AS COMMON AREA FOR PARKING AND COMMUNITY PARK TO BE DEDICATED TO THE CITY OF LEMOORE

LOT 32 TO BE USED AS A STORM DRAINAGE BASIN BY THIS DEVELOPMENT TO BE DEDICATED TO THE CITY OF LEMOORE

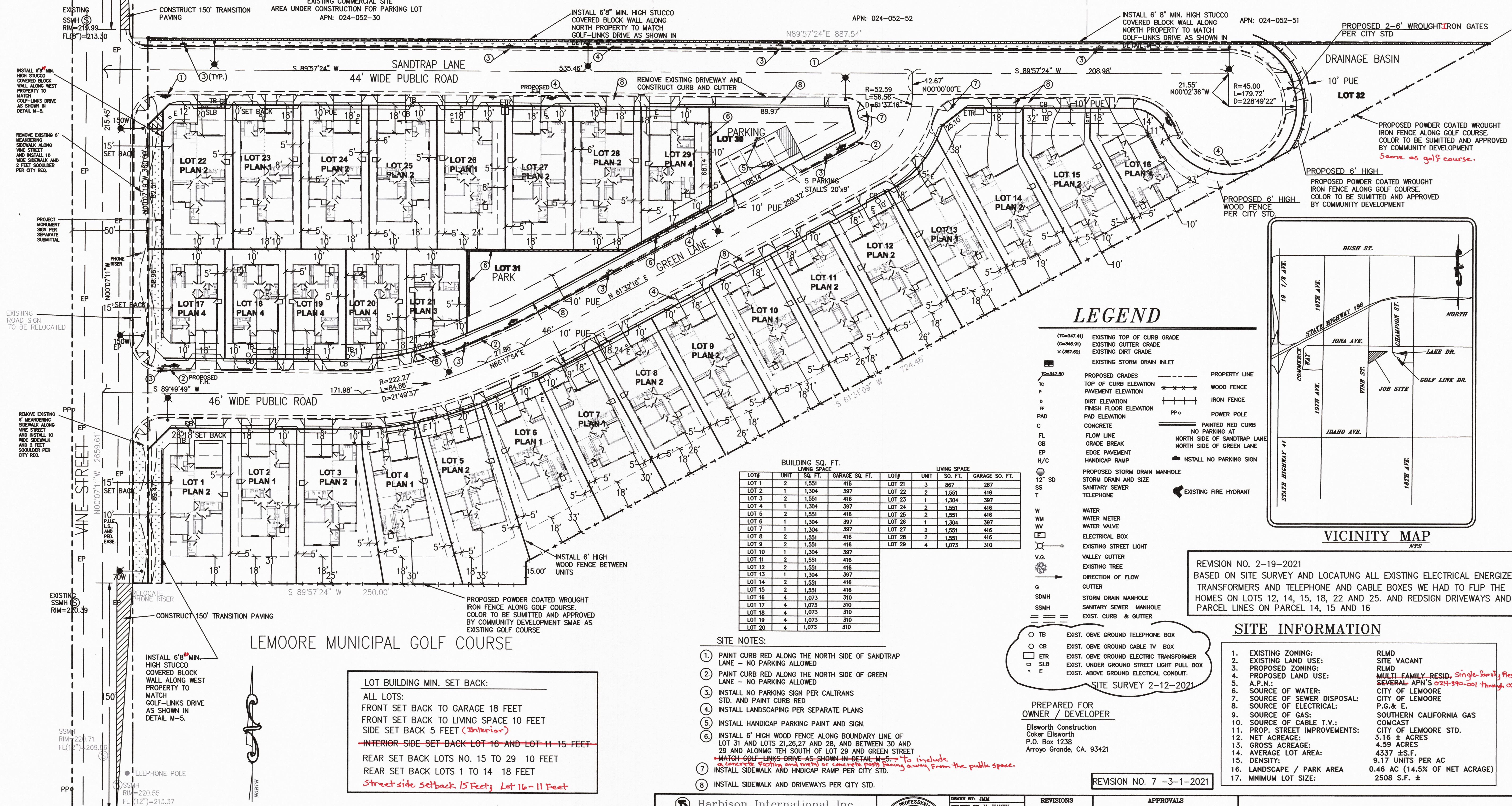
LOT 33 TO BE USED FOR PUBLIC STREETS EASEMENT AND FOR PUBLIC UTILITIES, RECIPROCAL ACCESS AND SIDEWALK EASEMENT, FIRE LANE, SANITARY SEWER AND STORM DRAINAGE FACILITIES, AND THE MAINTENANCE THEREOF TO BE CONVEYED TO THE CITY OF LEMOORE ALONG WITH THE LANDSCAPE EASEMENT ALONG VINE STREET.

RADIAL TABLE			
LINE	BEARING	R8	N09°36'03"W
R1	N11°14'24"W	R9	N03°25'58"W
R2	N16°53'25"W	R10	N25°22'12"E
R3	N22°32'02"W	R11	N27°50'13"E
R4	N49°38'03"W	R12	S67°45'32"W
R5	N70°23'08"W	R13	S18°56'10"W
R7	N18°15'51"W	R14	N25°47'40"W



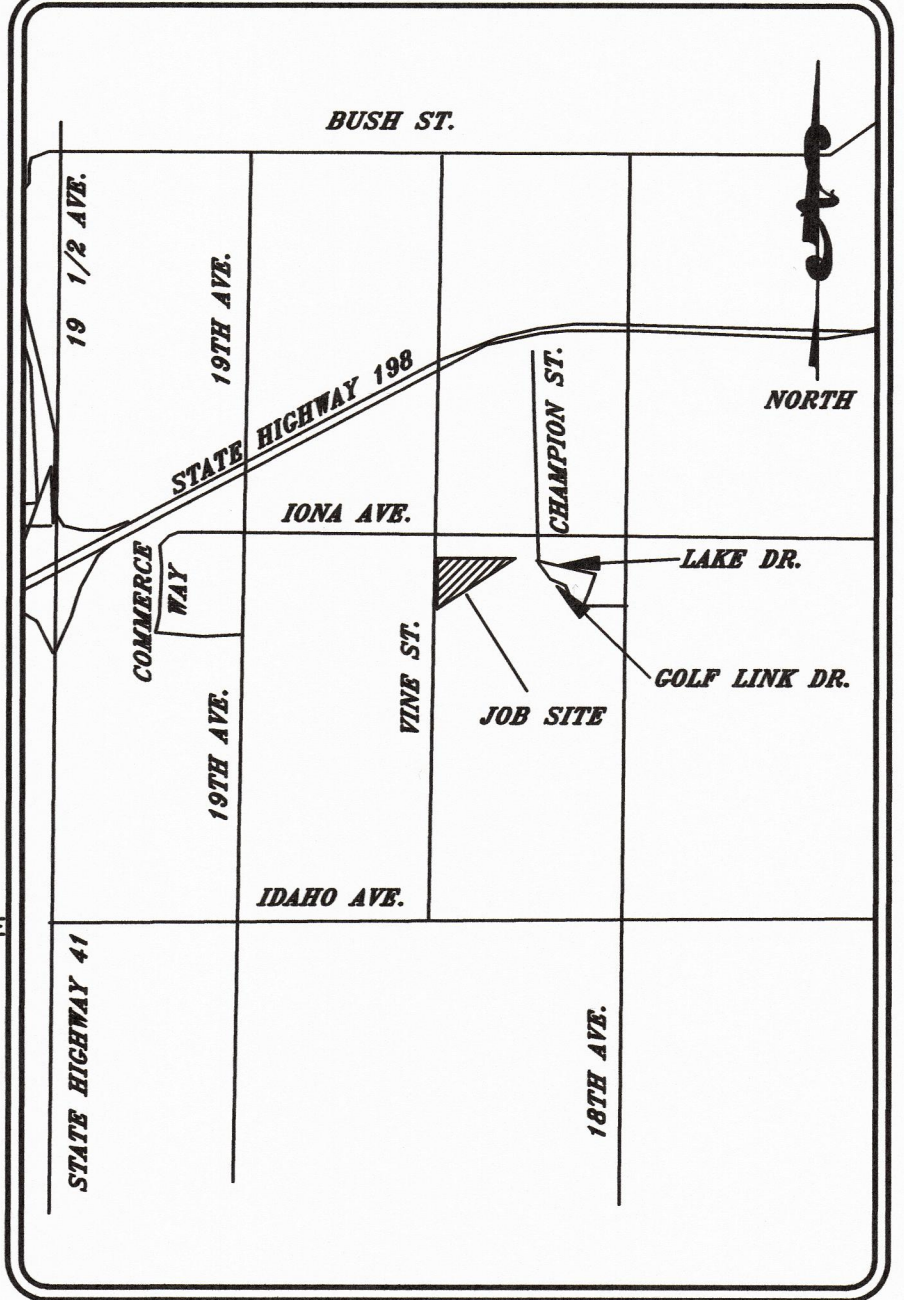
SITE PLAN PLANNED UNIT DEVELOPMENT No. 2020-03
FOR TENTATIVE SUBDIVISION MAP NO. 2020-02
FAIRWAY COURTYARDS
CITY OF LEMOORE

COUNTY OF KINGS, STATE OF CALIFORNIA
SHEET 1 OF 1



LEGEND

- (TC=347.41) EXISTING TOP OF CURB GRADE
- (G=346.91) EXISTING GUTTER GRADE
- (X=357.62) EXISTING DIRT GRADE
- EXISTING STORM DRAIN INLET
- PROPOSED GRADES
- TOP OF CURB ELEVATION
- PAVEMENT ELEVATION
- DIRT ELEVATION
- FINISH FLOOR ELEVATION
- PAD ELEVATION
- CONCRETE
- FLOW LINE
- GRADE BREAK
- EDGE PAVEMENT
- HANDICAP RAMP
- PROPOSED STORM DRAIN MANHOLE
- STORM DRAIN AND SIZE
- SANITARY SEWER
- TELEPHONE
- W WATER
- WM WATER METER
- WV WATER VALVE
- EL ELECTRICAL BOX
- EXISTING STREET LIGHT
- V.G. VALLEY GUTTER
- EXISTING TREE
- DIRECTION OF FLOW
- GUTTER
- SDMH STORM DRAIN MANHOLE
- SSMH SANITARY SEWER MANHOLE
- EXIST. CURB & GUTTER
- PROPERTY LINE
- WOOD FENCE
- IRON FENCE
- POWER POLE
- PAINTED RED CURB
- NO PARKING AT NORTH SIDE OF SANDTRAP LANE
- NO PARKING AT NORTH SIDE OF GREEN LANE
- INSTALL NO PARKING SIGN
- EXISTING FIRE HYDRANT



REVISION NO. 2-19-2021
BASED ON SITE SURVEY AND LOCATING ALL EXISTING ELECTRICAL ENERGIZED TRANSFORMERS AND TELEPHONE AND CABLE BOXES WE HAD TO FLIP THE HOMES ON LOTS 12, 14, 15, 18, 22 AND 25. AND REDSIGN DRIVEWAYS AND PARCEL LINES ON PARCEL 14, 15 AND 16

SITE INFORMATION

- 1. EXISTING ZONING: RLMD
- 2. EXISTING LAND USE: SITE VACANT
- 3. PROPOSED ZONING: RLMD
- 4. PROPOSED LAND USE: MULTI-FAMILY RESID. Single-family Pies.
- 5. A.P.N.: SEVERAL APN'S 024-390-001 through 024-390-012
- 6. SOURCE OF WATER: CITY OF LEMOORE
- 7. SOURCE OF SEWER DISPOSAL: CITY OF LEMOORE
- 8. SOURCE OF ELECTRICAL: P.G.&E.
- 9. SOURCE OF GAS: SOUTHERN CALIFORNIA GAS
- 10. SOURCE OF CABLE T.V.: COMCAST
- 11. PROP. STREET IMPROVEMENTS: CITY OF LEMOORE STD.
- 12. NET ACREAGE: 3.16 ± ACRES
- 13. GROSS ACREAGE: 4.59 ACRES
- 14. AVERAGE LOT AREA: 4337 ± S.F.
- 15. DENSITY: 9.17 UNITS PER AC
- 16. LANDSCAPE / PARK AREA: 0.46 AC (14.5% OF NET ACRAGE)
- 17. MINIMUM LOT SIZE: 2508 S.F. ±

SITE NOTES:

- 1. PAINT CURB RED ALONG THE NORTH SIDE OF SANDTRAP LANE - NO PARKING ALLOWED
- 2. PAINT CURB RED ALONG THE NORTH SIDE OF GREEN LANE - NO PARKING ALLOWED
- 3. INSTALL NO PARKING SIGN PER CALTRANS STD. AND PAINT CURB RED
- 4. INSTALL LANDSCAPING PER SEPARATE PLANS
- 5. INSTALL HANDICAP PARKING PAINT AND SIGN.
- 6. INSTALL 6' HIGH WOOD FENCE ALONG BOUNDARY LINE OF LOT 31 AND LOTS 21, 26, 27 AND 28, AND BETWEEN 30 AND 29 AND ALONG THE SOUTH OF LOT 29 AND GREEN STREET
- 7. MATCH GOLF-LINKS DRIVE AS SHOWN IN DETAIL M-5 TO INCLUDE A CONCRETE FACING AND WOOD OR CONCRETE CURB SETTING AWAY FROM THE PUBLIC SPACE.
- 8. INSTALL SIDEWALK AND DRIVEWAYS PER CITY STD.

LOT BUILDING MIN. SET BACK:
ALL LOTS:
FRONT SET BACK TO GARAGE 18 FEET
FRONT SET BACK TO LIVING SPACE 10 FEET
SIDE SET BACK 5 FEET (Interior)
~~INTERIOR SIDE SET BACK LOT 16 AND LOT 11 15 FEET~~
REAR SET BACK LOTS NO. 15 TO 29 10 FEET
REAR SET BACK LOTS 1 TO 14 18 FEET
Street side setback 15 Feet; Lot 16-11 Feet

Harbison International Inc.
Engineers - Surveyors - Planners
2755 E. SHAW AVE., SUITE 101, FRESNO, CA 93710, USA
PHONE: (559) 294-7485 FAX: (559) 294-7481

DALE H. WINN R.C.E. 23273

REVISIONS

DATE	APPROV.
3-1-2021	
Revised: 2-25-2020	
Revised: 2-19-2020	
Revised: 2-12-2020	
Revised: 11-19-2020	
Revised: 11-15-2020	

JOB NO.: 20-128
OLD 03-106
DESCRIPTION:

APPROVALS

CITY ENGINEER	DATE

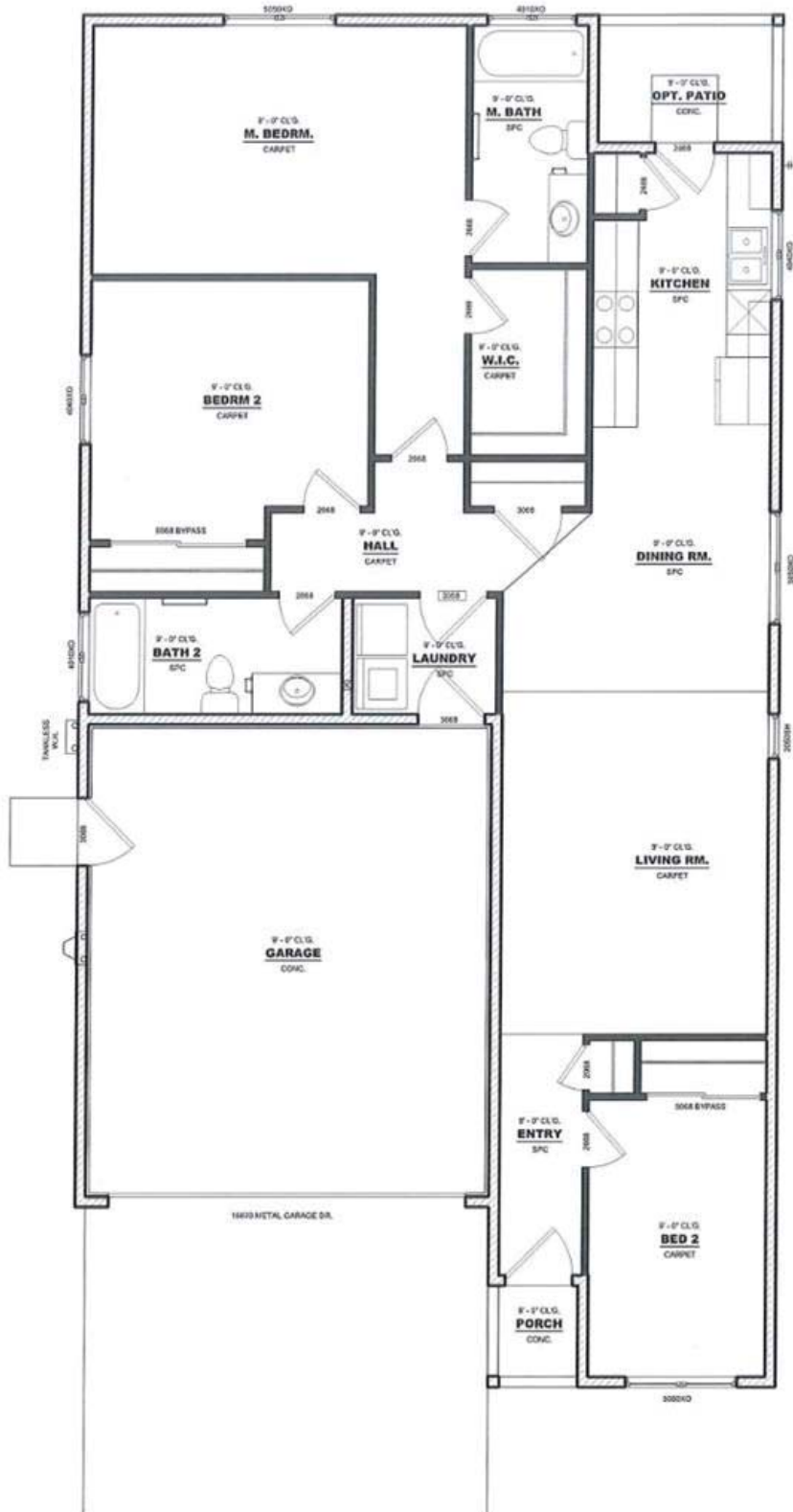
Tentative Subdivision Map No. 2020-02

PROJECT TITLE:	SHEET NO.
FAIRWAY COURTYARDS CITY OF LEMOORE, CA	C-1

REVSIED SITE PLAN

OF 1 SHEETS

PLAN 1 MODEL



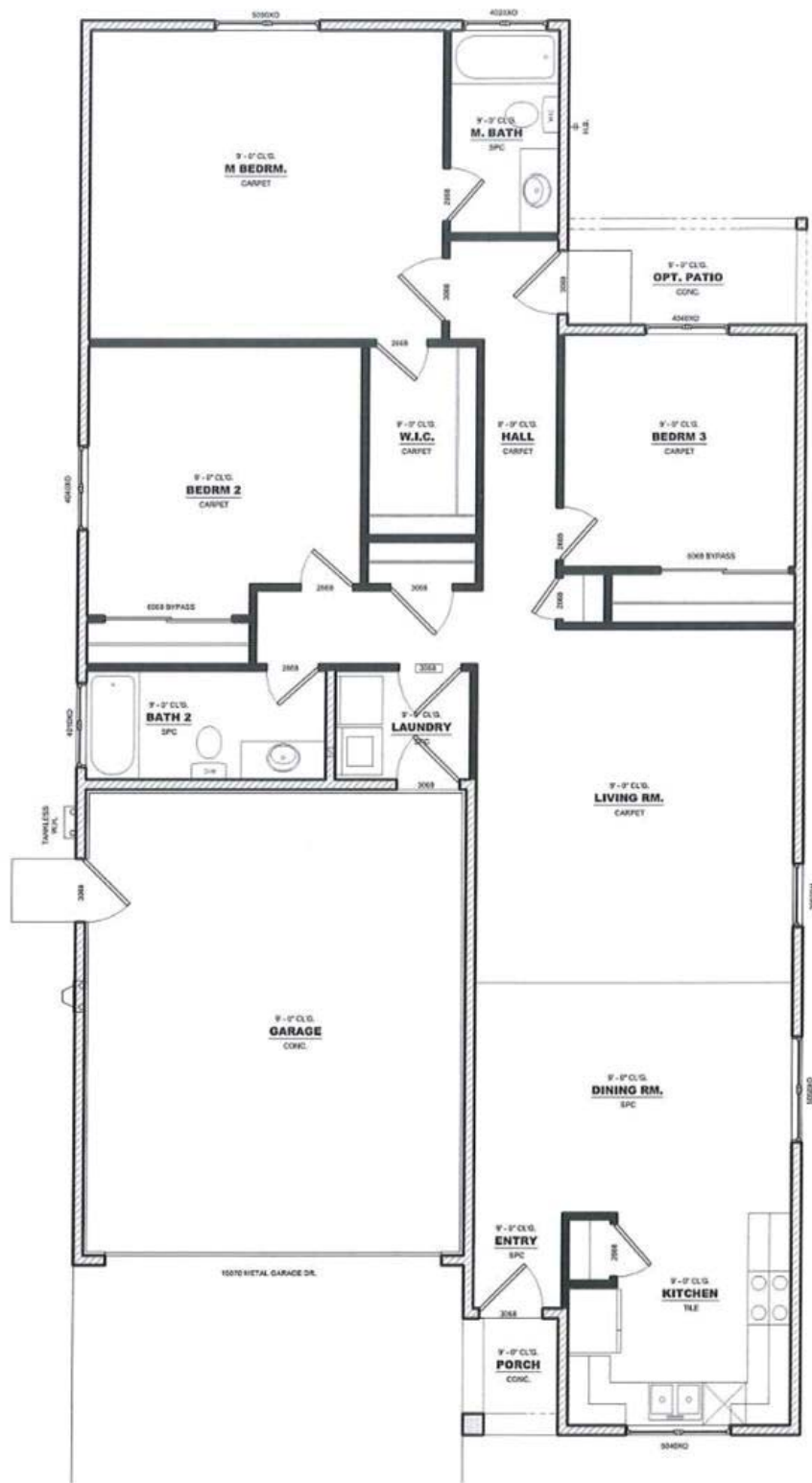
Plan 1
1304 - A elevation



Plan 1
1304 - B elevation



PLAN 2 MODEL



Plan 2
1551-B elevation



Plan 2
1551-A elevation



PLAN 3 MODEL



Plan 3

2222 – A elevation



This floor plan shows a 3-bedroom house with a garage, laundry, and multiple bathrooms. The layout includes:

- Garage:** 8'-0" CLG. GARAGE, CONC. (12x10 METAL GARAGE CR.)
- Entry:** 8'-0" CLG. ENTRY, SPC.
- Hall:** 8'-0" CLG. HALL, CARPET.
- Living Room:** 8'-0" CLG. LIVING RM., CARPET.
- Dining Room:** 8'-0" CLG. DINING RM., SPC.
- Kitchen:** 8'-0" CLG. KITCHEN, SPC.
- Bathrooms:**
 - 8'-0" CLG. M. BATH, SPC.
 - 8'-0" CLG. BATH 2, SPC.
 - 8'-0" CLG. BATH 3, CARPET.
- Bedrooms:**
 - 8'-0" CLG. M. BDRM., CARPET.
 - 8'-0" CLG. BDRM. 2, CARPET.
 - 8'-0" CLG. BDRM. 3, CARPET.
- Laundry:** 8'-0" CLG. LAUNDRY, SPC.
- Opt. Patio:** 8'-0" CLG. OPT. PATIO, CONC.
- Porch:** 8'-0" CLG. PORCH, CONC.

The plan also shows various closets (CLO.), a fireplace, and a 12x10 metal garage car.

Plan 4
1073 – A elevation



Plan 4
1073 – B elevation



Plan 1
1304 - A elevation



Plan 1
1304 - Belevation



Plan 2
1551 - A elevation



Plan 2
1551 - B elevation



Plan 3



Plan 4
1073 - A Elevation



Plan 4
1073 - B elevation



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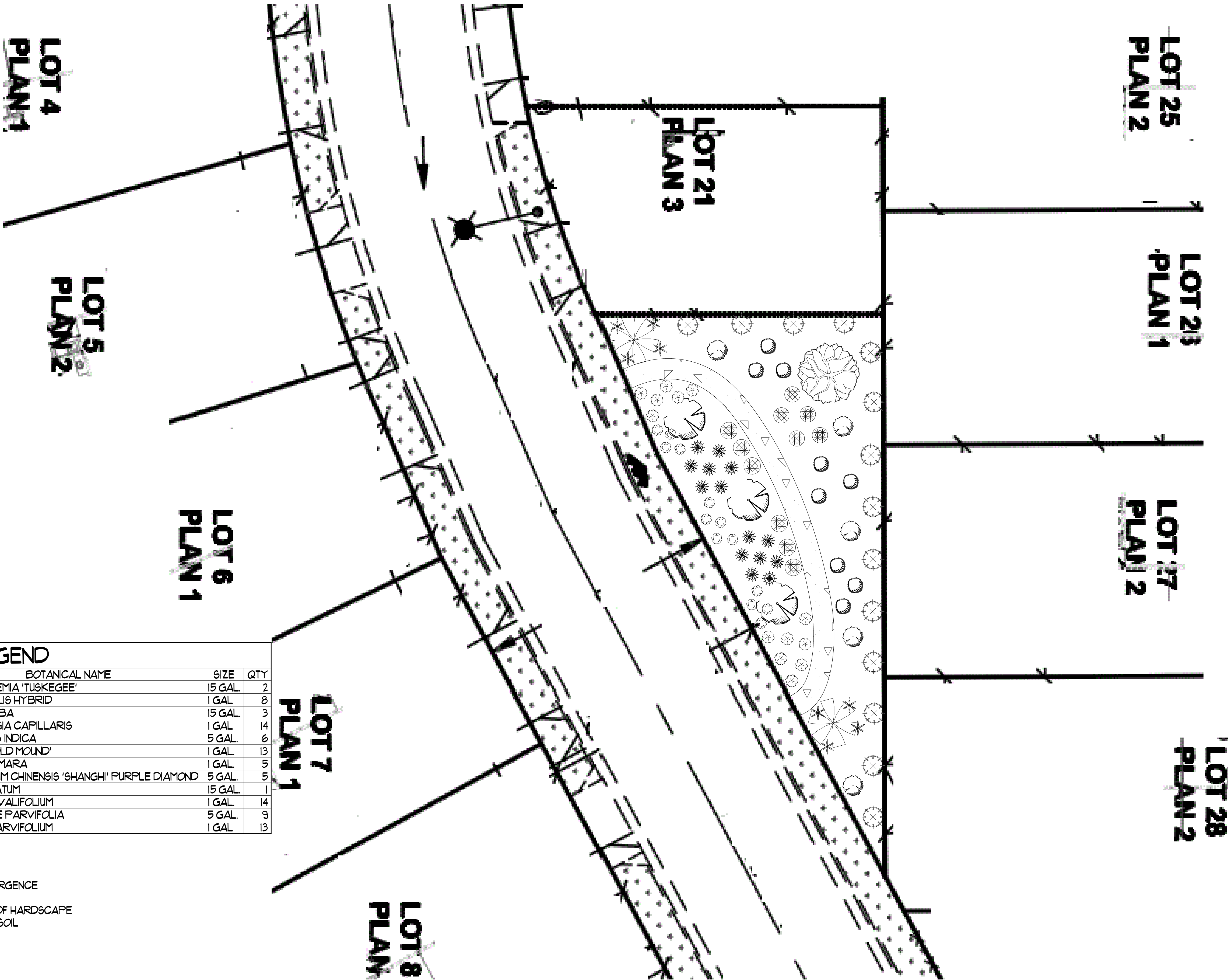
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RAINSCAPE

1222 N. ROSEBURG CT., VISALIA, CA 93291

PHONE: (559) 651-2333

I have complied with the criteria of "MWELQ" and applied them for the efficient use of water in the landscape & irrigation design plan.

SHAWN COOPER

Shawn Cooper

Licensed Landscape Contractor # 318642

RAINSCAPE

1222 N. ROSEBURG CT., VISALIA, CA 93291

PHONE: (559) 651-2333

I CERTIFY THAT I AM ELIGIBLE UNDER PROVISIONS OF APPLICABLE CODES & REGULATIONS TO SIGN THIS DOCUMENT AS THE PERSON RESPONSIBLE FOR ITS PREPARATION & THAT I AM THE LICENSED CONTRACTOR WHO WILL PERFORM THIS WORK.

SHAWN COOPER

Shawn Cooper

DATE

12-31-2020

LICENSE NO. 318642

LEGEND				
	COMMON NAME	BOTANICAL NAME	SIZE	QTY
	CRAPEMYRTLE, PINK-RED	LAGERSTROEMIA 'TUSKEGEE'	15 GAL.	2
	DAYLILY, STELLA	HEMEROCALLIS HYBRID	1 GAL.	8
	GINGKO	GINGKO BILOBA	15 GAL.	3
	GRASS, MULHY PINK	MUHLENBERGIA CAPILLARIS	1 GAL.	14
	HAWTHORN, INDIAN PRINCESS	RAPHIOLEPIS INDICA	5 GAL.	6
	LANTANA, GOLDMOUND	LANTANA 'GOLD MOUND'	1 GAL.	13
	LANTANA, PURPLE	LANTANA CAMARA	1 GAL.	5
	LOROPETALUM, PURPLE DIAMOND	LOROPETALUM CHINENSIS 'SHANGHI' PURPLE DIAMOND	5 GAL.	5
	MAPLE, ACER PALMATUM	ACER PALMATUM	15 GAL.	1
	PRIVET, CALIFORNIA	LIGUSTRUM OVALIFOLIUM	1 GAL.	14
	YUCCA, RED	HESPERALOE PARVIFOLIA	5 GAL.	9
	MYOPORUM	MYOPORUM PARVIFOLIUM	1 GAL.	13

2" COMPACTED DG WITH EDGING

NOTES:
SHRUB AREAS TO RECIEVE 3" MULCH OVER PRE EMERGENCE
ALL TREES TO BE DOUBLED STAKED
ROOTBARRIER REQUIRED FOR ALL TREES WITH IN 8' OF HARDSCAPE
INCORPORATE 6CY COMPOST PER 10000 SQ FT INTO SOIL

Revision #:

Date: 12/31/2020

Scale:

1" = 10'

Landscape Plan: L-1

Fairway Courtyards Park

Landscape Design by: Shawn Cooper

Rainscape



711 W. Cinnamon Drive • Lemoore, CA 93245 • Planning (559) 924-6744
Community Development Department

Site Plan Review

To: GJ Gardner Homes
From: Steve Brandt, City Planner
Date: February 16, 2021
Subject: Planned Unit Development No. 2020-03, Revision of Fairway Courtyards Tentative Subdivision Map 2020-02, and Major Site Plan Review No. 2020-05: A request by GJ Gardner Homes to divide 4.59 acres into 29 single-family lots and three outlots. The project is located on the east side of Vine Street, approximately 400 feet south of Iona Avenue in the City of Lemoore (APNs: 024-390-001,-002,-003,-004,-005,-006,-007,-008,-009,-010,-011,-012,-013,-014,-015,-016,-017,-018,-019,-020,-021,-022,-023,-024,-025,-026,-027,-028,-029,-030,-031,-032,-033,-034,-035,-036,-037,-038,-039,-040,-041,-042). A Categorical Exemption has been prepared in accordance with the California Environmental Quality Act.

Building plans shall be submitted based on the following comments.

Any deviation from the approved plans shall require an amendment to the prior approvals or approval of a new permit as determined by the City.

1st Submittal

The site plan is approved with the corrections identified in the attached comments, subject to final approval by the City Council.

Zoning/General Plan:

The proposed use of the site is allowed in the Low-Medium Density Residential zone.

Environmental Review:

The project has been determined to be Categorically Exempt from CEQA (Class 32).

Time Limits:

Unless a condition of approval establishes a different time limit, this permit, if not exercised within

two (2) years of approval, shall expire and become void, except where an extension of time is approved in compliance with Lemoore Municipal Code Section 9-2A-9 subsection C, "Permit Extensions". The exercise of a permit occurs when the applicant or property owner has performed substantial work and incurred substantial liabilities in good faith reliance upon such permit(s).

Attached Comments:

Comments from Planning
Comments from Engineering, with Site Plan notes
Comments from Refuse
Comments from Solid Waste
Comments from Streets Traffic
Comments from Building
Comments from Fire
Comments from Public Safety

PLANNING

Planning/Zoning - The following comments are applicable when checked. Comments in *italics* are specific to the project.

- ☒ General Plan Land Use Element land use designation(s): *Low-Medium Density Residential*
- ☒ General Plan Circulation Element adjacent street(s): *Vine Street is designated an existing Collector Street.*
- ☒ Zoning designation: *Low-Medium Density Residential (RLMD)*
- ☒ Proposed land use: *development of 29-lot single-family residential subdivision and 3 out-lots for a park, parking area and drainage basin.*
- ☒ Allowed use ☐ Not allowed use ☐ Requires a conditional use permit

☒ Setbacks and heights:

	Required	Proposed	
Front of building	<i>20 feet with 2-foot stagger from adjacent homes</i>	<i>10 feet min. to living space 20 feet min. garage</i>	<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise
Interior Side	<i>5 feet min.</i>	<i>5 feet min.</i>	<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise
Street Side	<i>15 feet min.</i>	<i>15 feet min.</i>	<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise
Rear	<i>10 feet min.</i>	<i>Lots 1 to 14, 20 feet min. Lots 15 to 29, 10 feet min.</i>	<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise
Height	<i>35 feet max.</i>	<i>35 feet max.</i>	<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise

Minimum 20-foot setback fence at rear of lots fronting onto the municipal golf course to the rear of residential structures for Lots 1 to 14. Modified setbacks to be approved through PUD.

- ☒ Open Space Requirements: *1.2 acres of dedicated out-lots for a park, parking lot and drainage basin.*
- ☒ Off-street Parking required: *2 vehicles per unit required. Seven home plans have 1-car garages. This is offset by 5-space neighborhood parking lot. Additional street parking on cul de sac with no homes fronting on it.*
- ☒ Parking: ☒ Minimum Parking is met. ☐ Parking is needed.
- ☒ Outdoor lighting: *Required in parking area.*

General Lighting Requirements: The requirements listed below shall apply to all outdoor lighting:

- Nuisance Prevention: All outdoor lighting shall be designed, located, installed, and maintained in order to prevent glare, light trespass, and light pollution.
- Shielding: Except as otherwise exempt, all outdoor lighting shall be recessed and/or constructed with full downward shielding in order to reduce light and glare impacts on trespass to adjoining properties and public rights of way. Each fixture shall be directed downward and away from adjoining properties and public rights of way, so that no light fixture directly illuminates an area outside of the project site.
- Level of Illumination: Outdoor lighting shall be designed to illuminate at the minimum level necessary for safety and security and to avoid harsh contrasts in lighting levels between the project site and adjacent properties.

- **Maximum Height Of Freestanding Outdoor Light Fixtures:** The maximum height of freestanding outdoor light fixtures less than ten feet (10') from a property line abutting residential development shall be eighteen feet (18'). Otherwise, the maximum height for freestanding outdoor light structures shall be twenty four feet (24'). Height shall be measured from the finish grade, inclusive of the pedestal, to the top of the fixture. The designated approving authority may allow greater heights upon finding that there are special circumstances that affect the feasibility of meeting this standard.
- **Energy Efficient Fixtures Required:** Outdoor lighting shall utilize energy efficient fixtures and lamps, such as high pressure sodium, metal halide, low pressure sodium, hard wired compact fluorescent, or other lighting technology that is of equal or greater efficiency. All new outdoor lighting fixtures shall be energy efficient with a rated average bulb life of not less than ten thousand (10,000) hours.
- **Accent Lighting:** Architectural features may be illuminated by uplighting, provided that the lamps are low intensity to produce a subtle lighting effect and no glare or light trespass is produced. Wherever feasible, solar powered fixtures should be used.

☒ Elevations: ☒ Approved: *As per recommendations from City Staff* ☐ Revise and resubmit

☒ Fences, walls, and hedges: ☐ Approved ☒ Revise and resubmit: *Proposed fence at front of ponding basin to be changed from chain link to wrought iron matching fence along golf course.*

Add 6-7 foot concrete block wall or wood fence with continuous concrete footing and metal or concrete posts separating public park space from adjoining residences.

Add either 6-7 foot concrete block wall or wood fence separating Vine Street from adjoining residences.

☐ Screening: ☐ Acceptable: ☐ Revise and resubmit

☒ Landscaping: ☒ Plans required at Building Permit submittal ☐ Plans submitted ☐ Revise and resubmit

Landscape Plans will be checked for compliance with MWEL, including but not limited to the following conditions:

- Plan shall include square footages of landscaped area shown, water use calculations, and the material to be utilized.
- Plant water use classifications shall be based on WUCOLS IV.
- All other landscaped areas shown as landscaped shall be landscaped.
- Landscaping shall meet all other applicable requirements of Title 9, Article D1 of the Zoning Ordinance.

Other Landscape requirements:

- *Street trees required on Vine Street frontage.*
- *Street trees required on Sandtrap and Green Lanes.*
- *Climbing vines or other approved screening to be established along the length of the barrier wall at north side property line.*
- *Park shall be ADA compliant and include, one (1) bench, two (2) picnic tables, shade trees, landscaping and access walk connecting tables and benches to the street.*
- *Landscape unpaved areas of designated community parking lot.*

☒ Street trees are required.

☐ Existing address must be changed to be consistent with City address.

Entitlements

☒ Major Site Plan Review is required for this project.

☐ A Use Permit is required for this project.

☐ A Zone Variance is required for this project.

- ☒ A Tentative Subdivision Map is required for this project.
- ☐ A Tentative Parcel Map is required for this project.
- ☐ A Lot Line Adjustment is required for this project. Lot Line Adjustment application is required to be processed simultaneously since building is placed on property line.
- ☐ A Zone Change is required for this project.
- ☐ A General Plan Amendment is required for this project.
- ☒ Other discretionary action required for this project: *Planned Unit Development*

Environmental Technical Documents

- ☐ Air Impact Analysis required.
- ☐ Acoustical Analysis required.
- ☐ Biologic survey required.
- ☐ Cultural Records Search required.
- ☐ Traffic Impact Assessment required.
- ☐ Vehicle Trip Generation Estimates required.
- ☐ Covenant required.
- ☒ Additional comments: *To be consistent with other adjacent golf course developments, Conditions, Covenants and Restrictions (CC&R's) shall be prepared and reviewed by the Community Development Director prior to recordation.*

The CC& R's shall require wrought iron fencing adjacent to golf course property similar to other established fences in nearby golf course developments.

The CC& R's shall include the following wording: The owner hereby reserves an easement, as hereinafter described in the entire airspace over, above, and upon all the lots in the subdivision, including any structures to be built thereon. The said easement shall and may be used and is intended for the following purposes: The flight of golf balls through the air over said lots. The entry of golf balls upon and/or across said lots, and over the normal and customary use of the remainder parcel as a municipal golf course. Any golf balls entering upon and occupying said parcels shall become the property of the owners of the respective parcels. Nothing herein is intended nor shall be construed to permit entry upon said lots by any person using the remainder parcel, including, but not limited to, for purposes of retrieval of golf balls. This easement shall not be constructed nor intended as a limitation on construction of improvements on said lots.

Public Facilities Maintenance District (PFMD) required to provide maintenance funding for lighting, block walls, streets, public parking area, park, drainage basin, common landscape areas, and other items as per City ordinance.

 //s// KB
 Authorized signature

 2-16-2021
 Date

 Steve Brandt, AICP
 Printed name

The following comments are applicable when checked:

- ☒ Submit improvement plans detailing all proposed work
- ☒ Bonds, certificate of insurance, cash payment of fees/inspection, and approved map and plan required prior to approval of Final Map.
- ☒ The Final Map and Improvements shall conform to the Subdivision Map Act, the City of Lemoore's Subdivision Ordinance, Master Plans, Standard Details and Improvement Standards.
- ☐ A preconstruction conference is required prior to the start of any construction.
- ☒ Right-of-way dedication required – Provide 30' ½ street RW on Vine Street and as needed to allow for accessible ramps at Sandtrap Lane and Green Lane. A title report is required for verification of ownership ☒ by map ☐ by deed.
- ☒ City encroachment permit required which shall include an approved traffic control plan.
- ☐ Caltrans encroachment permit required.
- ☒ If sanitary sewer, water and storm drain mains and services are to be maintained by the City, indicate on the plans and provide utility easements for the City of Lemoore to operate and maintain the main lines.
- ☒ Public Facilities Maintenance District (PFMD) and Homeowners Association (HOA) required prior to approval of Final Map. PFMD will maintain public common area landscaping, streetlights, street trees and public right of way as applicable along Vine Street. Submit completed PFMD application and filing fee a minimum of 75 days before approval of Final Map. HOA shall maintain private streets, common areas (such as Lots 30, 31 & 32), and on-site utilities unless otherwise noted. Developer to identify facilities to be maintained through HOA and
- ☒ Landscape and irrigation improvement plans to be submitted for each phase, if phased. Landscape plans will need to comply with the City of Lemoore's street tree ordinance, MWEL requirements and other applicable City ordinances. If phased, a street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting district.
- ☒ Dedicate landscape lots to the City that are to be maintained by the PFMD (along Vine Street only).
- ☐ Written comments required from ditch company.
- ☒ Sanitary Sewer master plan for the entire development shall be submitted for approval prior to approval of any portion of the system. The sewer system will need to be extended to the boundaries of the development where future connection and extension is anticipated. The sewer system will need to be sized to serve any future developments that are anticipated to connect to the system.
- ☒ Grading and drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades.
 - ☒ Prepared by a registered civil engineer or project architect.
 - ☒ All elevations shall be based on the City's benchmark network.Storm run-off from the project shall be handled as follows:
 - ☒ Directed to the City's existing storm drainage system – ***Construct storm drain system and drainage basin per City of Lemoore requirements and the City's Storm Drain Master Plan***
 - ☒ Directed to a permanent on-site basin
 - ☐ Directed to a temporary on-site basin which is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin: _____:_____ maximum side slopes, perimeter fencing required, and provide access ramp to bottom for maintenance.
- ☐ Protect Oak trees during construction.

- ☒ Show adjacent property grade elevations on improvement plans. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.
- ☒ Relocate existing utility poles and/or facilities.
- ☐ Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding.
- ☒ Provide R-value tests; Provide per City requirements, coordinate with the City Engineer; previous Geotech report for Tract 820 may be acceptable
- ☒ Traffic indexes per City standards: Min of 6.0 for Vine St; 5.5 for local/private streets
- ☒ All public streets across project frontage and private streets within project limits shall be improved to their full width, subject to available right-of-way, in accordance with City policies, standards and specifications. ***Construct all private streets to City local street requirements.***
- ☒ All lots shall have separate drive approaches constructed to City Standards.
- ☒ Install street striping as required by the City Engineer.
- ☒ Install sidewalk: 6 ft. wide, with meandering parkway on Vine Street; match City improvements on Vine Street south of Green Lane; remove and replace damaged existing sidewalk;
- ☒ Install sidewalk: 4 ft. min wide, along the private streets to provide access to Vine Street in accordance with City Ordinance
- ☒ Use cluster postal unit and show proposed location on the improvement plans. Provide approval of cluster postal unit by US Postal Service.
- ☐ Subject to existing reimbursement agreement to reimburse prior developer.
- ☒ Construct water mains in the private streets in accordance with City of Lemoore improvement standards.
- ☐ Abandon existing wells per Code; a building permit is required.
- ☐ Remove existing irrigation lines and dispose off-site.
- ☐ Remove existing leach fields and septic tanks.
- ☒ Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air Pollution Control District's Regulation VIII. Copies of any required permits will be provided to the City of Lemoore.
- ☒ The project may be subject to the San Joaquin Valley Air Pollution Control District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City of Lemoore.
- ☒ If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit will be provided to the City of Lemoore.
- ☐ Comply with prior comments
- ☒ Resubmit with additional information – show lot dimensions, show pedestrian access pathway for each residence to Vine Street (such as sidewalk along the private street); Review No Parking along Sandtrap Lane and consider moving it to the north side
- ☐ Redesign required

Additional comments:

1. Developer shall show all existing improvements constructed on-site per the previous Tract 820. Developer shall confirm that any existing improvements intended to be used have been tested and checked to the satisfaction of the City Public Works Director and City Engineer prior to being allowed to remain and be used.
2. Developer shall remove and replace any existing improvements that are not acceptable to the City for use in the development and/or do not match the revised final map and improvement plans.
3. Developer shall be responsible for the disposition of any existing property corners and monuments set per the previous Tract 820 in accordance with the latest edition of the Subdivision Map Act and the Professional Land Surveyors' Act.
4. Lots 18, 19, 20, 21, 28 and 29 do not provide the min. 18' front yard setback shown for all other lots. Show setback to garage especially since there is no parking on the north side of Green Lane. Provide min. distance for vehicle parking in driveway.
5. Verify street name change from Spyglass to Green Lane.
6. Develop all on-site civil improvements per City Standards and ordinances.
7. Water and sewer services and laterals (number, size, and location) per the approved improvement plans for the private streets shall be revised to match the proposed development.
8. All public improvements must be constructed in conformance with the City of Lemoore Standard Plans and Specifications and Planned Unit Development Design Guidelines.
9. Provide design of all public improvements (such as sanitary sewer, storm drainage, water, and streets) in accordance with applicable Master Plans and City standards.
10. The improvement plans for the subdivision must be approved by the City of Lemoore prior to construction.
11. Provide temporary blow-offs at terminating water mains.
12. Local streets shall have a street centerline radius of not less than two hundred feet.
13. Provide fire flow requirements and analysis to show that adequate fire flows can be achieved with submittal of improvement plans. The requirements are 1,500 gpm at 20 psi.
14. Storm drainage basin shall be designed for retention storage requirements. Provide storm drainage basin calculations for sizing basin.
15. Show existing sanitary sewer, storm drainage, water and street infrastructure associated with development.
16. Lowest grade elevation within development shall be 1 foot above high-water level in ponding basin.
17. Fire hydrants to be spaced at a maximum distance of 300 feet.
18. Provide streetlights along the east side of Vine Street and within development.
19. A digital copy of the improvement plans and final map shall be provided to the City upon final approval.
20. Provide adequate transitional paving along the east side of Vine Street in accordance with Caltrans specifications.
21. Relocate all existing utilities underground.
22. Provide lot drainage for City approval.
23. Show water and sanitary sewer service connection points.
24. Provide adequate on-site parking.

☐ No comments. Acceptable as submitted.

 //s// KB
Authorized Signature

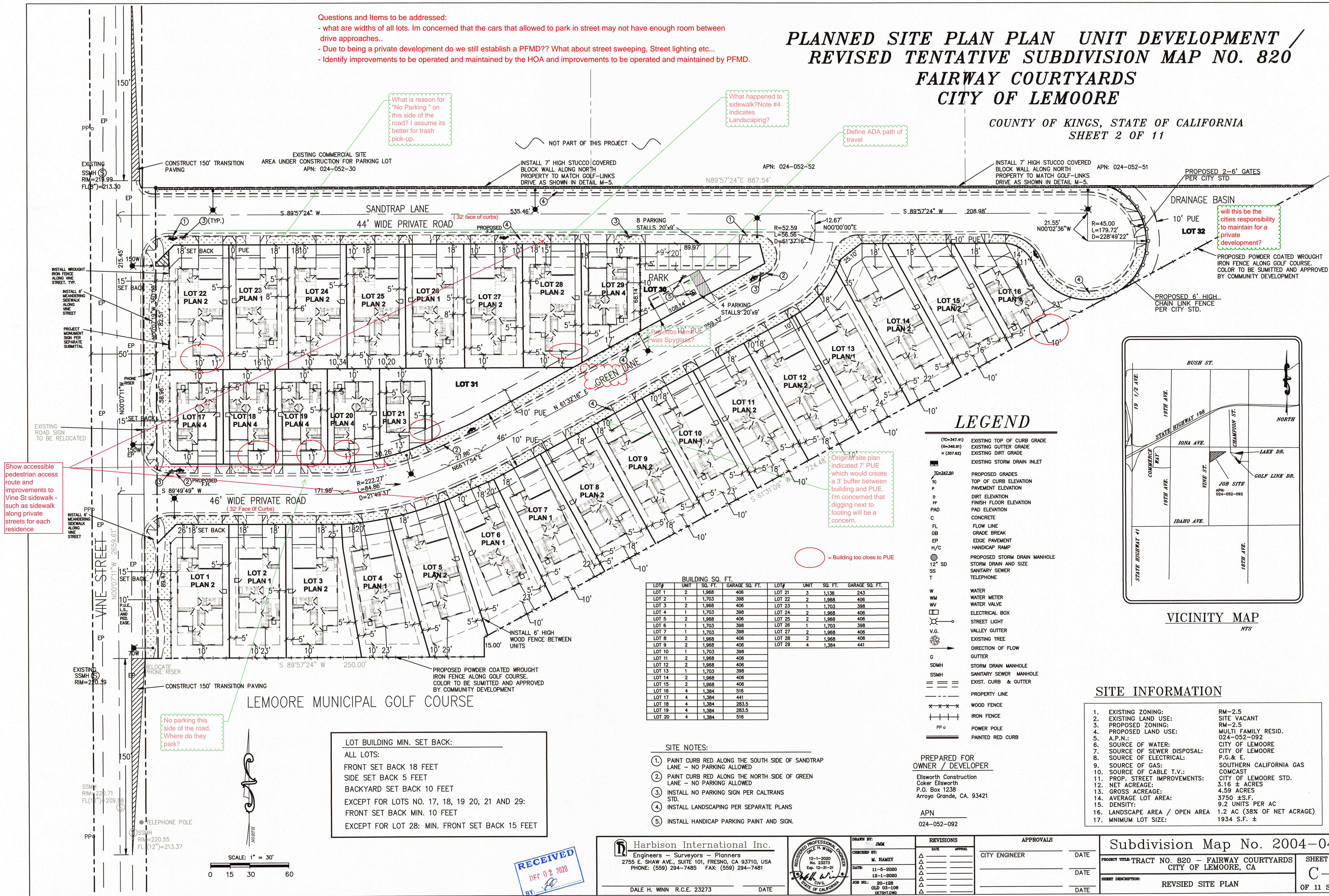
 January 11, 2021
Date

 Jeff Cowart, PE, City Engineer
Printed name

PLANNED SITE PLAN PLAN UNIT DEVELOPMENT /
REVISED TENTATIVE SUBDIVISION MAP NO. 820
FAIRWAY COURTYARDS
CITY OF LEMOORE

COUNTY OF KINGS, STATE OF CALIFORNIA
SHEET 2 OF 11

Questions and Items to be addressed:
- what are widths of all lots. Im concerned that the cars that allowed to park in street may not have enough room between drive approaches..
- Due to being a private development do we still establish a PFMD?? What about street sweeping, Street lighting etc..
- Identify improvements to be operated and maintained by the HOA and improvements to be operated and maintained by PFMD.



SITE PLAN REVIEW COMMENTS



DATE: December 4, 2020

SITE PLAN NO: Major Site Plan Review No. 2020-05

PROJECT TITLE: Fairway Courtyards

DESCRIPTION: Amendment to Subdivision Tract Map TR 820

APPLICANT: GJ Gardner (Energy Homes)

PROPERTY OWNER: Coker Ellsworth

LOCATION: SE Corner of Iona Ave and Vine Street

APN(S): 024-039-001 Through 024-039-043

REFUSE

The following comments are applicable when checked:

- ☒ Type of refuse service not indicated.
- ☒ You are responsible for all cardboard and other bulky recyclables to be broken down before depositing in recycle containers.
- ☐ Refuse enclosure not to City of Lemoore Standards.
- ☐ Refuse enclosure(s) must be M-6 single dumpster enclosure(s).
- ☐ Refuse enclosure(s) must be M-6 double dumpster enclosure(s). *Room for minimum 4 dumpsters.*
- ☐ Refuse enclosure gates required.
- ☒ You must provide combination or keys for access to locked gates / bins.
- ☐ Location of bin enclosure not acceptable. Relocate to: _____.
- ☐ Inadequate number of bins to provide sufficient service.
- ☐ Drive approach too narrow for refuse truck access. *Provide vehicle turning movement layout.*
- ☐ Area not adequate to allowing refuse truck turning radius: *Based on vehicle turning movement layout.*
 - ☐ Commercial ____ ft. outside ____ ft. inside; ☐ Residential ____ ft. outside ____ ft. inside.
- ☐ Paved areas should be engineered to withstand a 55,000 lb. refuse truck.
- ☐ Hammerhead turnaround required at: _____.
- ☐ Cul-de-sac must be built per City of Lemoore Standards.
- ☐ Refuse enclosures are for City refuse containers only. Storage of grease drums or any other items is not allowed.
- ☐ Refuse enclosure gates must open 180 degrees and hinges mounted in front of post.
- ☐ Concrete slab required in front of enclosure per Lemoore City Standards.
- ☐ Area in front of refuse enclosures must be striped with NO PARKING.
- ☐ Refuse enclosure to be designed and located for STAB service (DIRECT ACCESS).
- ☐ You will be required to roll container out to curb for service.
- ☐ Roll off compactors must have a clearance of 3 feet from any wall on both sides and there must be a minimum of 53 feet clearance in front of the compactor to allow truck service.

Additional comments: each resident will be provided 3 garage containers. All containers must not be stored behind front yard fence. And not visible from the street.

☐ No comments. Acceptable as submitted.

//ss// KB
Authorized signature

January 27, 2021
Date

Frank Rivera, Public Works Director
Printed name

SOLID WASTE

The following comments are applicable when checked:

- ☐ Wastewater discharge permit application required.
- ☐ Sand and grease interceptor – 3 compartment required. _____
- ☐ Grease interceptor required. _____
- ☐ Garbage grinder required – ____ hp. Maximize. _____
- ☐ Submission of dry process declaration required. _____
- ☐ No single pass cooling water is permitted. _____

Additional comments: _____

☒ No comments. Acceptable as submitted.

Authorized signature

Frank Rivera, Public Works Director

Printed name

Date

January 27, 2021

STREETS / TRAFFIC

The following comments are applicable when checked:

- ☒ The City will prohibit on-street parking as deemed necessary.
- ☒ Install street light(s) per City of Lemoore Standards.
- ☒ Install street name blades at each intersection. Street names to be modified to the alignment of existing streets and without duplicating names.
- ☒ Install Stop Signs at interior roadways intersecting with: MUTCD requirements and City Standads.

-
- ☒ Construct parking per City of Lemoore Standards.
 - ☒ Construct drive approach(es) per City of Lemoore Standards.
 - ☒ Traffic Impact Study required.

Additional comments: Confirm with planning

☐ No comments. Acceptable as submitted.

//s// KB
Authorized signature

January 27, 2021
Date

Frank Rivera, Public Works Director
Printed name

SITE PLAN REVIEW COMMENTS



DATE: December 4, 2020
SITE PLAN NO: Major Site Plan Review No. 2020-05
PROJECT TITLE: Fairway Courtyards
DESCRIPTION: Amendment to Subdivision Tract Map TR 820
APPLICANT: GJ Gardner (Energy Homes)
PROPERTY OWNER: Coker Ellsworth
LOCATION: SE Corner of Iona Ave and Vine Street
APN(S): 024-039-001 through 024-039-043

BUILDING

The following comments are applicable when checked:

- ☒ These are general comments and DO NOT constitute a complete plan check for your specific project. Please refer to the applicable California Code and local ordinances for additional requirements.
- ☒ Business Tax certification is required. *For information call (559) 924-6744 ext. 712*
- ☒ A building permit will be required. *For information call (559) 924-6744 ext. 730*
- ☐ Submit 3 sets of professionally prepared plans and 2 sets of calculations (Small Tenant Improvements).
- ☐ Submit 5 sets of plans signed by an architect or engineer. Must comply with 2010 California Building Code Sec. 2308 for conventional light-frame construction or submit 2 sets of engineered calculations.
- ☐ Indicate abandoned wells, septic systems and excavations on construction plans.

You are responsible to ensure compliance with the following checked items:

- ☒ Meet State and Federal Americans with Disabilities Act (ADA) requirements.
- ☒ A path of travel, parking and common area must comply with ADA Requirements.
- ☒ All accessible units must meet ADA Requirements.
- ☐ Maintain sound transmission control between units minimum of 50 STC.
- ☒ Maintain fire-resistive requirements at property lines.
- ☐ Demolition permit and deposit is required. *For information call (559) 924-6744 ext. 730*
- ☒ Obtain required permits from San Joaquin Valley Air Pollution Control District.
For information call (559) 230-6000
- ☐ Location of cashier must provide clear view of gas pump island.
- ☒ Treatment connection charge to be assessed based on use.
- ☐ Plans must be approved by the Kings County Health Department. *For information call (559) 584-1411*
- ☐ Project is located in flood zone _____. ☐ Hazardous materials report.
- ☒ Arrange for an onsite inspection. *For information call (559) 924-6744 ext. 730 (Inspection fees may apply.)*
- ☒ School Development fees: *For information call (559) 924-6744 ext. 730*
- ☒ Park Development fee \$_____ per unit collected with building permits.
- ☐ Existing address must be changed to be consistent with City address. *Call (559) 924-6744 ext. 740*

Additional comments: *Building permit required for Grading and for the construction of the homes.*

☐ No comments. Acceptable as submitted.

//s//

KB

Date: January 27, 2021

Frank Rivera, Public Works Director

FIRE DEPARTMENT

The following comments are applicable when checked:

- ☐ Refer to previous comments dated _____.
- ☐ More information is needed before a Site Plan Review can be conducted. Please submit plans with more detail.
- ☐ No fire protection items required for parcel map or lot line adjustment; however, any future projects will be subject to fire protection requirements.
- ☐ Address numbers must be placed on the exterior of the building in such a position as to be clearly and plainly visible from the street. Numbers will be at least 6 inches high and shall be of a color to contrast with their background. If multiple addresses served by a common driveway, the range of numbers shall be posted at the roadway / driveway.
- ☐ No additional fire hydrants are required for this project; however, additional fire hydrants may be required for any future development.
- ☒ There is / **are** 4 fire hydrants required for this project. One hydrant shall be installed every 300 ft. (see marked plans for fire hydrant locations).
- ☒ The turning radius for emergency fire apparatus is 20 feet inside radius and 43 feet outside radius. Ensure that the turns identified to you during site plan comply with these requirements. An option is a hammer-head constructed to City of Lemoore standards.
- ☐ An access road is required and shall be a minimum of 20 feet wide. The road shall be an all-weather driving surface accessible prior to and during construction.
- ☐ Buildings or portions of buildings or facilities exceeding 30 feet in height above the lowest level of fire department vehicle access shall be provided with an approved fire apparatus access roads capable of accommodating fire department aerial apparatus. Access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders. Access routes shall be located within a minimum of 15 feet and maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building.
- ☐ A fire lane is required for this project. The location will be given to you during the site plan meeting.
- ☐ A Knox Box key lock system is required. Applications are available at the City of Lemoore Fire Department Administrative Office. NOTE: Knox boxes shall be ordered using an approved application from Lemoore Fire Department Administrative Office, 711 W. Cinnamon Drive. Please allow adequate time for shipping and installation.
- ☐ The security gates, if to be locked, shall be locked with a typical chain and lock that can be cut with a common bolt cutter, or the developer may opt to provide a Knox Box key lock system. Applications are available at the Lemoore Fire Department Administrative Office.
- ☐ That portion of the building that is built upon a property line shall be constructed as to comply with Section 503.4 and Table 5-A of the California Building Code.
- ☐ Commercial dumpsters with 1.5 cubic yards or more shall not be stored or placed within 5 feet of combustible walls, openings, or a combustible roof eave line except when protected by a fire sprinkler system.
- ☐ If you handle hazardous material in amounts that exceed the exempt amounts listed on Table 3-D of the California Building Code, you are required to submit an emergency response plan to the Kings County Health Department. Prior to the building final inspection, we will require a copy of the plan and any Material Safety Data Sheets.

- ☐ An automatic fire sprinkler system is required for this building. A fire hydrant is required within 50 feet of the fire department connection. The fire hydrant, fire department connection and the PIV valve should be located together and minimum 25 feet from the building, if possible. The caps on the FDC shall be Knox locking caps.
- ☐ All hardware on exit doors shall comply with Chapter 10 of the California Fire Code. This includes all locks, latches, dolt locks, and panic and exit hardware.
- ☐ Provide illuminated exit signs and emergency lighting throughout the building.
- ☐ All Fire and Life Safety systems located within the building shall be maintained.
- ☐ An automatic fire extinguishing system for protection of the kitchen grease hood and ducts is required.
- ☐ City of Lemoore Fire Department Impact Fee. *For information call (559) 924-6730*
- ☐ City of Lemoore Fire Department Permit Fee – complete application during Building Department permit process.

Additional comments: _____

- ☐ No comments. Acceptable as submitted.

Bruce German/Faith Faria //S// KB
Authorized signature

1-25-2021
Date

Bruce German, Fire Chief
Printed name

COUNTY OF KINGS, STATE OF CALIFORNIA
SHEET 2 OF 11



SITE PLAN REVIEW COMMENTS



DATE: December 4, 2020
SITE PLAN NO: Major Site Plan Review No. 2020-05
PROJECT TITLE: Fairway Courtyards
DESCRIPTION: Amendment to Subdivision Tract Map TR 820
APPLICANT: GJ Gardner (Energy Homes)
PROPERTY OWNER: Coker Ellsworth
LOCATION: SE Corner of Iona Ave and Vine Street
APN(S): 024-039-001 through 024-039-043

PUBLIC SAFETY

The following comments are applicable when checked:

☐ Public Safety Impact Fee:

Ordinance No.:

Effective Date:

Impact fees shall be imposed by the City of Lemoore pursuant to this Ordinance as a condition of, or in conjunction with, the approval of a development project. "New Development or Development Project" means any new building, structure or improvement of any parcels of land upon which no like building, structure or improvement previously existed. NOTE: Refer to Engineering Site Plan comments for fee estimation.

☐ Not enough information provided. Please provide the following information:

☐ Access controlled / restricted etc.:

☐ Landscaping concerns:

☐ Lighting concerns:

☐ Line of sight issues:

☐ Surveillance issues:

☐ Territorial reinforcement – define property lines (private / public space):

☐ Traffic concerns:

☐ Request opportunity to comment or make recommendations as to safety issues as plans are developed.

☐ Additional comments:

☒ No comments. Acceptable as submitted.

Authorized signature

12/7/2020
Date

M. KENDALL

Printed name

City of Lemoore
Public Works/City Engineering
Site Plan Review Comments

DATE: February 25, 2021
SITE PLAN NO: Major Site Plan Review 12022020
TENTATIVE SM: TSM 12022020
PUD: PUD 12022020
PROJECT TITLE: Revision to Tract 820
DESCRIPTION: Revision of T. 820 to single family lots
APPLICANT: Energy Homes Inc (dba GJ Gardner Homes).
PROPERTY OWNER: Coker Ellsworth
LOCATION: East side of Vine St., South of Iona Ave (Tract 820)
APN(S): 024-052-092 (original APN prior to Tract 820)

The following comments are applicable when checked:

- ☒ Submit improvement plans detailing all proposed work – *Minimum 32' curb face to curb face on interior streets*
- ☒ Bonds, certificate of insurance, cash payment of fees/inspection, and approved map and plan required prior to approval of Final Map.
- ☒ The Final Map and Improvements shall conform to the Subdivision Map Act, the City of Lemoore's Subdivision Ordinance, Master Plans, Standard Details and Improvement Standards.
- ☐ A preconstruction conference is required prior to the start of any construction.
- ☒ Right-of-way dedication required – Provide 30' ½ street RW on Vine Street and RW for Sandtrap Lane (44') and Green Lane (46'). Dedicate adequate RW at curb returns to allow for curb return, ramps, and sidewalk connections. A title report is required for verification of ownership ☒ by map ☐ by deed.
- ☒ City encroachment permit required which shall include an approved traffic control plan.
- ☐ Caltrans encroachment permit required.
- ☒ If sanitary sewer, water and storm drain mains and services are to be maintained by the City, indicate on the plans and provide utility easements for the City of Lemoore to operate and maintain the main lines.
- ☒ Public Facilities Maintenance District (PFMD required prior to approval of Final Map. PFMD will maintain public common area landscaping, streetlights, street trees, block wall and public right of way as applicable along Vine Street, Sandtrap Lane and Green Lane. Submit completed PFMD application and filing fee a minimum of 75 days before approval of Final Map. PFMD shall also maintain Lot 30-Parking Area, Lot 31-Park & Lot 32-Storm Drainage Basin, and on-site utilities unless otherwise noted. Developer to identify facilities to be maintained through HOA and
- ☒ Landscape and irrigation improvement plans to be submitted for each phase, if phased. Landscape plans will need to comply with the City of Lemoore's street tree ordinance, MWELO requirements and other applicable City ordinances. If phased, a street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting district.
- ☒ Dedicate landscape lots to the City that are to be maintained by the PFMD (along Vine Street only).
- ☐ Written comments required from ditch company.
- ☒ Sanitary Sewer master plan for the entire development shall be submitted for approval prior to approval of any portion of the system. The sewer system will need to be extended to the boundaries of the development where future connection and extension is anticipated. The sewer system will need to be sized to serve any future developments that are anticipated to connect to the system.
- ☒ Grading and drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades.
 - ☒ Prepared by a registered civil engineer or project architect.
 - ☒ All elevations shall be based on the City's benchmark network.Storm run-off from the project shall be handled as follows:
 - ☒ Directed to the City's existing storm drainage system – *Construct storm drain system and drainage basin per City of Lemoore requirements and the City's Storm Drain Master Plan*
 - ☒ Directed to a permanent on-site basin

City of Lemoore
Public Works/City Engineering
Site Plan Review Comments

DATE:	February 25, 2021
SITE PLAN NO:	Major Site Plan Review 12022020
TENTATIVE SM:	TSM 12022020
PUD:	PUD 12022020
PROJECT TITLE:	Revision to Tract 820
DESCRIPTION:	Revision of T. 820 to single family lots
APPLICANT:	Energy Homes Inc (dba GJ Gardner Homes).
PROPERTY OWNER:	Coker Ellsworth
LOCATION:	East side of Vine St., South of Iona Ave (Tract 820)
APN(S):	024-052-092 (original APN prior to Tract 820)

- ☐ Directed to a temporary on-site basin which is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin: _____; _____ maximum side slopes, perimeter fencing required, and provide access ramp to bottom for maintenance.
- ☐ Protect Oak trees during construction.
- ☒ Show adjacent property grade elevations on improvement plans. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.
- ☒ Relocate existing utility poles and/or facilities.
- ☐ Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding.
- ☒ Provide R-value tests; Provide per City requirements, coordinate with the City Engineer; previous Geotech report for Tract 820 may be acceptable
- ☒ Traffic indexes per City standards: Min of 6.0 for Vine St; 5.5 for local/private streets
- ☒ All public streets across project frontage and streets within project limits shall be improved to their full width, subject to available right-of-way, in accordance with City policies, standards and specifications. ***Construct all interior streets to City local street requirements. Vine Street improvements to match City constructed improvements south of Green Lane***
- ☒ All lots shall have separate drive approaches constructed to City Standards.
- ☒ Install street striping as required by the City Engineer.
- ☒ Install sidewalk: 6 ft. wide, with meandering parkway on Vine Street; match City improvements on Vine Street south of Green Lane; remove and replace damaged existing sidewalk;
- ☒ Install sidewalk: 5 ft. min wide, *along the interior public streets to provide access to Vine Street in accordance with City Ordinance; provide additional public access easements as required to construct sidewalk at drive approaches per City Std. C-8*
- ☒ Use cluster postal unit and show proposed location on the improvement plans. Provide approval of cluster postal unit by US Postal Service.
- ☐ Subject to existing reimbursement agreement to reimburse prior developer.
- ☒ Construct water mains in the private streets in accordance with City of Lemoore improvement standards.
- ☐ Abandon existing wells per Code; a building permit is required.
- ☐ Remove existing irrigation lines and dispose off-site.
- ☐ Remove existing leach fields and septic tanks.
- ☒ Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air Pollution Control District's Regulation VIII. Copies of any required permits will be provided to the City of Lemoore.
- ☒ The project may be subject to the San Joaquin Valley Air Pollution Control District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City of Lemoore.

DATE:	February 25, 2021
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APN(S):	024-052-092 (original APN prior to Tract 820)

- ☒ If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit will be provided to the City of Lemoore.
- ☐ Comply with prior comments
- ☒ Resubmit with additional information – Show public streets instead of private, update/revise map and site plan as stand-alone documents; construct 5' sidewalk along interior streets to provide pedestrian access to Vine Street; City will review No Parking along Sandtrap Lane and consider moving it to the north side
- ☐ Redesign required

Additional comments:

1. Developer shall show all existing improvements constructed on-site per the previous Tract 820. Developer shall confirm that any existing improvements intended to be used have been tested and checked to the satisfaction of the City Public Works Director and City Engineer prior to being allowed to remain and be used.
2. Developer shall remove and replace any existing improvements that are not acceptable to the City for use in the development and/or do not match the revised final map and improvement plans.
3. Developer shall be responsible for the disposition of any existing property corners and monuments set per the previous Tract 820 in accordance with the latest edition of the Subdivision Map Act and the Professional Land Surveyors' Act.
4. Lots 18, 19, 20, 21, 28 and 29 do not provide the min. 18' front yard setback shown for all other lots. Show setback to garage especially since there is no parking on the north side of Green Lane. Provide min. distance for vehicle parking in driveway.
5. Show residential lot setback from block wall along Vine Street.
6. Verify street name change from Spyglass to Green Lane.
7. Develop all on-site civil improvements shall conform with City Standards and ordinances.
8. Water and sewer services and laterals (number, size, and location) per the approved improvement plans for the streets shall be revised to match the proposed development.
9. All public improvements must be constructed in conformance with the City of Lemoore Standard Plans and Specifications and Planned Unit Development Design Guidelines.
10. Provide design of all public improvements (such as sanitary sewer, storm drainage, water, and streets) in accordance with applicable Master Plans and City standards.
11. The improvement plans for the subdivision must be approved by the City of Lemoore prior to construction.
12. Speed undulations may not be allowed due to locations to drive approaches. Any speed undulations must meet City Standards and policies.
13. Provide temporary blow-offs at terminating water mains.
14. Local streets shall have a street centerline radius of not less than two hundred feet.
15. Provide fire flow requirements and analysis to show that adequate fire flows can be achieved with submittal of improvement plans. The requirements are 1,500 gpm at 20 psi.
16. Storm drainage basin shall be designed for retention storage requirements. Provide storm drainage basin calculations for sizing basin.

City of Lemoore
Public Works/City Engineering
Site Plan Review Comments

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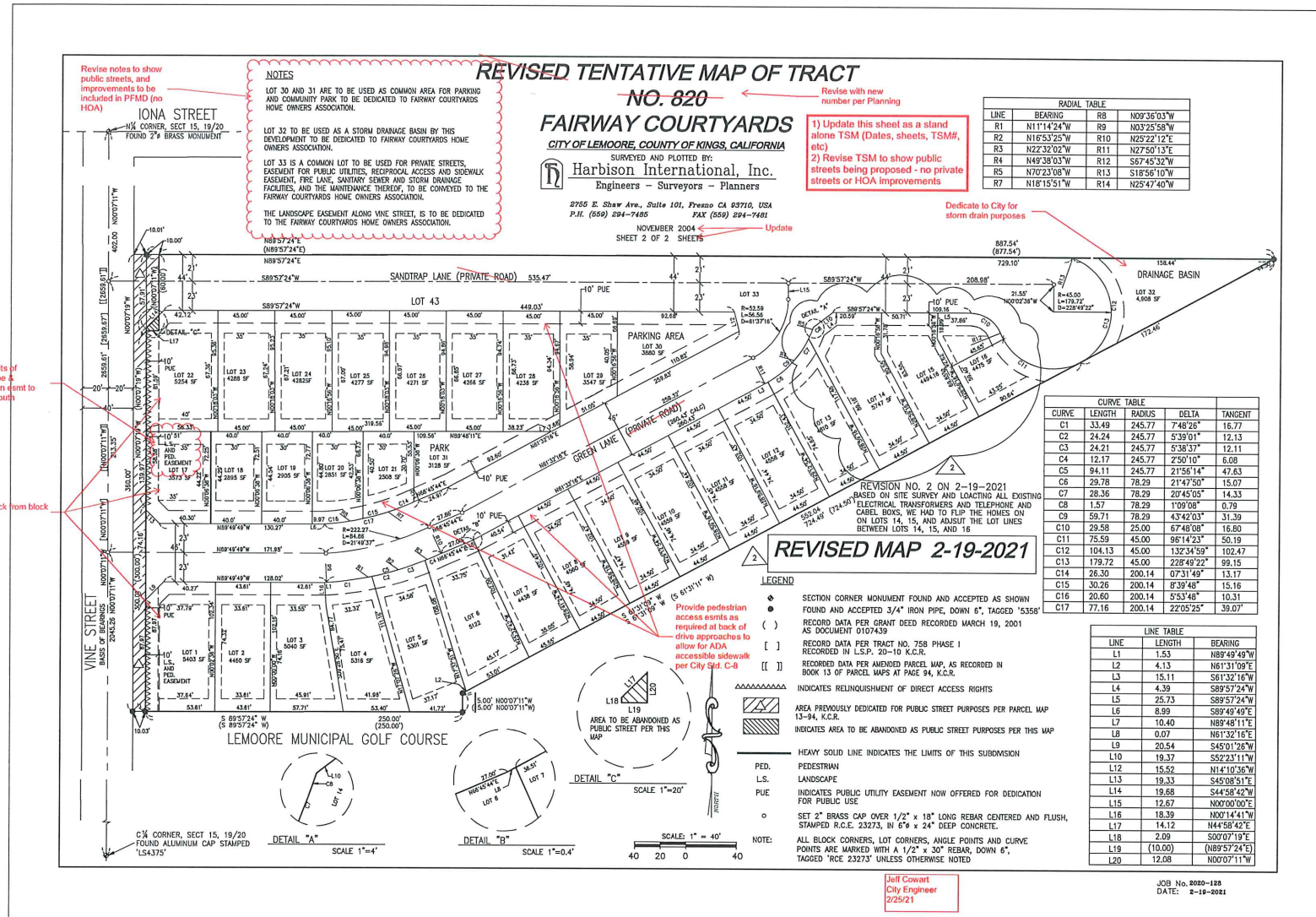
17. Show existing sanitary sewer, storm drainage, water and street infrastructure associated with development.
18. Lowest grade elevation within development shall be 1 foot above high-water level in ponding basin.
19. Fire hydrants to be spaced at a maximum distance of 300 feet.
20. Provide streetlights along the east side of Vine Street and within development.
21. A digital copy of the improvement plans and final map shall be provided to the City upon final approval.
22. Provide adequate transitional paving along the east side of Vine Street in accordance with Caltrans specifications.
23. Relocate all existing utilities underground.
24. Confirm all structures are located out of the proposed PUE.
25. Provide lot drainage for City approval.
26. Grading plan will be reviewed during improvement plan review.
27. Show water and sanitary sewer service connection points.
28. Provide adequate on-site parking.

☐ No comments. Acceptable as submitted.

 //s// KB
Authorized Signature

 2/25/21
Date

 Jeff Cowart, PE, City Engineer
Printed name

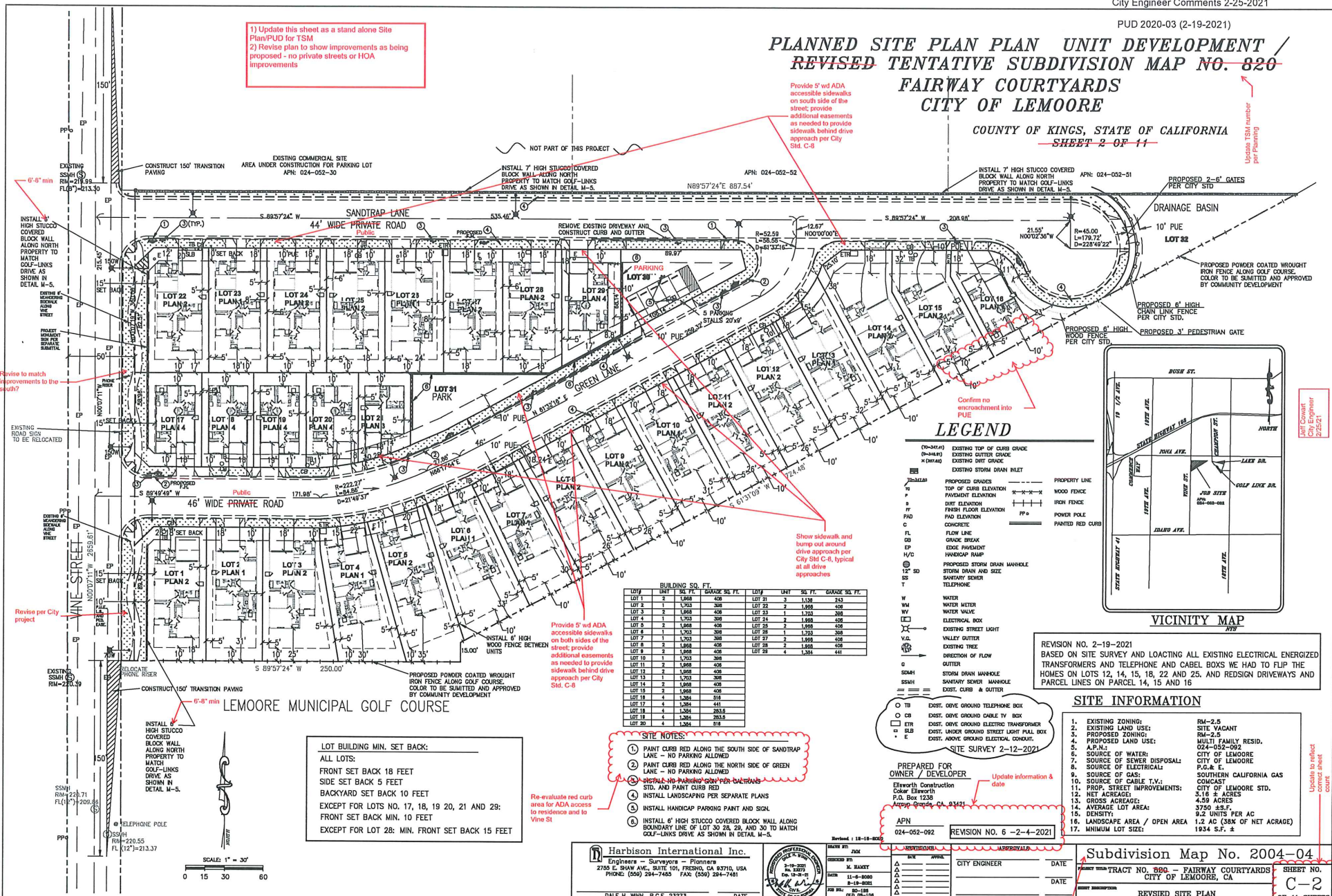


PUD 2020-03 (2-19-2021)

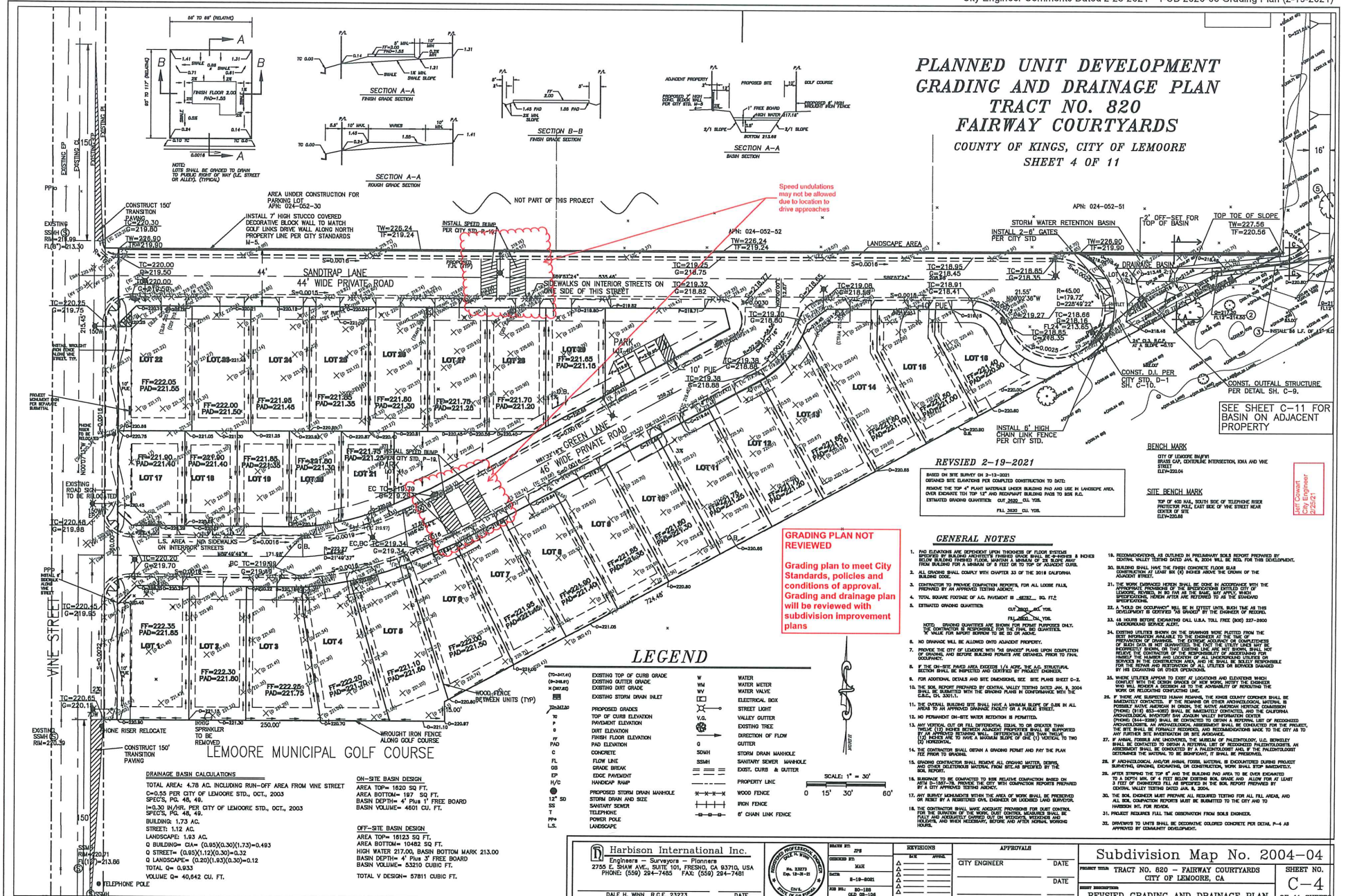
PLANNED SITE PLAN UNIT DEVELOPMENT / REVISED TENTATIVE SUBDIVISION MAP NO. 820 FAIRWAY COURTYARDS CITY OF LEMOORE

COUNTY OF KINGS, STATE OF CALIFORNIA
SHEET 2 OF 11

Update TSM number
per Planning



**PLANNED UNIT DEVELOPMENT
GRADING AND DRAINAGE PLAN
TRACT NO. 820
FAIRWAY COURTYARDS
COUNTY OF KINGS, CITY OF LEMOORE
SHEET 4 OF 11**



Notice of Exemption

TO: ☐ Office of Planning and Research
1400 Tenth Street
Sacramento, CA 95814

☒ County Clerk
County of Kings
Kings County Government Center
Hanford, California 93230

FROM: City of Lemoore
711 W. Cinnamon Drive
Lemoore, CA 93245

PROJECT TITLE:

Tract Map 820 – Fairway Courtyards Subdivision
PUD 2020-03, TSM 2020-02, Major SPR 2020-05

PROJECT APPLICANT:

GJ Gardner, Energy Homes

PROJECT LOCATION – Specific:

Vine Street, 380 feet south of Iona Avenue

PROJECT LOCATION – City: Lemoore **County:** Kings

PROJECT DESCRIPTION:

The Tentative Subdivision Map is a request to subdivide 4.59 acres into 29 single-family residential lots with 3 outlot parcels.

NAME OF PUBLIC AGENCY APPROVING PROJECT:

City of Lemoore

NAME, ADDRESS, & PHONE NUMBER OF PERSON OR AGENCY CARRYING OUT PROJECT:

GJ Gardner, Energy Homes

EXEMPT STATUS: *(check one)*

- ☐ Ministerial (Section 21080(b)(1); 15268);
☐ Declared Emergency (Section 21080(b)(4); 15269(a));
☐ Emergency Project (Section 21080(b)(4); 15269(b)(c));
☐ Categorical Exemption. State type and section number: Sec. 15332 of CEQA below
☐ Statutory Exemptions. State code number: _____

REASONS WHY PROJECT IS EXEMPT:

The Project qualifies as a Class 32 categorical exemption pursuant to Section 15332 of California Environmental Quality Act (“CEQA”) Guidelines, Title 14, Chapter 3 of the California Code of Regulations, because it is a project characterized as in-fill development, meeting the conditions described in Section 15332. (see attached sheet)

LEAD AGENCY CONTACT PERSON:

Judy Holwell, Community Development Director
(559) 924-6744 Ext. 740

Signature

Date

Authority cited: Sections 21083 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, 21152.1, Public Resources Code.

CITY OF LEMOORE

CEQA Class 32 (Infill Development) Exemption Findings

The purpose of CEQA Categorical Exemption 32 is to promote in-fill development within urbanized areas. The class consists of environmentally benign in-fill projects which are consistent with local general plan and zoning requirements. This class is not intended to be applied to projects which would result in any significant traffic, noise, air quality, or water quality effects.

Project Description:

A request by GJ Gardner Homes for approval to develop a 4.59 acre parcel into a 29-lot single-family residential subdivision with 3 small out lots for a park, parking area and drainage basin. The project is located on Vine Street south of Iona Avenue in the city of Lemoore on a site that was previously developed but never completed.

Required Findings:

- a) This project is consistent with the applicable General Plan designation and all applicable General Plan policies as well as with applicable zoning designations and regulations.*

SUPPORTING INFORMATION: The project site is a unique parcel located along a portion of Vine Street that places it south of a light industrial use area and north of the municipal golf course. The site's major advantage are the views of the golf course and it's proximity. As per the City of Lemoore Zoning plan the site is located in a RLMD Low-Medium Density Residential zone and complies with General Plan policies as well as with applicable zoning designations and regulations.

- b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.*

SUPPORTING INFORMATION: This small 4.59-acre project is a unique residential island surrounded by light industrial uses to the north, a municipal golf course to the south and a waste-water treatment facility across Vine street to the west of the site.

- c) The project site has no value as habitat for endangered, rare or threatened species.*

SUPPORTING INFORMATION: The project location on Vine Street south of Iona locates it in an area that been zoned primarily for Light Industrial and Public Facility uses. The site consists of previously developed streets and underground utilities and is devoid of any native vegetation, landscaping or trees. There are no known riparian habitats or sensitive natural communities within the planning area. It is adjacent to the

municipal golf course and with the inclusion of the drainage basin could eventually become part of any biological system or habitat that may already exist there.

d. 1) Approval of the project would not result in any significant effects relating to traffic.

SUPPORTING INFORMATION: The project contains only 29 single family residential lots and is located on the western edge of the city where development is still sparse. There is currently very little commercial or residential traffic on that portion of Vine Street. The project generates very few traffic trips and therefore does not increase any traffic activity already designated for the area. There are no known significant traffic related issues.

d. 2) Approval of the project would not result in any significant effects relating to noise.

SUPPORTING INFORMATION: The size and type of the project would not (significantly) increase the level of ambient noise already in the area. There are no known significant noise related issues.

d. 3) Approval of the project would not result in any significant effects relating to air quality.

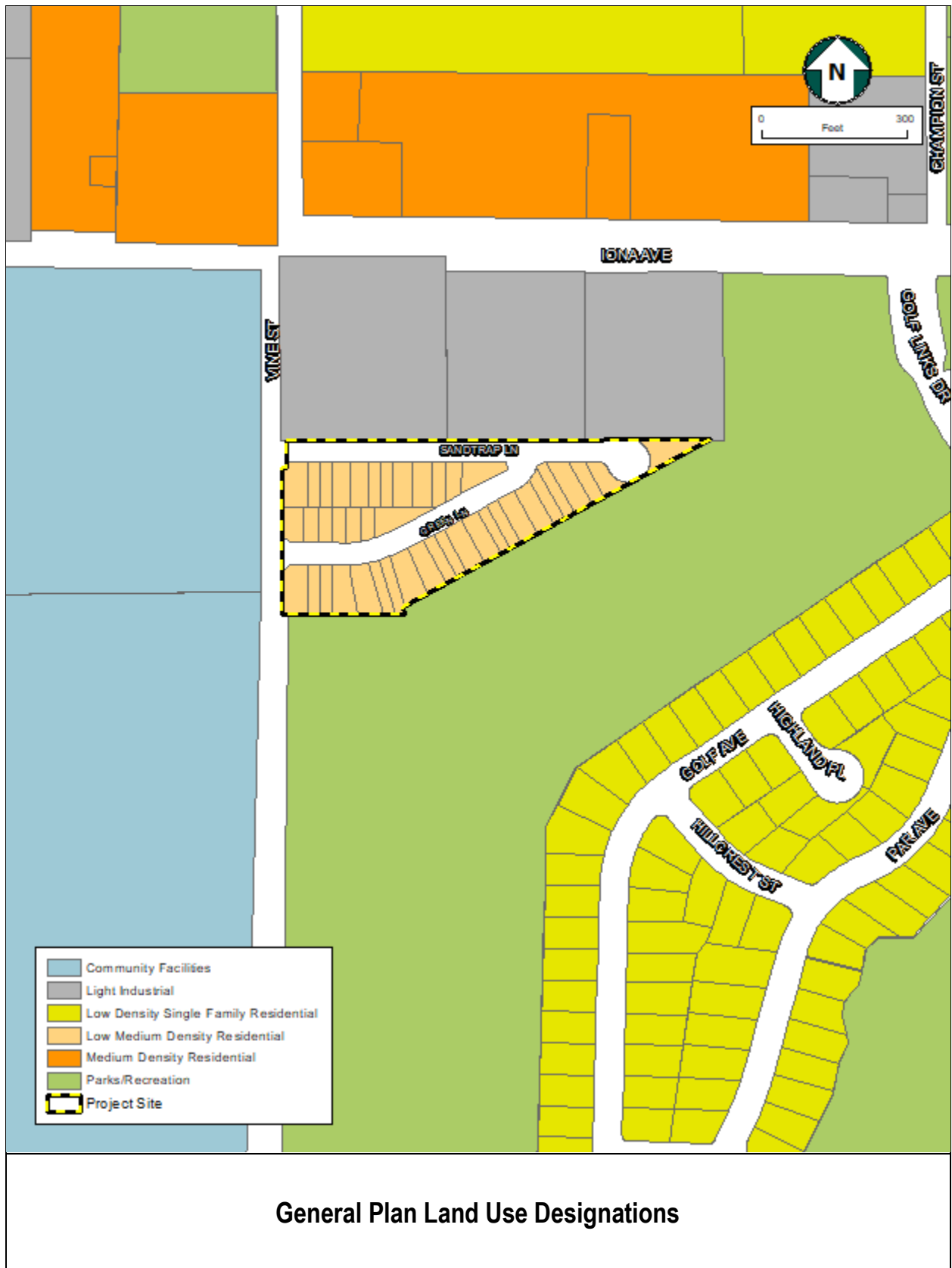
SUPPORTING INFORMATION: Since the site has been previously graded and street and utility improvements already installed there is no reason to think that with proper management practices during the home building phase of the project there would be any (significant) impact on the air quality in the area. There are no known (significant) effects relating to air quality.

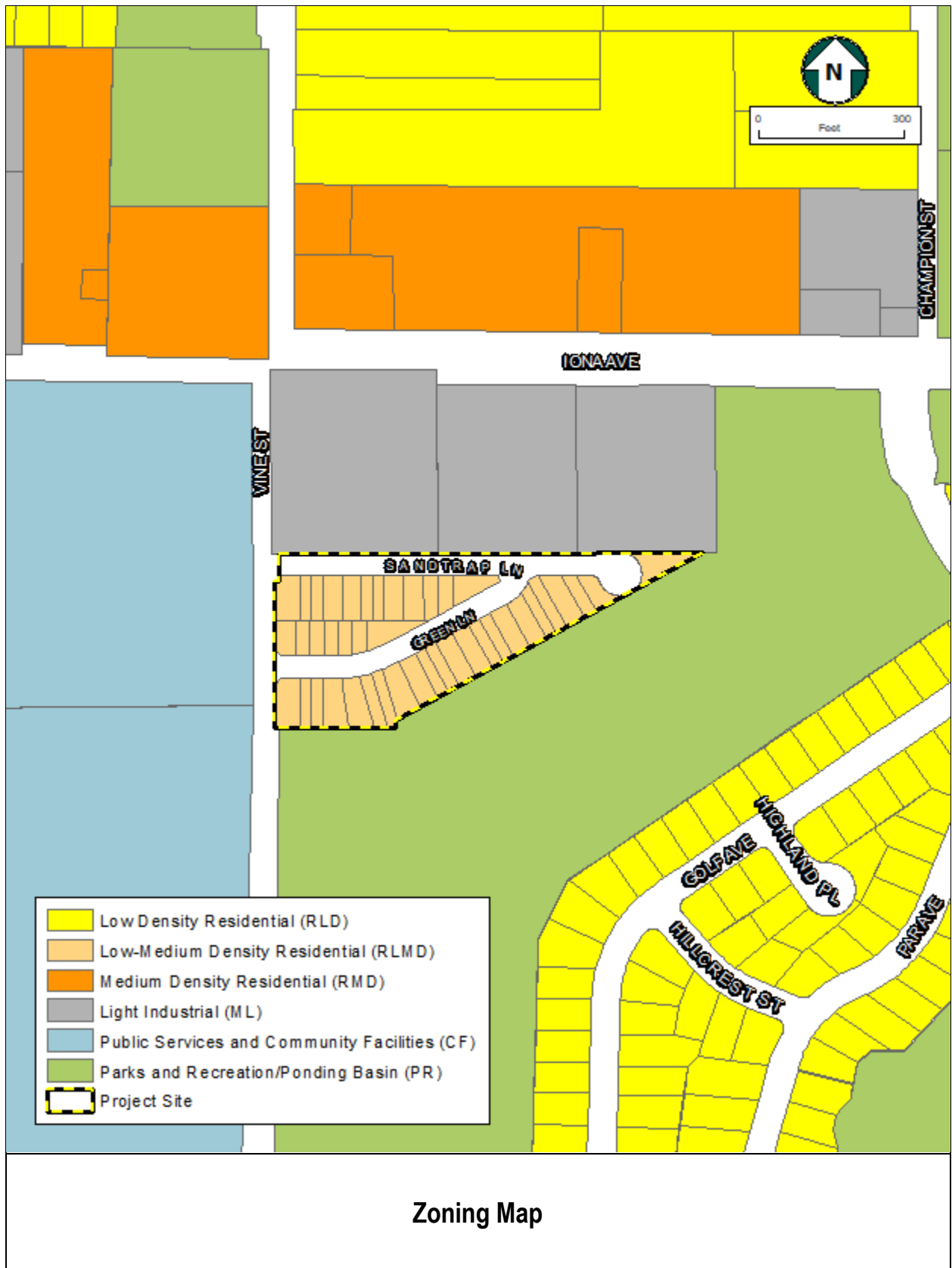
d. 4) Approval of the project would not result in any significant effects relating to water quality.

SUPPORTING INFORMATION: Since there are no adjacent creeks, streams or other bodies of water to be affected, and since the site has been previously graded there is no reason to think that with proper management practices during the home building phase of the project there would be any (significant) impact on the water quality in the area. There are no known (significant) effects that would endanger water quality.

e) The site can be adequately served by all required utilities and public services.

SUPPORTING INFORMATION: The project site is located in an existing sector already serviced by all major utilities and municipal services. All major underground services and utilities have been previously installed. All other services, Police, Fire and Parks can adequately be provided for by the City. There are no known significant utility or service issues.







711 West Cinnamon Drive • Lemoore, California 93245 • (559) 924-6744

Staff Report

To: Lemoore City Council
From: Marisa Avalos, City Clerk
Date: March 10, 2021 **Meeting Date:** March 16, 2021
Subject: Activity Update

Strategic Initiative:	<input type="checkbox"/> Safe & Vibrant Community	<input type="checkbox"/> Growing & Dynamic Economy
	<input type="checkbox"/> Fiscally Sound Government	<input type="checkbox"/> Operational Excellence
	<input type="checkbox"/> Community & Neighborhood Livability	<input checked="" type="checkbox"/> Not Applicable

Reports

➤ Warrant Register – FY 20/21 March 5, 2021

Warrant Register 3-05-2021

PEI
DATE: 03/09/2021
TIME: 09:26:52

CITY OF LEMOORE EXPENDITURE TRANSACTION ANALYSIS

PAGE NUMBER: 1
AUDIT11

SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4213 - CITY MANAGER

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220									
9 /21	03/04/21	21		9819	5396 OFFICE DEPOT		111.55	.00	BINDER/INDEX MARKER
TOTAL						.00	111.55	.00	
4380									
9 /21	03/04/21	21		9800	5977 GREATAMERICA FIN		203.05	.00	COPIER/PRINTER
TOTAL						.00	203.05	.00	
TOTAL					CITY MANAGER	.00	314.60	.00	

RUN DATE 03/09/2021 TIME 09:26:53

PEI - FUND ACCOUNTING

PEI
DATE: 03/09/2021
TIME: 09:26:52

CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

PAGE NUMBER: 2
AUDIT11

SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4214 - CITY CLERK'S OFFICE

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4310									
9 /21	03/04/21	21	10686	-01 9808	6167 KINGS COUNTY ELE		8,282.49	-8,282.49	INVOICE NUMBER #110320200
9 /21	03/04/21	21	10687	-01 9808	6167 KINGS COUNTY ELE		10,646.70	-10,646.70	INVOICE #11032020016 SALE
9 /21	03/04/21	21	10688	-01 9798	6495 GLADWELL GOVERN		500.00	-500.00	RECORDS RETENTION LEGAL R
TOTAL					PROFESSIONAL CONTRACT SVC	.00	19,429.19	-19,429.19	
4380									
9 /21	03/04/21	21		9800	5977 GREATAMERICA FIN		4.95	.00	COPIER/PRINTER
TOTAL					RENTALS & LEASES	.00	4.95	.00	
TOTAL					CITY CLERK'S OFFICE	.00	19,434.14	-19,429.19	

PEI
DATE: 03/09/2021
TIME: 09:26:52

CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

PAGE NUMBER: 3
AUDIT11

SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4215 - FINANCE

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220			OPERATING		SUPPLIES				
9 /21	03/04/21	21		9819	5396 OFFICE DEPOT		3.60	.00	STAPLES
9 /21	03/04/21	21		9819	5396 OFFICE DEPOT		18.56	.00	PAPER
9 /21	03/04/21	21		9819	5396 OFFICE DEPOT		21.27	.00	BOARD, FORAY/PAPER
9 /21	03/04/21	21		9819	5396 OFFICE DEPOT		26.18	.00	STAPLER
TOTAL			OPERATING		SUPPLIES	.00	69.61	.00	
4380			RENTALS &		LEASES				
9 /21	03/04/21	21		9800	5977 GREATAMERICA FIN		238.41	.00	COPIER/PRINTER
TOTAL			RENTALS &		LEASES	.00	238.41	.00	
TOTAL			FINANCE			.00	308.02	.00	

PEI
DATE: 03/09/2021
TIME: 09:26:52

CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

PAGE NUMBER: 4
AUDIT11

SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4216 - PLANNING

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4380									
	9 /21	03/04/21		21					
				9800	5977 GREATAMERICA FIN		338.06	.00	COPIER/PRINTER
TOTAL						.00	338.06	.00	
TOTAL						.00	338.06	.00	

PEI
DATE: 03/09/2021
TIME: 09:26:52

CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

PAGE NUMBER: 5
AUDIT11

SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4220 - MAINTENANCE DIVISION

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220									
9 /21	03/04/21	21		9791	3022 FIRST BANKCARD		63.00	.00	DAY TIMER REFILL
TOTAL						.00	63.00	.00	
4340									
9 /21	03/04/21	21	9828		0423 SOCALGAS		47.60	.00	01/19/21-02/18/21
9 /21	03/04/21	21	9822		0363 PG&E		10.68	.00	02/04/21-02/16/21
9 /21	03/04/21	21	9828		0423 SOCALGAS		421.83	.00	01/19/21-02/18/21
9 /21	03/04/21	21	9828		0423 SOCALGAS		973.34	.00	01/19/21-02/18/21
9 /21	03/04/21	21	9828		0423 SOCALGAS		80.16	.00	01/19/21-02/18/21
9 /21	03/04/21	21	9828		0423 SOCALGAS		81.65	.00	01/19/21-02/18/21
9 /21	03/04/21	21	9828		0423 SOCALGAS		184.86	.00	01/21/21-02/22/21
9 /21	03/04/21	21	9828		0423 SOCALGAS		985.77	.00	01/21/21-02/22/21
TOTAL						.00	2,785.89	.00	
TOTAL						.00	2,848.89	.00	

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4221 - POLICE

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220	OPERATING SUPPLIES								
9 /21	03/04/21	21	C722	-01 9792	3022 FIRST BANKCARD		1,419.00	-1,419.00	CANON POWERSHOT CAMERAS
9 /21	03/04/21	21	C722	-02 9792	3022 FIRST BANKCARD		102.85	-102.85	TAX
9 /21	03/04/21	21	C723	-01 9782	3022 FIRST BANKCARD		599.94	-599.94	CHAIRS FOR RECORDS
9 /21	03/04/21	21	C723	-02 9782	3022 FIRST BANKCARD		39.15	-39.15	TAX
9 /21	03/04/21	21	C724	-01 9782	3022 FIRST BANKCARD		19.50	-19.50	100-8X10 4 MIL RESEALABLE
9 /21	03/04/21	21	C724	-02 9782	3022 FIRST BANKCARD		252.00	-252.00	GSR COLLECTION ENVELOPE K
9 /21	03/04/21	21	C724	-03 9782	3022 FIRST BANKCARD		36.00	-36.00	100- 9 1/2 X 12 PRESONAL
9 /21	03/04/21	21	C724	-04 9782	3022 FIRST BANKCARD		35.39	-35.39	SHIPPING
9 /21	03/04/21	21	C725	-01 9782	3022 FIRST BANKCARD		42.00	-42.00	24" PHOTOGRAPHIC TRAJECTO
9 /21	03/04/21	21	C725	-02 9782	3022 FIRST BANKCARD		78.00	-78.00	48" PHOTOGRAPHIC TRAJECTO
9 /21	03/04/21	21	C725	-03 9782	3022 FIRST BANKCARD		51.19	-51.19	SHIPPING
9 /21	03/04/21	21	C726	-01 9786	3022 FIRST BANKCARD		450.45	-450.45	VIOLENT PRINSONER TRANSP
9 /21	03/04/21	21	C726	-02 2114FEB2021	3022 FIRST BANKCARD		.00	-32.66	TAX
9 /21	03/04/21	21	C726	-03 9786	3022 FIRST BANKCARD		24.97	-24.97	SHIPPING
9 /21	03/04/21	21	C727	-01 9786	3022 FIRST BANKCARD		781.00	-781.00	WDS STUDENT SUIT
9 /21	03/04/21	21	C727	-02 2114FEB2021	3022 FIRST BANKCARD		.00	-56.62	TAX
9 /21	03/04/21	21	C727	-03 9786	3022 FIRST BANKCARD		62.48	-62.48	SHIPPING
9 /21	03/04/21	21	C714	-01 9792	3022 FIRST BANKCARD		295.90	-295.90	L-CASE NITRILE GLOVES
9 /21	03/04/21	21	C714	-02 9792	3022 FIRST BANKCARD		295.90	-295.90	XL- CASE NITRILE GLOVES
9 /21	03/04/21	21	C714	-03 9792	3022 FIRST BANKCARD		42.90	-42.90	TAX
9 /21	03/04/21	21	C717	-01 9782	3022 FIRST BANKCARD		19.50	-19.50	2 PAS SIMULATOR SOLUTIONS
9 /21	03/04/21	21	C717	-02 9782	3022 FIRST BANKCARD		18.24	-18.24	SHIPPING
9 /21	03/04/21	21		9786	3022 FIRST BANKCARD		193.02	.00	3-STEP LADDERS (3)
9 /21	03/04/21	21		9782	3022 FIRST BANKCARD		150.01	.00	OFFICE SUPPLIES-BINDE
9 /21	03/04/21	21		9782	3022 FIRST BANKCARD		81.10	.00	OFFICE SUPPLIES
9 /21	03/04/21	21		9782	3022 FIRST BANKCARD		88.19	.00	OFFICE SUPPLIES
9 /21	03/04/21	21		9782	3022 FIRST BANKCARD		117.50	.00	BANKERS BOXES FOR EVI
9 /21	03/04/21	21		9786	3022 FIRST BANKCARD		97.87	.00	CPR FACE SHIELDS AND
9 /21	03/04/21	21		9782	3022 FIRST BANKCARD		247.28	.00	USB FLASH DRIVES FOR
9 /21	03/04/21	21		9786	3022 FIRST BANKCARD		270.24	.00	TOWER FANS (4)
9 /21	03/04/21	21		9782	3022 FIRST BANKCARD		18.00	.00	GSR COLLECTION KIT FO
9 /21	03/04/21	21		9782	3022 FIRST BANKCARD		26.08	.00	ANGLE FINDER-EVIDENCE
9 /21	03/04/21	21		9784	3022 FIRST BANKCARD		32.15	.00	DISPOSIBLE MASKS-COVI
9 /21	03/04/21	21		9786	3022 FIRST BANKCARD		42.88	.00	GLOVE RACK AND BOX DI
9 /21	03/04/21	21		9784	3022 FIRST BANKCARD		35.79	.00	OFFICE SUPPLIES
9 /21	03/04/21	21		9784	3022 FIRST BANKCARD		69.00	.00	TUITION-COSPER FTO TR
TOTAL	OPERATING SUPPLIES					.00	6,135.47	-4,755.64	
4310	PROFESSIONAL CONTRACT SVC								
9 /21	03/04/21	21		9792	3022 FIRST BANKCARD		75.00	.00	DETECTIVES
9 /21	03/04/21	21	10379	-01 9802	5814 CITY OF HANFORD		16,102.39	-16,102.39	LEMOORE DISPATCH SERVICES
TOTAL	PROFESSIONAL CONTRACT SVC					.00	16,177.39	-16,102.39	
4320	MEETINGS & DUES								
9 /21	03/04/21	21	10683	-01 9827	2815 SEQUOIA COUNCIL		339.85	-339.85	EXPLORER POST 1097 RECHAR
9 /21	03/04/21	21		9784	3022 FIRST BANKCARD		27.08	.00	OFFICER OF THE YEAR P

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4221 - POLICE

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4320					(cont'd)				
9 /21	03/04/21	21		9784	3022 FIRST BANKCARD		480.00	.00	CRPOA DUES (5)
TOTAL						.00	846.93	-339.85	
4335									
9 /21	03/04/21	21		9782	3022 FIRST BANKCARD		21.16	.00	POSTAGE- SENT EVIDENC
9 /21	03/04/21	21		9782	3022 FIRST BANKCARD		39.32	.00	POSTAGE- SWAT HELMET
TOTAL						.00	60.48	.00	
4340									
9 /21	03/04/21	21		9792	3022 FIRST BANKCARD		35.44	.00	WATER FILTRATION RENT
9 /21	03/04/21	21		9792	3022 FIRST BANKCARD		35.44	.00	WATER FILTRATION RENT
9 /21	03/04/21	21		9837	0116 VERIZON WIRELESS		2,231.40	.00	01/17/21-02/16/21
TOTAL						.00	2,302.28	.00	
4360									
9 /21	03/04/21	21	C718	-01 9782	3022 FIRST BANKCARD		319.91	-319.91	LION GATE HOTEL RESERATIO
9 /21	03/04/21	21	C718	-02 9782	3022 FIRST BANKCARD		49.06	-49.06	TAX
9 /21	03/04/21	21	C719	-01 9782	3022 FIRST BANKCARD		637.45	-637.45	BEST WESTERN PLUS INN AT
9 /21	03/04/21	21	C719	-02 9782	3022 FIRST BANKCARD		95.65	-95.65	TAX
9 /21	03/04/21	21	C720	-01 9782	3022 FIRST BANKCARD		344.00	-344.00	CAMPUS OFFICER TRAINING R
9 /21	03/04/21	21		9772	7177 BRANDON GRESHAM		70.00	.00	FIREARMS INSTRUCTOR
9 /21	03/04/21	21		9787	3022 FIRST BANKCARD		336.18	.00	LODGING-COSPER FTO TR
9 /21	03/04/21	21		9826	T2228 KODY ROGERS		247.00	.00	CAMPUS LAW ENFORCEMEN
TOTAL						.00	2,099.25	-1,446.07	
TOTAL						.00	27,621.80	-22,643.95	

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4222 - FIRE

ACCOUNT DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220				OPERATING SUPPLIES				
9 /21 03/04/21 21		9785		3022 FIRST BANKCARD		58.98	.00	TRASH BAGS FOR BOTH F
9 /21 03/04/21 21		9805		2000 J'S COMMUNICATIO		50.00	.00	PROCESS FCC LICENSING
9 /21 03/04/21 21		9785		3022 FIRST BANKCARD		24.77	.00	OFFICE SUPPLIES-GRANT
9 /21 03/04/21 21		9785		3022 FIRST BANKCARD		22.51	.00	OFFICE SUPPLIES-STAMP
TOTAL				OPERATING SUPPLIES	.00	156.26	.00	
4310				PROFESSIONAL CONTRACT SVC				
9 /21 03/04/21 21 10377		-01 9802		5814 CITY OF HANFORD		12,076.79	-12,076.79	LEMOORE FIRE MONTHLY DISP
TOTAL				PROFESSIONAL CONTRACT SVC	.00	12,076.79	-12,076.79	
4350				REPAIR/MAINT SERVICES				
9 /21 03/04/21 21 10614		-03 9775		5725 CENTRAL VALLEY R		791.40	-791.40	PUMP MOTOR
9 /21 03/04/21 21 10614		-03 34246		5725 CENTRAL VALLEY R		.00	.00	PUMP MOTOR
9 /21 03/04/21 21 10614		-04 9775		5725 CENTRAL VALLEY R		303.99	-303.99	SERVICED BOTH ICE MACHINE
9 /21 03/04/21 21 10616		-01 9780		7047 FAILSAFE TESTING		1,100.00	-1,100.00	ANNUAL INSPECTION OF 1986
9 /21 03/04/21 21 10616		-02 9780		7047 FAILSAFE TESTING		1,100.00	-1,100.00	ANNUAL INSPECTION OF 2013
TOTAL				REPAIR/MAINT SERVICES	.00	3,295.39	-3,295.39	
4380				RENTALS & LEASES				
9 /21 03/04/21 21		9800		5977 GREATAMERICA FIN		61.59	.00	COPIER/PRINTER
TOTAL				RENTALS & LEASES	.00	61.59	.00	
TOTAL				FIRE	.00	15,590.03	-15,372.18	

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4224 - BUILDING INSPECTION

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220									
	9 /21	03/04/21	21	9783	3022 FIRST BANKCARD		60.04	.00	OFFICE SUPPLIES
	9 /21	03/04/21	21	9783	3022 FIRST BANKCARD		51.23	.00	OFFICE SUPPLIES
TOTAL						.00	111.27	.00	
4310									
	9 /21	03/04/21	21	10551 -01 9804	6713 INTERWEST CONSUL		360.00	-360.00	PLAN CHECK BLANKET PO
	9 /21	03/04/21	21	10551 -01 9804	6713 INTERWEST CONSUL		540.00	-540.00	PLAN CHECK BLANKET PO
TOTAL						.00	900.00	-900.00	
4335									
	9 /21	03/04/21	21	9783	3022 FIRST BANKCARD		34.49	.00	PACKAGE
TOTAL						.00	34.49	.00	
4380									
	9 /21	03/04/21	21	9800	5977 GREATAMERICA FIN		715.81	.00	COPIER/PRINTER
TOTAL						.00	715.81	.00	
TOTAL						.00	1,761.57	-900.00	

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4230 - PUBLIC WORKS

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4320									
9 /21	03/04/21	21	10389	-01 9838	6783 VIRTUAL PROJECT		500.00	-500.00	VIRTUAL PROJECT MANAGER M
TOTAL						.00	500.00	-500.00	
4380									
9 /21	03/04/21	21		9800	5977 GREATAMERICA FIN		267.76	.00	COPIER/PRINTER
TOTAL						.00	267.76	.00	
TOTAL						.00	767.76	-500.00	

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ACCOUNTING PERIOD: 9/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4231 - STREETS

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4310									
	9 /21	03/04/21	21	10492 -01	5758 MARK FERNANDES		500.00	-500.00	LANDSCAPING AT CMC - 500/
	9 /21	03/04/21	21	10492 -02	5758 MARK FERNANDES		200.00	-200.00	LANDSCAPING AT PD - 200MO
TOTAL						.00	700.00	-700.00	
4340									
	9 /21	03/04/21	21	9822	0363 PG&E		1,250.87	.00	01/15/21-02/16/21
	9 /21	03/04/21	21	9822	0363 PG&E		7,183.89	.00	01/15/20-02/16/21
	9 /21	03/04/21	21	9822	0363 PG&E		220.57	.00	01/08/21-02/07/21
	9 /21	03/04/21	21	9822	0363 PG&E		82.87	.00	01/13/21-02/11/21
	9 /21	03/04/21	21	9822	0363 PG&E		71.51	.00	01/16/21-02/17/21
TOTAL						.00	8,809.71	.00	
TOTAL						.00	9,509.71	-700.00	

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM030521'
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FUND - 001 - GENERAL FUND
BUDGET UNIT - 4241 - PARKS

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4310									
9 /21	03/04/21	21	10632	-02	9795		615.00	-615.00	BACK FLOW TESTING
TOTAL					7176 FLOW TECH	.00	615.00	-615.00	
TOTAL					PARKS	.00	615.00	-615.00	

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4242 - RECREATION

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4380									
9 /21	03/04/21	21		9800	5977 GREATAMERICA FIN		464.18	.00	COPIER/PRINTER
TOTAL						.00	464.18	.00	
TOTAL						.00	464.18	.00	

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4296 - INFORMATION TECHNOLOGY

ACCOUNT DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220								OPERATING SUPPLIES
9 /21 03/04/21 21		9830		7080 STUART LYONS		350.00	.00	REIMURSEMENT OF TABLE
9 /21 03/04/21 21		9788		3022 FIRST BANKCARD		464.00	.00	OFFICE 365/EMAIL
9 /21 03/04/21 21		9788		3022 FIRST BANKCARD		179.50	.00	FAX SERVICES FOR FINA
9 /21 03/04/21 21		9788		3022 FIRST BANKCARD		56.00	.00	EMAIL
9 /21 03/04/21 21		9788		3022 FIRST BANKCARD		40.74	.00	INK REPLACEMENT
9 /21 03/04/21 21		9788		3022 FIRST BANKCARD		12.31	.00	CLEANING KIT
9 /21 03/04/21 21		9788		3022 FIRST BANKCARD		27.76	.00	SCREEN PROCTECORS & H
9 /21 03/04/21 21		9788		3022 FIRST BANKCARD		29.40	.00	CAR PHONE CHARGERS
TOTAL					.00	1,159.71	.00	
4310								PROFESSIONAL CONTRACT SVC
9 /21 03/04/21 21		9834		5818 UNWIRED BROADBAN		98.55	.00	ADDITIONAL DISK SPACE
9 /21 03/04/21 21		9834		5818 UNWIRED BROADBAN		210.00	.00	ASYMMETRICAL 21 MBPS
9 /21 03/04/21 21 C728		-01 9790		3022 FIRST BANKCARD		1,539.99	-1,539.99	PRO FOR SMALL BUSINESS YE
TOTAL					.00	1,848.54	-1,539.99	
4340								UTILITIES
9 /21 03/04/21 21		9768		5516 AT&T		25.83	.00	939-103-4003
TOTAL					.00	25.83	.00	
4380								RENTALS & LEASES
9 /21 03/04/21 21		9800		5977 GREATAMERICA FIN		1.37	.00	COPIER/PRINTER
TOTAL					.00	1.37	.00	
TOTAL					.00	3,035.45	-1,539.99	INFORMATION TECHNOLOGY

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4297 - HUMAN RESOURCES

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4310					PROFESSIONAL CONTRACT SVC				
9 /21	03/04/21	21	10689	-01 9770	0057 RICHARD A. BLAK,		900.00	-900.00	PRE EMPLOYMENT PSYCH SCRE
9 /21	03/04/21	21	10425	-01 9809	6543 KINGS INDUSTRIAL		95.00	-95.00	HR REQUIRED TESTING
9 /21	03/04/21	21	10433	-01 9831	0809 TAG-AMS, INC.		20.00	-20.00	DRUG TESTING FEES
9 /21	03/04/21	21	10433	-02 9831	0809 TAG-AMS, INC.		65.00	-65.00	CHANGE ORDER 1 ADD
9 /21	03/04/21	21		9777	2399 DEPARTMENT OF JU		32.00	.00	FINGERPRINTS
9 /21	03/04/21	21		9777	2399 DEPARTMENT OF JU		190.00	.00	FINGERPRINTS
TOTAL					PROFESSIONAL CONTRACT SVC	.00	1,302.00	-1,080.00	
4320					MEETINGS & DUES				
9 /21	03/04/21	21	10346	-01 9771	2836 THE BODY SHOP HE		200.00	-200.00	MONTHLY CHARGE FOR CITY E
TOTAL					MEETINGS & DUES	.00	200.00	-200.00	
4380					RENTALS & LEASES				
9 /21	03/04/21	21		9800	5977 GREATAMERICA FIN		69.97	.00	COPIER/PRINTER
TOTAL					RENTALS & LEASES	.00	69.97	.00	
TOTAL					HUMAN RESOURCES	.00	1,571.97	-1,280.00	
TOTAL					GENERAL FUND	.00	84,181.18	-62,980.31	

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 033 - LOCAL TRANSPORTATION FUND
BUDGET UNIT - 5015 - VINE STREET PEDESTRIAN PA

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4310									
9 /21	03/04/21	21	10369	-03 9824	0876 QUAD KNOPF, INC.		2,626.50	-2,626.50	CHANGE ORDER 01 (TASK 6.1
TOTAL						.00	2,626.50	-2,626.50	
4317									
9 /21	03/04/21	21	10685	-01 9774	5291 CEN-CAL PAVING,		16,815.00	-16,815.00	AWARDED AT COUNCIL 10-6-2
TOTAL						.00	16,815.00	-16,815.00	
TOTAL					VINE STREET PEDESTRIAN PA	.00	19,441.50	-19,441.50	
TOTAL					LOCAL TRANSPORTATION FUND	.00	19,441.50	-19,441.50	

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EXPENDITURE TRANSACTION ANALYSIS

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 040 - FLEET MAINTENANCE
BUDGET UNIT - 4265 - FLEET MAINTENANCE

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220					OPERATING SUPPLIES				
9 /21	03/04/21	21		9769	1908 BATTERY SYSTEMS,		-180.00	.00	BATTERY
9 /21	03/04/21	21		9793	3022 FIRST BANKCARD		58.92	.00	OFFICE SUPPLIES
9 /21	03/04/21	21		9793	3022 FIRST BANKCARD		27.32	.00	PROPANE
TOTAL					OPERATING SUPPLIES	.00	-93.76	.00	
4220F					OPERATING SUPPLIES FUEL				
9 /21	03/04/21	21	10367 -01	9797	0068 GARY V. BURROWS,		7,263.53	-7,263.53	BLANKET PO FOR FUEL
9 /21	03/04/21	21	10367 -01	9797	0068 GARY V. BURROWS,		7,818.29	-7,818.29	BLANKET PO FOR FUEL
TOTAL					OPERATING SUPPLIES FUEL	.00	15,081.82	-15,081.82	
4230					REPAIR/MAINT SUPPLIES				
9 /21	03/04/21	21		9818	6120 O'REILLY AUTO PA		15.67	.00	SEALED BEAM
9 /21	03/04/21	21		9811	0314 LEMOORE AUTO SUP		42.60	.00	WINDOW CRANK HANDLE
9 /21	03/04/21	21		9832	7136 THERMO KING OF C		280.68	.00	TLR PARTS
9 /21	03/04/21	21		9769	1908 BATTERY SYSTEMS,		447.54	.00	BATTERY
9 /21	03/04/21	21		9769	1908 BATTERY SYSTEMS,		399.89	.00	BATTERY
9 /21	03/04/21	21		9783	3022 FIRST BANKCARD		454.87	.00	LED BEACON, PERM/ PIP
9 /21	03/04/21	21		9783	3022 FIRST BANKCARD		128.24	.00	DOOR LATCH
9 /21	03/04/21	21		9811	0314 LEMOORE AUTO SUP		184.66	.00	HYDRAULIC HOSE
9 /21	03/04/21	21		9769	1908 BATTERY SYSTEMS,		72.13	.00	BATTERY
9 /21	03/04/21	21		9807	2671 KELLER MOTORS		140.26	.00	N-COVER
TOTAL					REPAIR/MAINT SUPPLIES	.00	2,166.54	.00	
4350					REPAIR/MAINT SERVICES				
9 /21	03/04/21	21		9820	2822 PACIFIC TOWING &		450.00	.00	TOWING SERVICES
9 /21	03/04/21	21		9810	7219 LEMOORE AUTO		71.85	.00	#P36
9 /21	03/04/21	21	10673 -01	9766	7052 A & E WELDING, I		3,950.00	-3,950.00	REPAIR TO FRONT PART OF R
9 /21	03/04/21	21	10676 -01	9801	5181 HAAKER EQUIPMENT		2,127.58	-2,127.58	PARTS AND LABOR TO REPAIR
TOTAL					REPAIR/MAINT SERVICES	.00	6,599.43	-6,077.58	
4380					RENTALS & LEASES				
9 /21	03/04/21	21		9800	5977 GREATAMERICA FIN		84.76	.00	COPIER/PRINTER
TOTAL					RENTALS & LEASES	.00	84.76	.00	
TOTAL					FLEET MAINTENANCE	.00	23,838.79	-21,159.40	
TOTAL					FLEET MAINTENANCE	.00	23,838.79	-21,159.40	

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 045 - GOLF COURSE - CITY
BUDGET UNIT - 4245 - GOLF COURSE-CITY

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4000K									
									COST OF REVENUE-KITCHEN
9 /21	03/04/21	21		9794	3022 FIRST BANKCARD		350.66	.00	FOOD STUFF
9 /21	03/04/21	21		9794	3022 FIRST BANKCARD		475.31	.00	FOOD STUFF
9 /21	03/04/21	21		9794	3022 FIRST BANKCARD		492.14	.00	FOOD STUFF
9 /21	03/04/21	21		9825	T1885 TOM RINGER		920.05	.00	VALLEY WIDE
9 /21	03/04/21	21		9825	T1885 TOM RINGER		975.70	.00	BUENO BEVERAGE
9 /21	03/04/21	21		9794	3022 FIRST BANKCARD		335.07	.00	FOOD STUFF
9 /21	03/04/21	21		9794	3022 FIRST BANKCARD		199.53	.00	FOOD STUFF
9 /21	03/04/21	21		9794	3022 FIRST BANKCARD		37.28	.00	PIZZA FOR STAFF MEETI
9 /21	03/04/21	21		9794	3022 FIRST BANKCARD		15.06	.00	FOOD STUFF
9 /21	03/04/21	21		9794	3022 FIRST BANKCARD		7.15	.00	FOOD STUFF
9 /21	03/04/21	21		9794	3022 FIRST BANKCARD		7.89	.00	FOOD STUFF
9 /21	03/04/21	21		9794	3022 FIRST BANKCARD		25.26	.00	FOOD STUFF
9 /21	03/04/21	21	10405 -01	9821	6438 PEPSI BEVERAGES		1,256.93	-1,256.93	PEPSI PRODUCTS FOR KITCHEN
TOTAL						.00	5,098.03	-1,256.93	
									COST OF REVENUE-KITCHEN
4220K									
									OPERATING SUPPLIES-KITCHEN
9 /21	03/04/21	21		9794	3022 FIRST BANKCARD		59.96	.00	CABINET FOR KITCHEN
TOTAL						.00	59.96	.00	
									OPERATING SUPPLIES-KITCHEN
4220M									
									OPERATING SUPPLIES MAINT.
9 /21	03/04/21	21		9794	3022 FIRST BANKCARD		246.50	.00	IRRIGATION SUPPLY
9 /21	03/04/21	21		9812	6526 LEMOORE AUTO SUP		88.78	.00	BATTERY
9 /21	03/04/21	21		9794	3022 FIRST BANKCARD		92.22	.00	COURSE SUPPLIES
9 /21	03/04/21	21		9794	3022 FIRST BANKCARD		150.84	.00	IRRIGATION SUPPLY
9 /21	03/04/21	21		9794	3022 FIRST BANKCARD		187.92	.00	COURSE SUPPLIES
9 /21	03/04/21	21	10406 -03	9817	5663 NUTRIEN AG SOLUT		437.60	-437.60	CHANGE ORDER 2 ADD FUNDS
9 /21	03/04/21	21	10406 -04	9817	5663 NUTRIEN AG SOLUT		411.82	-411.82	CHANGE ORDER 3 ADD FUNDS
TOTAL						.00	1,615.68	-849.42	
									OPERATING SUPPLIES MAINT.
4220P									
									OPERATING SUPPLIES-PRO SH
9 /21	03/04/21	21		9794	3022 FIRST BANKCARD		137.26	.00	OFFICE SUPPLY
9 /21	03/04/21	21		9794	3022 FIRST BANKCARD		137.26	.00	OFFICE SUPPLIES
9 /21	03/04/21	21		9794	3022 FIRST BANKCARD		138.76	.00	OFFICE SUPPLIES
9 /21	03/04/21	21		9794	3022 FIRST BANKCARD		67.26	.00	FRAME FOR PRO SHOP
9 /21	03/04/21	21		9794	3022 FIRST BANKCARD		67.56	.00	SIGNAGE FOR MARSHAL C
9 /21	03/04/21	21		9794	3022 FIRST BANKCARD		41.82	.00	COURSE MARSHALL HATS
9 /21	03/04/21	21		9794	3022 FIRST BANKCARD		52.86	.00	COURSE SIGNAGE
9 /21	03/04/21	21		9794	3022 FIRST BANKCARD		46.98	.00	OFFICE SUPPLIES
9 /21	03/04/21	21		9794	3022 FIRST BANKCARD		28.95	.00	BUSINESS CARDS FOR K
9 /21	03/04/21	21		9794	3022 FIRST BANKCARD		29.59	.00	OFFICE SUPPLIES
9 /21	03/04/21	21		9794	3022 FIRST BANKCARD		32.70	.00	OFFICE SUPPLIES
TOTAL						.00	781.00	.00	
									OPERATING SUPPLIES-PRO SH
4309									
									STAFFING/TOM RINGER
9 /21	03/04/21	21		9825	T1885 TOM RINGER		250.00	.00	MARK FRANTZ
9 /21	03/04/21	21		9825	T1885 TOM RINGER		14,902.22	.00	PAYROLL

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 045 - GOLF COURSE - CITY
BUDGET UNIT - 4245 - GOLF COURSE-CITY

ACCOUNT DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4309	STAFFING/TOM RINGER		(cont'd)					
9 /21 03/04/21 21		9825		T1885 TOM RINGER		15,510.59	.00	PAYROLL
TOTAL	STAFFING/TOM RINGER				.00	30,662.81	.00	
4320	MEETINGS & DUES							
9 /21 03/04/21 21		9794		3022 FIRST BANKCARD		130.00	.00	PGA RECERTIFICATIOIN
TOTAL	MEETINGS & DUES				.00	130.00	.00	
4335	POSTAGE & MAILING							
9 /21 03/04/21 21		9794		3022 FIRST BANKCARD		55.00	.00	POSTAGE
TOTAL	POSTAGE & MAILING				.00	55.00	.00	
4340	UTILITIES							
9 /21 03/04/21 21		9794		3022 FIRST BANKCARD		53.50	.00	PHONE/INTERNET
9 /21 03/04/21 21		9794		3022 FIRST BANKCARD		81.82	.00	PHONE/TOM
9 /21 03/04/21 21		9794		3022 FIRST BANKCARD		139.23	.00	CLUBHOUSE CABLE
9 /21 03/04/21 21		9794		3022 FIRST BANKCARD		185.57	.00	PHONE/INTERNET
9 /21 03/04/21 21		9822		0363 PG&E		3,046.56	.00	01/06/21-02/03/21
TOTAL	UTILITIES				.00	3,506.68	.00	
4350	REPAIR/MAINT SERVICES							
9 /21 03/04/21 21 10583	-01 9796			2410 GAR BENNETT, LLC		41.16	-41.16	IRRIG PUMP REPAIR #10
9 /21 03/04/21 21 10583	-01 9796			2410 GAR BENNETT, LLC		9,958.84	-9,958.84	IRRIG PUMP REPAIR #10
9 /21 03/04/21 21 10583	-02 9796			2410 GAR BENNETT, LLC		670.26	-670.26	CHANGE ORDER 1 ADD FUNDS
TOTAL	REPAIR/MAINT SERVICES				.00	10,670.26	-10,670.26	
TOTAL	GOLF COURSE-CITY				.00	52,579.42	-12,776.61	
TOTAL	GOLF COURSE - CITY				.00	52,579.42	-12,776.61	

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 050 - WATER
BUDGET UNIT - 4250 - WATER

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220									OPERATING SUPPLIES
9 /21	03/04/21	21	10388	-01 9839	5277 VISA PETROLEUM		1,389.08	-1,389.08	DEEP WELL PUMP OIL 55 GAL
9 /21	03/04/21	21	10388	-02 9839	5277 VISA PETROLEUM		421.84	-421.84	NEED ADDITIONAL FUNDING F
9 /21	03/04/21	21	10621	-01 9767	7208 AQUA-METRIC SALE		2,032.00	-2,032.00	AR3-CFG-13080 - ARCHER 3
9 /21	03/04/21	21	10621	-03 9767	7208 AQUA-METRIC SALE		147.32	-147.32	TAXES
9 /21	03/04/21	21		9783	3022 FIRST BANKCARD		162.54	.00	OFFICE SUPPLIES
9 /21	03/04/21	21		9799	0521 GRAINGER		121.21	.00	SPRAY NOZZLE
9 /21	03/04/21	21		9811	0314 LEMOORE AUTO SUP		59.99	.00	FACE MASKS
TOTAL						.00	4,333.98	-3,990.24	
4220CH									CHLORINE OPERATING SUPPLY
9 /21	03/04/21	21	10365	-06 9833	6058 UNIVAR		893.53	-893.53	CHANGE ODER #5 - ADD FUND
9 /21	03/04/21	21	10365	-06 9833	6058 UNIVAR		1,619.48	-1,619.48	CHANGE ODER #5 - ADD FUND
9 /21	03/04/21	21	10365	-06 9833	6058 UNIVAR		3,910.06	-3,910.06	CHANGE ODER #5 - ADD FUND
TOTAL						.00	6,423.07	-6,423.07	
4230									REPAIR/MAINT SUPPLIES
9 /21	03/04/21	21		9797	0068 GARY V. BURROWS,		44.21	.00	MISCELLANEOUS
TOTAL						.00	44.21	.00	
4310									PROFESSIONAL CONTRACT SVC
9 /21	03/04/21	21		9814	4051 MATSON ALARM CO.		42.50	.00	03/01/2021-03/31/2021
9 /21	03/04/21	21	10414	-01 9802	5814 CITY OF HANFORD		4,025.60	-4,025.60	WATER PORTION
9 /21	03/04/21	21	10682	-01 9767	7208 AQUA-METRIC SALE		2,230.00	-2,230.00	AUTOREAD SOFTWARE SUPPORT
9 /21	03/04/21	21		9793	3022 FIRST BANKCARD		6.00	.00	40 G STREET SCADA INT
TOTAL						.00	6,304.10	-6,255.60	
4320									MEETINGS & DUES
9 /21	03/04/21	21	10690	-01 9829	3040 SWRCB FEES		6,600.00	-6,600.00	CONNECTIONS - 0-1,000
9 /21	03/04/21	21	10690	-02 9829	3040 SWRCB FEES		15,400.00	-15,400.00	CONNECTIONS -1,001 - 5,00
9 /21	03/04/21	21	10690	-03 9829	3040 SWRCB FEES		4,461.60	-4,461.60	CONNECTIONS - - 5,001 -15
TOTAL						.00	26,461.60	-26,461.60	
4340									UTILITIES
9 /21	03/04/21	21		9823	6627 PG&E NON ENERGY		1,116.63	.00	NUCLEAR DECOMMISSION
9 /21	03/04/21	21		9823	6627 PG&E NON ENERGY		51.04	.00	NUCLEAR DECOMMISSIONIN
9 /21	03/04/21	21		9828	0423 SOCALGAS		194.03	.00	01/21/21-02/22/21
9 /21	03/04/21	21		9776	7058 COMCAST		204.69	.00	02/25/21-03/24/21
TOTAL						.00	1,566.39	.00	
4350									REPAIR/MAINT SERVICES
9 /21	03/04/21	21	10439	-01 9803	6858 INDUSTRIAL AUTOM		2,340.00	-2,340.00	CONTROLS ENGINEERING SUPP
9 /21	03/04/21	21	10439	-01 9803	6858 INDUSTRIAL AUTOM		7,540.00	-7,540.00	CONTROLS ENGINEERING SUPP
9 /21	03/04/21	21	10681	-01 9803	6858 INDUSTRIAL AUTOM		5,200.00	-5,200.00	WELL/ BOOSTER STATION REP
TOTAL						.00	15,080.00	-15,080.00	
4380									RENTALS & LEASES

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CITY OF LEMOORE
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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 050 - WATER
BUDGET UNIT - 4250 - WATER

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4380									
9 /21	03/04/21	21		9800	5977 GREATAMERICA FIN		230.06	.00	COPIER/PRINTER
TOTAL						.00	230.06	.00	
TOTAL						.00	60,443.41	-58,210.51	

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CITY OF LEMOORE
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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 050 - WATER
BUDGET UNIT - 4251 - UTILITY OFFICE

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220									
	9 /21	03/04/21	21	9819	5396 OFFICE DEPOT		46.90	.00	BOARD, FORAY/PAPER
	9 /21	03/04/21	21	9819	5396 OFFICE DEPOT		2.55	.00	DESKPAD
TOTAL						.00	49.45	.00	
4380									
	9 /21	03/04/21	21	9800	5977 GREATAMERICA FIN		189.89	.00	COPIER/PRINTER
TOTAL						.00	189.89	.00	
TOTAL						.00	239.34	.00	
TOTAL						.00	60,682.75	-58,210.51	

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 056 - REFUSE
BUDGET UNIT - 4256 - REFUSE

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4230									
	9 /21	03/04/21	21	9811	0314 LEMOORE AUTO SUP		14.56	.00	F I GLOSS WHITE AER
TOTAL						.00	14.56	.00	
4310									
	9 /21	03/04/21	21	10414 -02 9802	5814 CITY OF HANFORD		4,025.60	-4,025.60	REFUSE PORTION
	9 /21	03/04/21	21	10411 -01 9779	6869 WELLS FARGO BANK		654.08	-654.08	TEMP AGENCY (PART TIME HE
	9 /21	03/04/21	21	10411 -01 9779	6869 WELLS FARGO BANK		817.60	-817.60	TEMP AGENCY (PART TIME HE
TOTAL						.00	5,497.28	-5,497.28	
TOTAL					REFUSE	.00	5,511.84	-5,497.28	
TOTAL					REFUSE	.00	5,511.84	-5,497.28	

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 060 - SEWER& STORM WTR DRAINAGE
BUDGET UNIT - 4260 - SEWER

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220					OPERATING SUPPLIES				
9 /21	03/04/21	21		9811	0314 LEMOORE AUTO SUP		8.37	.00	3M ELECTRICAL TAPE
9 /21	03/04/21	21		9811	0314 LEMOORE AUTO SUP		17.15	.00	HEAVY DUTY
9 /21	03/04/21	21		9835	2038 USA BLUEBOOK		63.50	.00	FOR MARKING USA'S SEW
TOTAL					OPERATING SUPPLIES	.00	89.02	.00	
4230					REPAIR/MAINT SUPPLIES				
9 /21	03/04/21	21		9811	0314 LEMOORE AUTO SUP		28.83	.00	BLO-GUN
9 /21	03/04/21	21		9815	5333 MEDALLION SUPPLY		256.82	.00	TIME DELAY FUSE
TOTAL					REPAIR/MAINT SUPPLIES	.00	285.65	.00	
4310					PROFESSIONAL CONTRACT SVC				
9 /21	03/04/21	21	10414	-03 9802	5814 CITY OF HANFORD		4,025.60	-4,025.60	WASTEWATER PORTION
TOTAL					PROFESSIONAL CONTRACT SVC	.00	4,025.60	-4,025.60	
4310LAB					LABS FOR TESTING - PROF				
9 /21	03/04/21	21	10372	-01 9816	6245 MOORE TWINING AS		45.00	-45.00	ANALYTICAL TESTING OF WWT
9 /21	03/04/21	21	10372	-01 9816	6245 MOORE TWINING AS		45.00	-45.00	ANALYTICAL TESTING OF WWT
9 /21	03/04/21	21	10372	-01 9816	6245 MOORE TWINING AS		45.00	-45.00	ANALYTICAL TESTING OF WWT
9 /21	03/04/21	21	10372	-01 9816	6245 MOORE TWINING AS		215.00	-215.00	ANALYTICAL TESTING OF WWT
9 /21	03/04/21	21	10372	-01 9816	6245 MOORE TWINING AS		350.00	-350.00	ANALYTICAL TESTING OF WWT
9 /21	03/04/21	21	10372	-01 9816	6245 MOORE TWINING AS		415.00	-415.00	ANALYTICAL TESTING OF WWT
TOTAL					LABS FOR TESTING - PROF	.00	1,115.00	-1,115.00	
4340					UTILITIES				
9 /21	03/04/21	21		9822	0363 PG&E		13,538.78	.00	01/20/21-02/18/21
9 /21	03/04/21	21		9822	0363 PG&E		24.64	.00	01/19/21-02/17/21
9 /21	03/04/21	21		9822	0363 PG&E		11.03	.00	12/17/20-01/18/21
9 /21	03/04/21	21		9822	0363 PG&E		12.11	.00	01/19/21-02/17/21
TOTAL					UTILITIES	.00	13,586.56	.00	
4380					RENTALS & LEASES				
9 /21	03/04/21	21		9800	5977 GREATAMERICA FIN		79.44	.00	COPIER/PRINTER
TOTAL					RENTALS & LEASES	.00	79.44	.00	
TOTAL					SEWER	.00	19,181.27	-5,140.60	

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

PAGE NUMBER: 25
AUDIT11

SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 060 - SEWER& STORM WTR DRAINAGE
BUDGET UNIT - 5308 - CEDAR LIFT STATION

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4317									
9 /21	03/04/21	21	10331	-02 9806	7173 JT2 INC.		1,995.00	-1,995.00	AWARDED AT COUNCIL 5-5-20
TOTAL						.00	1,995.00	-1,995.00	
TOTAL						.00	1,995.00	-1,995.00	
TOTAL						.00	21,176.27	-7,135.60	

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

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AUDIT11

SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 085 - PBIA
BUDGET UNIT - 4270 - PBIA

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220									
9 /21	03/04/21	21		9789	3022 FIRST BANKCARD		10.73	.00	GARDEN STAKES
TOTAL						.00	10.73	.00	
TOTAL						.00	10.73	.00	
TOTAL						.00	10.73	.00	

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

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AUDIT11

SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 160 - 2016 BOND FUND
BUDGET UNIT - 5202 - TTHM PROJECT

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4310									
9 /21	03/04/21	21	10423	-01 9836	7071 VANIR CONSTRUCTI		2,530.00	-2,530.00	PROJECT MANAGEMENT TTHM-
TOTAL						.00	2,530.00	-2,530.00	
TOTAL						.00	2,530.00	-2,530.00	
TOTAL						.00	2,530.00	-2,530.00	

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

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AUDIT11

SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 401 - PUBLIC SAFETY DISPATCH
BUDGET UNIT - 5712A - REGIONAL DISPATCH CENTER

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4310									
9 /21	03/04/21	21	10443	-02 9816	6245 MOORE TWINING AS		150.00	-150.00	MATERIAL INSPECTION AND T
TOTAL						.00	150.00	-150.00	
TOTAL						.00	150.00	-150.00	
TOTAL						.00	150.00	-150.00	
TOTAL						.00	150.00	-150.00	
TOTAL						.00	270,102.48	-189,881.21	

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CITY OF LEMOORE
GENERAL LEDGER TRANSACTION ANALYSIS

PAGE NUMBER: 1
AUDIT311

SELECTION CRITERIA: account.acct between '2000' and '2999'AND transact.yr='21' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 001 - GENERAL FUND

ACCOUNT	DATE	T/C	REFERENCE	VENDOR/PAYER	DEBIT	CREDIT	DESCRIPTION
2020			ACCOUNTS PAYABLE				
9 /21	03/04/21	21	9813	T493 LHS BAND BOOSTERS		100.00	FY21-(REFUND)CK#67722
9 /21	03/04/21	21	9777	2399 DEPARTMENT OF JUSTIC		132.00	FINGERPRINTS
9 /21	03/04/21	21	9773	5685 CALIFORNIA BUILDING		214.00	OCTOBER-DECEMBER 2020
TOTAL			ACCOUNTS PAYABLE		.00	446.00	
2243			CALIF.BSASF. SB1473				
9 /21	03/04/21	21	9773	5685 CALIFORNIA BUILDING	214.00		OCTOBER-DECEMBER 2020
TOTAL			CALIF.BSASF. SB1473		214.00	.00	
2285			LIVE SCAN DEPOSITS--PD				
9 /21	03/04/21	21	9777	2399 DEPARTMENT OF JUSTIC	132.00		FINGERPRINTS
TOTAL			LIVE SCAN DEPOSITS--PD		132.00	.00	
2315			SUSPENSE				
9 /21	03/04/21	21	9813	T493 LHS BAND BOOSTERS	100.00		FY21-(REFUND)CK#67722
TOTAL			SUSPENSE		100.00	.00	
TOTAL			GENERAL FUND		446.00	446.00	

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CITY OF LEMOORE
GENERAL LEDGER TRANSACTION ANALYSIS

PAGE NUMBER: 2
AUDIT311

SELECTION CRITERIA: account.acct between '2000' and '2999'AND transact.yr='21' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 090 - TRUST & AGENCY

ACCOUNT	DATE	T/C	REFERENCE	VENDOR/PAYER	DEBIT	CREDIT	DESCRIPTION
2020			ACCOUNTS PAYABLE				
9 /21	03/04/21	21 9778		0819 DEPT. OF CONSERVATIO		468.00	OCTOBER-DECEMBER 2020
TOTAL			ACCOUNTS PAYABLE		.00	468.00	
2256			STRONG MOTION				
9 /21	03/04/21	21 9778		0819 DEPT. OF CONSERVATIO	468.00		OCTOBER-DECEMBER 2020
TOTAL			STRONG MOTION		468.00	.00	
TOTAL			TRUST & AGENCY		468.00	468.00	
TOTAL REPORT					914.00	914.00	

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CITY OF LEMOORE
REVENUE TRANSACTION ANALYSIS

PAGE NUMBER: 1
AUDIT31

SELECTION CRITERIA: transact.yr='21' and transact.account between '3000' and '3999' and transact.batch='VM030521'
ACCOUNTING PERIOD: 9/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 001 - GENERAL FUND

ACCOUNT	DATE	T/C	RECEIVE	REFERENCE	PAYER/VENDOR	BUDGET	RECEIPTS	RECEIVABLES	DESCRIPTION
3876A	CBSASRF	SB1473	ADMIN						
9 /21	03/04/21	210		9773	5685 CALIFORNIA BUILDI		21.40		OCTOBER-DECEMBER 2020
TOTAL	CBSASRF	SB1473	ADMIN			.00	21.40	.00	
TOTAL	GENERAL	FUND				.00	21.40	.00	
TOTAL	GENERAL	FUND				.00	21.40	.00	
TOTAL	REPORT					.00	21.40	.00	