



LEMOORE CITY COUNCIL
COUNCIL CHAMBER
429 C STREET
April 20, 2021

AGENDA

Please silence all electronic devices as a courtesy to those in attendance. Thank you.

5:30 p.m. STUDY SESSION

SS-1 Water, Wastewater and Storm Drain Master Plan Updates (Rivera)

CLOSED SESSION

This item has been set aside for the City Council to meet in a closed session to discuss matters pursuant to Government Code Section 54956.9(d)(4). The City Attorney will provide an oral report regarding the Closed Session at the beginning of the next regular City Council meeting.

1. Conference with Labor Negotiator
Government Code Section 54957.6
Agency Designated Representatives: Mary Lerner, City Attorney and Michelle Speer, Assistant City Manager
Employee Organizations: General Association of Service Employees, Lemoore Police Officers Association, Lemoore Police Sergeants Unit, Police Professional Services Bargaining Unit, Unrepresented

7:30 pm REGULAR SESSION

- a. CALL TO ORDER
- b. INVOCATION
- c. PLEDGE OF ALLEGIANCE
- d. ROLL CALL
- e. CLOSED SESSION REPORT
- f. AGENDA APPROVAL, ADDITIONS, AND/OR DELETIONS

PUBLIC COMMENT

Public comment will be in accordance with the attached policy. This time is reserved for members of the audience to address the City Council on items of interest that are not on the Agenda and are within the subject matter jurisdiction of the Council. It is recommended that speakers limit their comments to three (3) minutes each and it is requested that no comments be made during this period on items on the Agenda. The Council is prohibited by law from taking any action on matters discussed that are not on the Agenda. Prior to addressing the Council, any handouts for Council will be provided to the City Clerk for distribution to the Council and appropriate staff.

CEREMONIAL / PRESENTATION – Section 1

No Ceremonial / Presentations

DEPARTMENT AND CITY MANAGER REPORTS – Section 2

2-1 Department & City Manager Reports

CONSENT CALENDAR – Section 3

Items considered routine in nature are placed on the Consent Calendar. They will all be considered and voted upon in one vote as one item unless a Council member or member of the public requests individual consideration.

- 3-1 Approval – Minutes – Regular Meeting – April 6, 2021
- 3-2 Approval – Second Reading – Resolution 2021-06 and Ordinance 2021-02, approving Planned Unit Development No. 2020-03, Fairway Courtyards Tentative Subdivision Map No. 2020-02, and Major Site Plan Review No. 2020-05
- 3-3 Approval – Budget Amendment – Technical Planning Services

PUBLIC HEARINGS – Section 4

Report, discussion and/or other Council action will be taken.

- 4-1 Public Hearing – First Reading – Resolution 2021-07 – Approving General Plan Amendment No. 2021-01 and Ordinance 2021-03 – Approving Zoning Map Amendment No. 2021-01, Changing The Zoning Map From Parks & Recreation To Professional Office For Property Located At The Northeast Corner Of 19 ½ Avenue And Cedar Lane, In The City Of Lemoore (Brandt)

NEW BUSINESS – Section 5

Report, discussion and/or other Council action will be taken.

No New Business.

BRIEF CITY COUNCIL REPORTS AND REQUESTS – Section 6

6-1 City Council Reports / Requests

ADJOURNMENT

Upcoming Council Meetings

- City Council Regular Meeting, Tuesday, May 4, 2021
- City Council Regular Meeting, Tuesday, May 18, 2021

Agendas for all City Council meetings are posted at least 72 hours prior to the meeting at the Council Chamber, 429 C Street and the Cinnamon Municipal Complex, 711 W. Cinnamon Drive. Written communications from the public for the agenda must be received by the City Clerk's Office no less than seven (7) days prior to the meeting date. The City of Lemoore complies with the Americans with Disabilities Act (ADA of 1990). The Council Chamber is accessible to the physically disabled. Should you need special assistance, please call (559) 924-6744, at least 4 business days prior to the meeting.

PUBLIC NOTIFICATION

I, Marisa Avalos, City Clerk for the City of Lemoore, declare under penalty of perjury that I posted the above City Council Agenda for the meeting of April 20, 2021 at Council Chamber, 429 C Street and Cinnamon Municipal Complex, 711 W. Cinnamon Drive, Lemoore, CA on April 16, 2021.

Marisa Avalos, City Clerk

CITY OF LEMOORE
CITY COUNCIL REGULAR MEETING
APRIL 20, 2021 @ 5:30 p.m.

Attendance and Public Comment Changes Due to COVID-19

The Lemoore City Council will be conducting its regular meeting on April 20, 2021. Given the current Shelter-In-Place covering Kings County and the Social Distance Guidelines issued by Federal, State, and Local Authorities, the City is implementing the following changes for attendance and public comment.

All upcoming regular and special City Council meetings **will be open to fifteen (15) members of the public on a first come, first served basis and via Zoom.** The meeting may be viewed through the following options:

- Join Zoom Meeting
- Please click the link below to join the webinar:
• <https://zoom.us/j/95075427685?pwd=WXZwZVhZUDNISGxCRDYVnRHcXIHZz09>
- Meeting ID: 950 7542 7685
- Passcode: 773755
- Phone: +1 669 900 6833

The City will also provide links to streaming options on the City's website and on its Facebook page.

If you wish to make a general public comment or public comment on a particular item on the agenda, **participants may do so via Zoom during the meeting** or by **submitting public comments by e-mail to: cityclerk@lemoore.com**. In the subject line of the e-mail, please state your name and the item you are commenting on. If you wish to submit a public comment on more than one agenda item, please send a separate e-mail for each item you are commenting on. Please be aware that written public comments, including your name, may become public information. Additional requirements for submitting public comments by e-mail are provided below.

General Public Comments & Comments on City Council Business Items

For general public comments and comments regarding specific City Council Business Items, public comments can be made via Zoom during the meeting or all public comments must be received by e-mail no later than 5:00 p.m. the day of the meeting. Comments received by this time will be read aloud by a staff member during the applicable agenda item, provided that such comments may be read within the normal three (3) minutes allotted to each speaker. Any portion of your comment extending past three (3) minutes may not be read aloud due to time restrictions. If a general public comment or comment on a business item is received after 5:00 p.m., efforts will be made to read your comment into the record. However, staff cannot guarantee that written comments received after 5:00 p.m. will be read. All written comments that are not read into the record will be made part of the meeting minutes, provided that such comments are received prior to the end of the City Council meeting.

Public Hearings

For public comment on a public hearing, all public comments must be received by the close of the public hearing period. All comments received by the close of the public hearing period will be read aloud by a staff member during the applicable agenda item, provided that such comments may be read within the normal three (3) minutes allotted to each speaker. Any portion of your comment extending past three (3) minutes may not be read aloud due to time restrictions. If a comment on a public hearing item is received after the close of the public hearing, such comment will be made part of the meeting minutes, provided that such comment is received prior to the end of the meeting.

PLEASE BE AWARE THAT ANY PUBLIC COMMENTS RECEIVED THAT DO NOT SPECIFY A PARTICULAR AGENDA ITEM WILL BE READ ALOUD DURING THE GENERAL PUBLIC COMMENT PORTION OF THE AGENDA.

The City thanks you for your cooperation in advance. Our community's health and safety is our highest priority.



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Staff Report

Item No: SS-1

To: Lemoore City Council

From: Frank Rivera, Public Works Director

Date: April 14, 2021

Meeting Date: April 20, 2021

Subject: Water, Wastewater and Storm Drain Master Plan Updates

Strategic Initiative:

- | | |
|--|--|
| <input type="checkbox"/> Safe & Vibrant Community | <input type="checkbox"/> Growing & Dynamic Economy |
| <input type="checkbox"/> Fiscally Sound Government | <input type="checkbox"/> Operational Excellence |
| <input type="checkbox"/> Community & Neighborhood Livability | <input checked="" type="checkbox"/> Not Applicable |

Proposed Motion:

Information Only.

Subject/Discussion:

Jeff Cowart, City Consultant Engineer, and Carollo Engineers will be presenting the Water, Wastewater and Storm Drain Master Plan Updates.

Staff will be bringing this item back for formal approval at a later date.

Financial Consideration(s):

None at this time.

Alternatives or Pros/Cons:

Not Applicable

Commission/Board Recommendation:

Not Applicable

Staff Recommendation:

Not Applicable

Attachments:

- ☐ Resolution:
 - ☐ Ordinance:
 - ☐ Map
 - ☐ Contract
 - ☐ Other
- List:

Review:

- ☒ Asst. City Manager
- ☒ City Attorney
- ☒ City Clerk
- ☒ City Manager
- ☒ Finance

Date:

04/15/2021
04/16/2021
04/16/2021
04/15/2021
04/15/2021

**April 6, 2021 Minutes
Lemoore City Council
Study Session Meeting**

CALL TO ORDER:

At 5:30 p.m., the meeting was called to order.

ROLL CALL: Mayor: LYONS
Mayor Pro Tem: MATTHEWS
Council Members: CHANEY, GORNICK, ORTH

City Staff and contract employees present: City Manager Olson; Assistant City Manager Speer; Police Chief Kendall; Community Development Director Holwell; City Attorney Lerner; City Clerk Avalos.

5:30 pm STUDY SESSION

SS-1 2020 Lemoore Police Department Annual Report (Kendall)

Chief Kendall presented an overview of the 2020 Lemoore Police Department Annual Report which included:

- *Operations Division*
 - *Traffic enforcement saw a decrease*
 - *In 2020 officers issued 1,442 traffic citations*
 - *579 warnings were issued*
 - *Traffic collisions have continued to decrease*
 - *92 DUI arrests – 18 less than 2019*
 - *Calls for service were also decreased*
 - *569 Felony arrests*
 - *Misdemeanor arrests were increased*
- *Sport Division*
 - *Detectives were assigned 230 cases, 134 arrests*
 - *1 homicide in December*
- *Training*
 - *Personnel received approximately 3,800 hours of training*
- *K-9*
 - *Completed yearly certification*
 - *320 training, 128 utilizations*
- *Community Services Officers*
 - *364 Code Enforcement calls for service*
 - *126 for vehicle abatement*
 - *238 for property maintenance*
 - *Animal Control*
 - *1,216 calls for service*
 - *24% increase from the year prior*
- *VIPs*
 - *2,084 hours of service donated in 2020*

He thanked Valerie the Executive Assistant for generating the 2020 Annual Report.

Council adjourned to Closed Session at 5:42 p.m.

CLOSED SESSION

This item has been set aside for the City Council to meet in a closed session to discuss matters pursuant to Government Code Section 54956.9(d)(4). The City Attorney will provide an oral report regarding the Closed Session at the beginning of the next regular City Council meeting.

1. Conference with Labor Negotiator
Government Code Section 54957.6
Agency Designated Representatives: Mary Lerner, City Attorney and Michelle Speer, Assistant City Manager
Employee Organizations: General Association of Service Employees, Lemoore Police Officers Association, Lemoore Police Sergeants Unit, Police Professional Services Bargaining Unit, Unrepresented
2. Government Code Section 54956.9(d)(1)
Conference with Legal Counsel – Existing Litigation
Name of Case: Austin v. City of Lemoore, Kings County Superior Court Case No. 20C-0365
3. Government Code Section 54956.9
Conference with Legal Counsel – Anticipated Litigation
Significant Exposure to Litigation Pursuant to Paragraph (2) or (3) of Subdivision (d) of Section 54956.9
Three Cases

Council adjourned at 7:26 p.m.

**April 6, 2021 Minutes
Lemoore City Council
Regular Meeting**

CALL TO ORDER:

At 7:32 p.m., the meeting was called to order.

ROLL CALL: Mayor: LYONS
Mayor Pro Tem: MATTHEWS
Council Members: CHANEY, GORNICK, ORTH

City Staff and contract employees present: City Manager Olson; Assistant City Manager Speer; City Attorney Lerner; Community Development Director Holwell; Police Chief Kendall; Management Analyst Champion; City Planner Brandt; City Clerk Avalos.

CLOSED SESSION REPORT

Nothing to report out of Closed Session.

AGENDA APPROVAL, ADDITIONS, AND/OR DELETIONS

None.

PUBLIC COMMENT

No Public Comment.

CEREMONIAL / PRESENTATION – Section 1

No Ceremonies / Presentations.

DEPARTMENT AND CITY MANAGER REPORTS – Section 2

Assistant City Manager Speer stated staff is currently in the process of working on the budget for FY 2022. The budget will be on the agenda the first meeting in June for a comprehensive overview. Currently in negotiations with all bargaining units of the City.

Police Chief Kendall stated that he presented the 2020 Annual Report during Study Session. There was a decrease in criminal activity. Members of the public can view the document online. He invited Council and the public to attend a tree dedication in honor of fallen Officer Diaz on April 23, 2021 at Centennial Park in Hanford at 11:00 a.m. Downtown Parking signage project is complete.

City Manager Olson informed Council of the Easter event downtown. He stated that it was a success. There were approximately 500 families that went through Downtown and approximately 30 businesses who participated. He traveled to Washington to visit a potential business who would like to come to Lemoore. The business has since entered into escrow for 3 acres in town. He also made a stop at Harley Davidson who donated the EOW motorcycle to the Police Department. A shadow box was gifted to them from the Lemoore Police Department.

CONSENT CALENDAR – Section 3

- 3-1 Approval – Minutes – Regular Meeting – March 16, 2021
- 3-2 Approval – Minutes – Special Meeting – March 30, 2021
- 3-3 Approval – Budget Adjustment – 2020 Police Motorcycle Up-fit
- 3-4 Approval – Notice of Completion – CIP 5308 Champion Sewer Extension
- 3-5 Approval – Award Contract for Landscape Maintenance for Lighting and Landscape Maintenance District #1
- 3-6 Approval – Award Contract for Landscape Maintenance for Public Facilities Maintenance District #1
- 3-7 Approval – Award Contract for Landscape Maintenance for City Parks
- 3-8 Approval – Renew Contract with Willdan Financial Services for LLMD and PFMD Engineering Services
- 3-9 Approval – Option to Purchase Real Estate Agreement between the City of Lemoore and People's Properties, LLC

Motion by Council Member Orth, seconded by Council Member Gornick, to approve the Consent Calendar as presented.

Ayes: Orth, Gornick, Chaney, Matthews, Lyons

PUBLIC HEARINGS – Section 4

- 4-1 Public Hearing – First Reading – Resolution 2021-06 and Ordinance 2021-02, approving Planned Unit Development No. 2020-03, Fairway Courtyards Tentative Subdivision Map No. 2020-02, and Major Site Plan Review No. 2020-05 (Brandt)

Public Hearing Continued: 7:41 p.m.

Spoke: Matthew Holmes (submitted via email)

Public hearing closed: 7:42 p.m.

Motion by Council Member Orth, seconded by Council Member Gornick, to approve Resolution 2021-06 and waive the first reading of Ordinance 2021-02, with the requirement of a decorative masonry block wall and one-way streets.

Ayes: Orth, Matthews, Chaney, Lyons

Noes: Gornick

NEW BUSINESS – Section 5

No New Business.

BRIEF CITY COUNCIL REPORTS AND REQUESTS – Section 6

- 6-1 City Council Reports / Requests

Council Member Orth thanked Sheila for the awesome Easter event. There were a lot of kids and families. It was good to see after the year. Thanked Police and Fire for all their hard work. Thanked City staff.

Council Member Gornick thanked Chief Kendall for his presentation. It was a great report on the progress the Police Department has done. We are one of the safest cities in the Valley. He would like to see an overview of the LLMD by Council districts and financial conditions of the districts.

Council Member Chaney commended Chief Kendall on a wonderful presentation. He thanked City staff for carrying the City on a day to day basis. We are very lucky.

Mayor Pro Tem Matthews thanked Sheila for the Easter event. She also thanked the businesses and Fire Department for participating. She participated in the escort and unveiling for Hometown Fallen Heroes Memorial Trailer. Officer Diaz, Corporal Giles, MA-3 Tamorez, and Corporal Beau are our local fallen heroes. The Lemoore Fleet Reserve is having an event on April 15th for a COVID relief fundraiser. Lemoore High Sober Grad is going to be free this year. They are accepting donations from the public. She thanked police, fire, staff and employees for all their hard work. She requested to bring forth at a future Council meeting a PUD revision.

Mayor Lyons thanked Chief Kendall for his presentation. He also thanked Assistant City Manager Speer and City Manager Olson for their staff. He thank Sheila and Ray for their hard work for the Easter event and maintenance Downtown. The Fire Department is having Golf Tournament on Monday, April 26th benefiting the Leon S. Peters Burn Center.

ADJOURNMENT

At 8:02 p.m., Council adjourned.

Approved the 20th day of April 2021.

APPROVED:

Stuart Lyons, Mayor

ATTEST:

Marisa Avalos, City Clerk



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Staff Report

Item No: 3-2

To: Lemoore City Council

From: Steve Brandt, City Planner

Date: March 9, 2021 Meeting Date: April 20, 2021

Subject: Second Reading – Resolution 2021-06 and Ordinance 2021-02, approving Planned Unit Development No. 2020-03, Fairway Courtyards Tentative Subdivision Map No. 2020-02, and Major Site Plan Review No. 2020-05.

Strategic Initiative:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Safe & Vibrant Community | <input type="checkbox"/> Growing & Dynamic Economy |
| <input type="checkbox"/> Fiscally Sound Government | <input type="checkbox"/> Operational Excellence |
| <input checked="" type="checkbox"/> Community & Neighborhood Livability | <input type="checkbox"/> Not Applicable |

Proposed Motion:

Conduct the second reading of Ordinance 2021-02, approving Planned Unit Development No. 2020-03, Fairway Courtyards Tentative Subdivision Map No. 2020-02, and Major Site Plan Review No. 2020-05 in accordance with the findings and conditions in the amended Resolution requiring a decorative masonry block wall on the north and west property lines consistent with the City Standards, and one-way streets with direction of streets to be determined by the Public Works Director.

Subject/Discussion:

The applicant proposes to subdivide 4.59 acres into 29 single-family residential lots and three outlots, which contain a small park, a 5-space parking area, and an on-site ponding basin. The project is located approximately 400 feet south of Iona Avenue and on the east side of Vine Street. Proposed access to the subdivision is from Sandtrap and Green Lanes along Vine Street on the site's western boundary. Land use to the immediate north of the site is designated Light Industrial and already supports several commercial moving and storage operations. On the east and south is the Lemoore Municipal Golf Course. To the west, across Vine Street, is the City's wastewater treatment facility.

The minimum lot size is 2,508 square feet, and the maximum lot size is 5,747. The average lot size is 4,337. The applicant has also submitted elevations and floor plans for

four separate home layouts to be built on the lots ranging in size from 867 square feet to 1,551 square feet. Three of the four elevation plans have two different elevation types, ornamentation, and roofline options. The homes are pre-plotted, meaning that a specific floor plan is planned for each lot.

Home Size:	867 sq. ft. to 1,551 sq. ft.
Lot Size:	2,508 sq. ft. to 5,747 sq. ft.
Average Lot Size:	4,337 sq. ft.



Site Location
Fairway Courtyards

Previous Relevant Actions: As per City Resolution No. 2004-48, Tract Map TR 820 – Fairway Courtyards, was previously approved and the final map was recorded, creating 39 lots with 3 outlots on the site. Construction of the infrastructure and roadways began

but were not completed due to unfavorable economic conditions at the time. The original project, a 39-unit multi-family housing project was approved per Planned Unit Development 2004-021, CUP 2004-054 and TSM 2004-043, was passed and adopted by Resolution 2004-48 on September 7, 2004 (Exhibit C).

The previously approved and installed street and utility improvements will be utilized for the new development. The new Planned Unit Development (PUD) and tentative subdivision map will recreate 29 new lots over the 39 existing lots. Therefore, the former project, Planned Unit Development No. 2004-021, and finalized lots (APNs: 024-390-001 through 024-390-042) would be revoked and superseded by the new PUD and tentative subdivision map.

General Plan: The site is designated Low-Medium Density Residential by the General Plan. The proposed residential density is consistent with this General Plan designation. The General Plan allows PUDs to be created in this designation that meet the planned density.

Zoning: The Zoning Map designates the site as Low-Medium Density Residential (RLMD). The proposed use is consistent with the current municipal Zoning ordinance. The Zoning Ordinance allows PUDs to be approved that deviate from the standard minimum lot sizes and building setback standards.

Tentative Subdivision Map: The Tentative Subdivision Map includes 29 total residential lots and 3 outlots consisting of 1.2 acres. The streets servicing the area are Vine Street and Iona Avenue. Local streets are proposed as public streets. They will not comply with current City standards. The City engineer will accept the non-standard streets because they are already partially constructed. To change the project to meet City standard would make the project economically infeasible.

The new map configuration will supersede the previously approved TSM 2004-043 and reconfigure lot layouts for the 29 individual parcels shown.

Major Site Plan Review: The Major Site Plan Review comments dated February 16, 2021 and checklists from the City departments are attached. As noted, the proposed map is consistent with City standards for new subdivisions, as modified by the proposed PUD. A condition has been included in the Resolution to meet the conditions in the site plan comments/checklists.

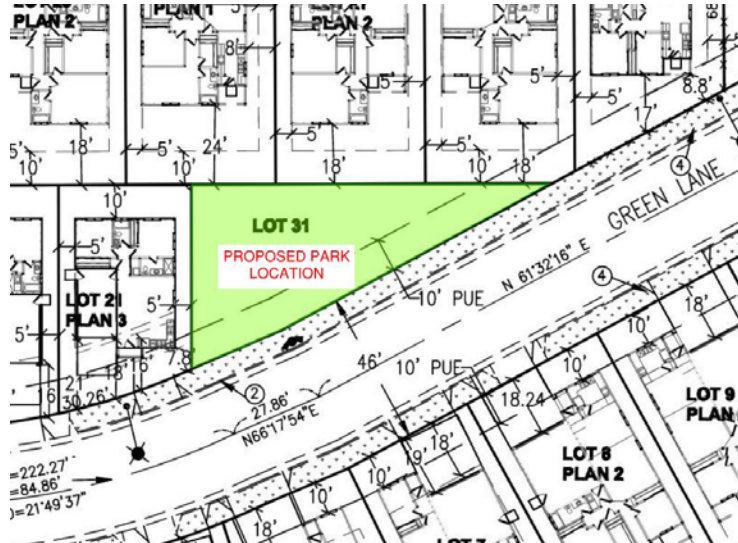
Vehicular and Pedestrian Access: The proposed ingress/egress to the subdivision is via two entrances. One is from Vine Street at Sandtrap Lane and the other is just to the south at Green Lane. These two points of ingress/egress will be one-way streets with direction of streets determined by the Public Works Director, and will provide adequate traffic circulation and access for all 29 residential lots. Parcels adjacent to Vine Street would not have any direct access onto Vine Street. As a collector street under the General Plan designations, the proposed right-of-way of Vine Street would be 60 feet, which is acceptable to the Public Works Department and allowed by the General Plan.

Storm Drainage Basin: The Plan proposes to drain surface and collected stormwater to a basin at the eastern end of the site. The existing basin will be expected to accommodate

all the stormwater runoff from the subdivision. Storm drainage basin calculations for sizing basin will need to be provided to the City.

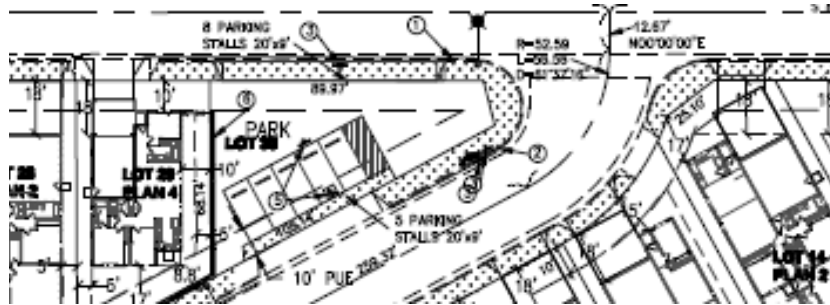
Park: The park, shown on the plan as Lot 31, will be built to City standards by the developer and dedicated to the City when completed. Maintenance will be funded through a public facilities maintenance district (PFMD). The applicant has submitted a concept plan for landscaping of the park. The Planning Commission has recommended the proposed park be ADA compliant and include a minimum of one tot lot play structure suitable for 2-5 year olds, two park benches, one picnic table, shade trees, landscaping and access walk/walks connecting benches, table, play structure and the street. The park and all included equipment shall be approved by the Community Development Director prior to installation. To ensure that the park is available to new residents, Staff is recommending a condition that the park be completed and open for use prior to completion of the 10th home.

The Lemoore Municipal Code requires 0.016 acres per single-family lot to be dedicated as park land with a new subdivision. The 29 lots would require 0.464 acres (or 20,212 sq.ft.) of park acreage. Based on the draft Tentative Subdivision Map submitted November 5, 2020, the park is approximately 3,128 sq.ft. Since the actual landscaped acreage of the park is less than 0.464 acres, the remaining acreage required for the Ordinance shall be provided through an in-lieu fee with the amount based on an appraisal of residentially zoned properties performed by an appraiser approved by the Community Development Director in accordance with City Ordinance Section 8-7N-4. The cost of the appraisal shall be paid by the developer. A condition is being recommended that up to \$7,500 in park in-lieu fees be credited toward the cost of the tot lot play structure.



Park Location

Parking Area: Lot 30 is designated as additional parking for residents and guests. Areas that do not contain pavement shall be landscaped in a manner compatible with the rest of the development.



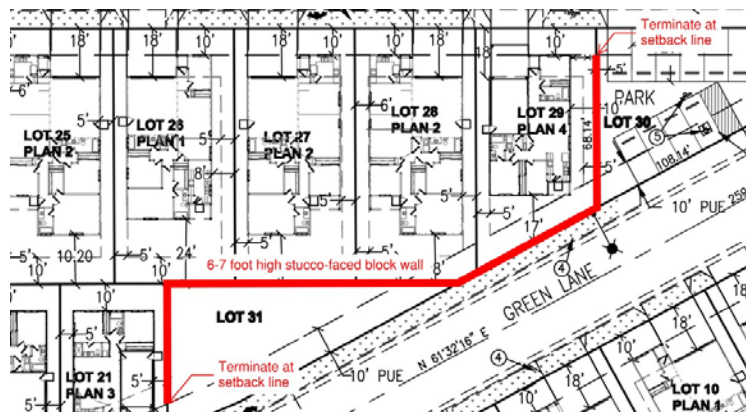
Parking Area

On-street Parking: Because the streets are narrower than City standard, on-street parking will only be allowed on the south side of Green Lane and Sandtrap Lane. The north side of both streets will have red curb for no parking.

Walls & Fences: A minimum 6'8" high decorative masonry block wall shall be installed along the northern boundary line of the subdivision and along Vine Street consistent with other housing subdivisions in Lemoore. The wall shall be constructed per City Standards and include columns and caps.

Fences along the south side of the subdivision, adjacent to the golf course, will be of powder coated wrought iron (or similar approved material) to match the properties with existing fencing currently surrounding the golf course. The wrought iron fencing will also be located between the end of the cul-de-sac and the drainage basin.

An enhanced wood fence separating the residential living spaces from the proposed park and parking lot (Lots 30 and 31) is recommended since the City will be responsible for maintenance of the fence over time. The recommendation is that a continuous concrete mow strip be placed along the fence line, and that the fence posts be constructed of metal or concrete. This will lengthen the fence's lifespan before needing replacement. The fence shall be constructed so that the posts face away from the public view.



Location of enhanced wood fence

Easements: The site plan indicates a proposed 10-foot wide public utility easement (PUE) on all lots adjoining the streets.

Due to the proximity of the wastewater treatment plant, a noise and odor easement needs to be recorded to legally inform buyers of the potential for noise and odor. This easement is required for all new subdivisions in Lemoore due to industrial, aircraft and agricultural activities, but it is especially important because of this project's proximity to the wastewater treatment facility.

Because the subdivision is located adjacent to the golf course, an airspace easement will need to be recorded. This is required to protect the golf course from claims for damage caused by golf ball impacts.

Vine Street Walkway/Bikeway: The City has obtained a grant to construct an off-street walkway/bikeway adjacent to Vine Street extending south of Green Lane adjacent to the golf course property. A condition has been added to continue the walkway/bikeway along the project site between the curb and block wall along Vine Street north of Green Lane.

Water: Water service is provided by a looped line through the subdivision that connects to 12-inch service at Iona Avenue.

Fire Hydrants: The City Fire Department requires the installation of fire hydrants spaced approximately 300 feet apart within the subdivision and shall have adequate fire flow as determined by the City Engineer.

Streetlights: Streetlights will need to be provided along Vine Street and within the development. Streetlights along Vine Street will need to meet the City collector street standards. Streetlights along Sandtrap and Green Lanes will need to meet the City local street standards.

Cluster Mailboxes: The location of the cluster mailbox pads and installation of boxes are the responsibility of the developer and final number and location of the pads shall be coordinated with the Lemoore Postmaster.

Dust Control: Soil disruption during construction can cause significant fugitive dust, which is a major contributor to the current air quality problems in the region. The developer will need to comply with the San Joaquin Valley Air Pollution Control District standards and the City of Lemoore dust control requirements.

Planned Unit Development: The RLMD (Low-Medium Density Residential) zone has a minimum lot size standard of 3,000 square feet as shown in the Lemoore Municipal Code (LMC), Table 9-5A-4A. The applicant has proposed modifications to the development standards, which can be obtained through the approval of a Planned Unit Development (LMC, Title 9, Chapter 9), and would be conditioned on the future adoption of an ordinance by the City Council establishing an overlay zone for the Planned Unit Development. The proposed Planned Unit Development would modify those standards to allow smaller sized lots. The smallest lot would be 1,934 square feet. The average would be 3,750 square feet.

The RLMD (Low-Medium Density Residential) zone typically has a minimum front setback of 20 feet, from the front of the garage, 5 feet side (interior) for single-story homes, 10 feet side (interior) for two-story homes, 15 feet street side, 10 feet rear for single-story

homes, and 10 feet rear for two-story homes, as shown in the Lemoore Municipal Code 9-5A-4A.

The applicant has proposed that the Planned Unit Development modify the standards to allow a change to the required minimum setbacks for this subdivision only. The project proposes minimum setbacks of 10 feet from the property line to front of living space and 18 feet to front of garage.

All the home layouts are single story with garages recessed behind the front living space. Street side setbacks will remain at 15 feet. Interior side setbacks will remain at 5 feet. To accommodate the proposed home plans, Staff is recommending minimum rear setbacks be 10 feet for Lots 15 to 29 and 20 feet for Lots 1 to 14. The homes shown on the plan that do not meet these minimums can be shifted so that the minimums are met. The maximum height of the homes would remain the same as the standards in the zoning ordinance.

The home plans have been designed to fit on the site. While the lot sizes are changing, the desire to utilize the existing partially constructed infrastructure means that lot depths are fixed. The home plans have been designed to fit the proposed front and rear yard setbacks. The following table compares the City's minimum building setbacks in the RLMD zone to the previously approved PUD and the newly proposed PUD.

	Front Setback	Side Setback	Rear Setback
RLMD zone in Zoning Ordinance	Front to Living Space 20' Front to Garage 20'	Interior Side 5' Street Side 15'	10'
Previously Approved PUD	Front to Living Space 10' Front to Garage 10'	Single-story 5' Two-story 7.5'	13'
New Proposed PUD	Front to Living Space 10' Front to Garage 18'	Interior Side 5' Street Side 15'	20' (Lots 1 to 14) 10' (Lots 15 to 29)

As the table above shows, the new PUD proposes similar side and rear setbacks to the City's Zoning Ordinance. The revision proposed by the PUD occurs in the front setback with the front living space having only a 10' setback instead of the required 20' and the garage having an 18' setback as opposed to the required 20'.

Residential Master Home Plans: Review of residential master home plans is part of the Major Site Plan Review process for new residential subdivisions. The architecture of the home plans is depicted in the attached floor plan and elevation plans. Four floor plans were submitted with square footages of between 867 and 1,551 square feet. All the homes are single-story. To be consistent with other subdivisions at the golf course, Staff had recommended that the homes have tile roofs; however, the Planning Commission, after hearing testimony from the applicant, is not making that recommendation, meaning the applicant can choose any type of roofing material.

Plan 1 Models have three bedrooms. There are two possible façade treatments, architectural detail treatments, and roof line options. It has a two-car garage.

Plan 2 Models also have three bedrooms. There are two possible façade treatments, architectural detail treatments, and roof line options. It has a two-car garage.

Plan 3 Model has two bedrooms. There is one possible façade treatment option. It has a one-car garage. Only one of these homes is planned in the neighborhood.

Plan 4 Models have three bedrooms. There are two possible façade treatments, architectural detail treatments, and roof line options. It has a one-car garage.

The Planning Commission reviewed the master home plans and elevations for conformance with Lemoore's Zoning Ordinance Section 9-5C-3 (Design Standards for Residential Projects.) In all, seven different front elevation "looks" would be available to meet the City's "six pack" rule. Since all home elevations are substantially the same (one window and one garage door on either side of a centered front door), staff recommends offering purchasers an "option" to include brick and/or stone facades to further enhance the front elevations.

Illustrations of the floor plans and front elevation plans can be found in the attachments. A comparison of all seven possible elevations is also attached, along with a rendering of a carriage style garage door proposed by the developer.

Utilities and Development Impact Fees: All remaining utilities that do not currently exist on the site, will be installed by the developer. The project is serviced by the existing sewer line along Vine Street. Development impact fees will be paid when the homes acquire their certification of occupancy just prior to move-in.

Environmental Assessment: Because the site was previously partially developed, a Class 32 (Infill) Categorical Exemption was prepared for the project in accordance with the California Environmental Quality Act (CEQA). The previous approvals on the site included the approval of a Negative Declaration. However, it was a less common practice at that time to utilize this particular CEQA exemption.

Financial Consideration(s):

Funding for maintenance for the park, parking area and ponding basin will be incorporated into the Public Facilities Maintenance District.

Alternatives or Pros/Cons:

City Council can recommend modifications or choose to deny the proposal.

Commission/Board Recommendation:

The Planning Commission voted 7-0 to recommend approval at their meeting on March 8, 2021, with the conditions in Resolution 2021-06.

Staff Recommendation:

Staff recommends conducting the second reading of Ordinance 2021-02, recommending approval of Planned Unit Development No. 2020-03, Revision of Fairway Courtyards Tentative Subdivision Map No. 2020-02, and Major Site Plan Review No. 2020-05 in accordance with the findings and conditions in the amended Resolution.

Attachments:

- ☒ Resolution: 2021-06
- ☒ Ordinance: 2021-02
- ☒ Map: See below.
- ☐ Contract
- ☒ Other:

Review:

- ☒ Asst. City Manager
- ☒ City Attorney
- ☒ City Clerk
- ☒ City Manager
- ☒ Finance

Date:

- 04/15/2021
- 04/16/2021
- 04/16/2021
- 04/15/2021
- 04/15/2021

Tentative Subdivision Map No. 2020-02 Revised Map dated 3-1-2021 with corrections noted

Planned Unit Development Site Plan No. 2020-03 Revision No. 7 dated 3-1-2021 with corrections noted

Home Floor Plans and Elevation Plans

Side-by-side Comparison of Elevations

Carriage style garage door

Conceptual Plan of Park

Major Site Plan Review Comments dated February 16, 2021 and checklists

Engineer Comments dated February 25, 2021 (TSM and PUD site plan notes attached.)

CEQA – Notice of Exemption (Findings attached.)

General Plan Land Use Map

Zoning Map

RESOLUTION NO. 2021-06

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LEMOORE APPROVING FAIRWAY COURTYARDS TENTATIVE SUBDIVISION MAP NO. 2020-02 AND SITE PLAN REVIEW NO. 2020-05 TO DIVIDE 4.59 ACRES INTO 29 SINGLE-FAMILY LOTS AND THREE OUTLOTS LOCATED ON THE EAST SIDE OF VINE STREET, APPROXIMATELY 400 FEET SOUTH OF IONA AVENUE, IN THE CITY OF LEMOORE

WHEREAS, Energy Homes Inc. dba G.J. Gardner Homes has requested approval of a Planned Unit Development, Tentative Subdivision Map and a Major Site Plan Review to divide 4.59 acres into 29 single-family lots and three outlots, and for approval of new single-family home master plans, located on the east side of Vine Street, approximately 400 feet south of Iona Avenue in the City of Lemoore (Currently APN: 024-390-001, -002, -003, -004, -005, -006, -007, -008, -009, -010, -011, -012, -013, -014, -015, -016, -017, -018, -019, -020, -021, -022, -023, -024, -025, -026, -027, -028, -029, -030, -031, -032, -033, -034, -035, -036, -037, -038, -039, -040, -041, -042); and

WHEREAS, the proposed site is 4.59 acres in size and is zoned Low-Medium Density Residential; and

WHEREAS, the project has been determined to be Categorically Exempt for CEQA based on the Class 32 Infill Exemption; and

WHEREAS, the Lemoore Planning Commission held a duly noticed public hearing at its March 8, 2021, meeting, which had been continued from February 22, 2021, and voted 7-0 to recommend approval of the planned unit development, tentative subdivision map, and major site plan review, with conditions.

WHEREAS, the Lemoore City Council held a duly noticed public hearing at its March 16, 2021, Regular Meeting. The hearing was continued to the April 6, 2021, meeting with the public hearing still open.

NOW THEREFORE, BE IT RESOLVED that the City Council of the City of Lemoore hereby makes the following findings regarding the proposed projects, based on facts detailed in the March 16, 2021, staff report, which is hereby incorporated by reference, as well as the evidence and comments presented during the Public Hearing held on March 16, 2021, and April 6, 2021:

1. The proposed project consists of one-story single-family homes with public streets and a park, parking area, and drainage basin that will be maintained by a Public Facilities Maintenance District (PFMD).
2. The project is consistent with the General Plan goals, policies, and implementation programs of the City.
3. The Planned Unit Development (PUD) is compatible and in conformity with public convenience, general welfare, and good land use and zoning practice. The PUD provides

for alternative development standards that will increase the density of the site while avoiding negative impacts.

4. The PUD will not be detrimental to the health, safety, and general welfare of the City.
5. The PUD will not adversely affect the orderly development of property or the preservation of property values as the project involves the development of well-designed single-family homes.
6. The Tentative Subdivision Map is consistent with the General Plan and all applicable provisions of the Zoning Code, once approved as part of the PUD.
7. The proposed project will not be substantially detrimental to adjacent property and will not materially impair the purposes of the Zoning Ordinance or the public interest.
8. As proposed and conditioned herein, the site design of the project is consistent with the residential development standards in the Zoning Ordinance, as modified by the Planned Unit Development.
9. The proposed project is consistent with the objectives of the General Plan and complies with applicable zoning regulations, including the proposed overlay zone for the Planned Unit Development, specific plan provisions, and improvement standards adopted by the City.
10. The proposed architecture, site design, and landscape are suitable for the purposes of the buildings and the site and will enhance the character of the neighborhood and community.
11. The architecture, character, and scale of the buildings and the site are compatible with the character of buildings on adjoining and nearby properties.
12. The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.
13. The project's lot sizes are consistent with densities in the General Plan and are appropriate for this site.

BE IT FURTHER RESOLVED that the City Council of the City of Lemoore approves Fairway Courtyards Tentative Subdivision Map No. 2020-02 and Site Plan Review No. 2020-05 subject to the following conditions, and intends to approve Planned Unit Development No. 2020-03 by separate ordinance.

1. The site shall be developed consistent with the approved Tentative Subdivision Map, as modified by the Planned Unit Development, these conditions, staff report dated March 9, 2021, and applicable development standards found in the Zoning Ordinance and Lemoore Municipal Code.
2. The site shall be developed consistent with the Site Plan Review comments in the March 9, 2021 staff report, along with the attached department checklists.
3. The project shall be developed and maintained in substantial compliance with the Tentative Subdivision Map, except for any modifications that may be needed to meet these conditions of approval.

4. The final subdivision map shall be submitted in accordance with City ordinances and standards.
5. Plans for all public and private improvements, including but not limited to, water, sewer, storm drainage, road pavement, curb and gutter, sidewalk, streetlights, landscaping, and fire hydrants shall be approved by the City Engineer. These improvements shall be completed in accordance with the approved plans to the satisfaction of the Public Works Department. The streets shall be signed for one-way traffic movement. The Public Works Director shall determine the direction, with input from the Police Department.
6. The ponding basin and storm drainage improvements shall be designed and constructed per the Site Plan Review comments and City Improvement Standards.
7. The park shall be constructed and opened to the public for use prior to the final inspection of the 10th new home constructed. Development of the park shall include at least one tot lot play structure suitable for 2-5 year olds, two benches, one picnic table, shade trees, landscaping and ADA access to all amenities. The acreage of the park area shall be counted toward park land dedication requirements in Section 8-7N-4 of the City Municipal Code.
8. Park in-lieu fees are required pursuant to Section 8-7N-4. Up to \$7,500 of the estimated cost to install the 2-5 year old tot lot play structure may serve as a credit against in-lieu fees. Proposed park amenities and estimated costs shall be submitted, reviewed, and approved by the Community Development Director during the preparation and acceptance of the project's required subdivision improvement agreement. Any appraiser needed to meet the requirements of Section 8-7N-4 shall be acceptable to the Community Development Director. The cost of the appraisal shall be paid by the developer.
9. A public facilities maintenance district shall be formed in conjunction with the Final Subdivision Map acceptance in order to provide the maintenance costs for the park, common landscaping, and other improvements in accordance with existing City policy.
10. The project shall be subject to the applicable development impact fees adopted by resolution of the City Council.
11. In conjunction with approval of the Final Subdivision Map, a noise and odor easement shall be recorded on all lots created to acknowledge the presence of nearby wastewater treatment plant, industry, aircraft, and agriculture, and the right of such uses to continue to emit such noise and odors as are otherwise allowable by law and to ensure that such uses in these areas are not unreasonably hindered by residential users and owners that move in or nearby at a later date.
12. The developer shall comply with the standards, provisions, and requirements of the San Joaquin Valley Air Pollution Control District that relate to the project.
13. A minimum six-foot eight-inch high decorative masonry block wall shall be constructed along the entire length of the north property line north of Sandtrap Lane and along Vine Street. The wall shall be constructed per City standards and include columns and caps.

14. Wood fences adjacent to the Park and Parking Area (Lots 30 and 31) shall include a concrete footing and metal or concrete posts facing away from the public space.
15. Fences along the property line adjacent to the golf course and between the ponding basin and cul-de-sac shall be constructed and maintained with wrought iron fencing to be consistent with existing fences in other nearby golf course developments. Access to the basin will be via two six-foot wide wrought iron swing gates located on the east end of the Sandtrap Lane cul-de-sac at the designated approach apron and immediately adjacent the back of the proposed landscape buffer.
16. Fire hydrant types and locations shall be approved by the Lemoore Volunteer Fire Department.
17. Concrete pads for installation of mailboxes shall be provided in accordance with determinations made by the Lemoore Postmaster.
18. Street trees from the City approved street tree list shall be planted with root barriers as per Public Works Standards and Specifications.
19. Streetlights shall be provided within the project as per City local streetlighting standards.
20. Provide a paved bikeway/walkway with shoulders between the curb and block wall along Vine Street adjacent to the project site north of Green Lane to connect to the City's planned bikeway currently under construction to the south of Green Lane, in accordance with design standards provided by the City Engineer.
21. The sidewalk type along local streets (parkway type or curb adjacent type) shall be consistent throughout all phases of the subdivision, as per City standard.
22. Any existing roadway, sidewalk, or curb and gutter that is damaged during construction shall be repaired or replaced to the satisfaction of the Public Works Department at the developer's expense.
23. All signs shall require a sign permit separate from the building permit.
24. The project and all subsequent uses must meet the requirements found in Section 9-5B-2 of the Zoning Ordinance related to noise, odor, and vibration, and maintenance.
25. Lot sizes less than 3,000 square feet are approved, consistent with the sizes shown on the Tentative Subdivision Map.
26. The project shall be added to Article "B" of Chapter 9 of Title 9 of the Lemoore Municipal Code, and the previously approved PUD shall be stricken and replaced, as follows:

Table 9-9B-3-1

Number	Name	Date Approved	Resolution Number	Average Density Per Gross Acre (du/ac)
2004-04	Coker Ellsworth Golf Course, Tract 752	February 1, 2005	2005-04	3.94
2020-03	GJ Gardner, Fairway Courtyards	~, 2021	2021-06	6.3

Table 9-9B-4-1

Number	Name	Front Setback	Side Setback	Rear Setback
2004-02	Coker Ellsworth Fairway Courtyards, Tract 820	10' minimum	5' and 5' single story/15' combined for 2 story	13' minimum
2020-03	GJ Gardner, Fairway Courtyards	10' to living space 18' to garage	5' interior side 15' street side	20' (lots 1 to 14) 10' (lots 15 to 29)

27. Master home plans shall be substantially consistent to the floor plans and elevations submitted with the Tentative Subdivision Map, unless subsequently modified by the City Council. Detailing used on the front of the home shall be carried around (or wrapped around) to the street side of the home where the side of the home is visible from the public street, such as in front of the fence. Developer to offer purchasers an “option” to include brick and/or stone facades to further enhance the front elevations.
28. The developer shall prepare and record a Declaration of Covenants, Conditions, and Restrictions (CC&R’s). A draft of the CC&R’s shall be reviewed and approved by the Community Development Director prior to recordation and prior to approval of the subdivision agreement.
29. The CC&R’s shall require wrought iron fencing adjacent to golf course property similar to other established fences in nearby golf course developments.
30. The CC&R’s shall include the following wording: The owner hereby reserves an easement, as hereinafter described in the entire airspace over, above, and upon all the lots in the subdivision, including any structures to be built thereon. The said easement shall and may

be used and is intended for the following purposes: The flight of golf balls through the air over said lots. The entry of golf balls upon and/or across said lots, and over the normal and customary use of the remainder parcel as a municipal golf course. Any golf balls entering upon and occupying said parcels shall become the property of the owners of the respective parcels. Nothing herein is intended nor shall be construed to permit entry upon said lots by any person using the neighboring parcel, including, but not limited to, for purposes of retrieval of golf balls. This easement shall not be constructed nor intended as a limitation on construction of improvements on said lots.

31. The CC&Rs shall include the following wording: The owner hereby acknowledges the nearby location of the City of Lemoore Waste Water Treatment Plant, industry, aircraft and agriculture, which have the potential to produce noise and odor.
32. The Tentative Subdivision Map approval shall expire two years from its effective date, unless a Final Subdivision Map is filed or an extension is granted via legislation or by the City, in accordance with the Subdivision Map Act. Expiration dates for the Major Site Plan Review shall run consistent with the expiration date of the Tentative Subdivision Map. The effective date of the Tentative Subdivision Map shall be the date the PUD Ordinance becomes effective, which is 30 days after the Ordinance is adopted.

PASSED AND ADOPTED by the City Council of the City of Lemoore at a Regular Meeting held on 6th day of April 2021 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST:

APPROVED:

Marisa Avalos
City Clerk

Stuart Lyons
Mayor

ORDINANCE NO. 2021-02

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LEMOORE
ADOPTING PLANNED UNIT DEVELOPMENT NO. 2020-03**

THE CITY COUNCIL OF THE CITY OF LEMOORE HEREBY DOES ORDAIN:

SECTION 1. FINDINGS.

- (a) Energy Homes Inc. dba G.J. Gardner Homes has requested approval of a planned unit development.
- (b) The RLMD (Low-Medium Density Residential) zone has a minimum lot size of 3,000 square feet. The applicant has proposed modifications to the development standards, which can be obtained through the approval of a Planned Unit Development (“PUD”).
- (c) This planned unit development will replace Planned Unit Development No. 2004-04, which had been previously adopted on the site.
- (d) On March 8, 2021, the Planning Commission for the City of Lemoore recommended approval of the PUD project, including specific building setback and architectural requirements, subject to approval by the City Council of a zoning overlay for the PUD.
- (e) The proposed PUD would modify the development standards for the RLMD zone to allow smaller sized lots and different building setbacks for this project.
- (f) The building setbacks for the proposed PUD shall be as follows: front yard – 10 feet to the living space, 18 feet to the garage; side yard - 5 feet; street side yard - 15 feet; rear yard – 10 to 20 feet.
- (g) All of the elevations for the homes in the PUD conform to the City’s design standards.
- (h) The site design of the project is consistent with the new residential development standards in the Zoning Ordinance, as modified by the Planned Unit Development.
- (i) Plans for all public and private improvements in the PUD, including but not limited to, water, sewer, storm drainage, road pavement, curb and gutter, sidewalk, street lights, landscaping, and fire hydrants are required to be approved by the City Engineer, and these improvements shall be completed in accordance with the approved plans to the satisfaction of the Public Works Department.
- (j) The proposed PUD would have two vehicular and pedestrian access points; both from Vine Street. The streets shall be one-way, and the direction of the streets shall be determined by the Public Works Director.

- (k) Park land in-lieu fees for the PUD would be paid to the City, prior to the approval of the final map, in accordance with City ordinance and the conditions of approval of the tentative map.
- (l) Fire hydrant types and locations for the PUD would be approved by the Lemoore Volunteer Fire Department.
- (m) Street trees for the PUD would be from the City's approved list and would be planted with root barriers as per Public Works' Standards and Specifications.
- (n) Street lights shall be provided within the project as per City local street lighting standards.
- (o) This ordinance is consistent with the City of Lemoore General Plan, Lemoore Municipal Code and the Zoning Ordinance and would not be detrimental to the public interest, health, safety, convenience, and welfare of the City.
- (p) A Notice of Exemption (Class 32) has been prepared and adopted in accordance with the California Environmental Quality Act (CEQA).

SECTION 2. PLANNED UNIT DEVELOPMENT ESTABLISHMENT.

A planned unit development is hereby established on property located on the east side of Vine Street, approximately 400 feet south of Iona Avenue in the City of Lemoore (Currently APN: 024-390-001, -002, -003, -004, -005, -006, -007, -008, -009, -010, -011, -012, -013, -014, -015, -016, -017, -018, -019, -020, -021, -022, -023, -024, -025, -026, -027, -028, -029, -030, -031, -032, -033, -034, -035, -036, -037, -038, -039, -040, -041, -042); The official Zoning Map shall be amended to reflect this change.

SECTION 3. AMENDMENT OF CODE: ADOPTION OF PLANNED UNIT DEVELOPMENT OVERLAY ZONES

Article "B" of Chapter 9 of Title 9 of the Lemoore Municipal Code is amended as follows:

Table 9-9B-3-1, containing the adopted PUD overlay zones, is hereby amended to delete the previous PUD and add PUD 2020-03:

Number	Name	Date Approved	Resolution Number	Average Density Per Gross Acre (du/ac)
2004-04	Coker Ellsworth Golf Course, Tract 752	February 1, 2005	2005-04	3.94
2020-03	GJ Gardner, Fairway Courtyards	~, 2021	2021-XX	6.3

Table 9-9B-4-1, containing specific development standards in the adopted PUD overlay zones, is hereby amended to delete the previous PUD and add PUD 2020-03:

Number	Name	Front Setback	Side Setback	Rear Setback
2004-02	Coker-Ellsworth Fairway Courtyards, Tract 820	10' minimum	5' and 5' single story/15' combined for 2 story	13' minimum
2020-03	GJ Gardner, Fairway Courtyards	10' to living space 18' to garage	5' interior side 15' street side	20' (lots 1 to 14) 10' (lots 15 to 29)

SECTION 4. SEVERABILITY.

If any provision of this ordinance is declared unlawful by a court of competent jurisdiction, the City Council intends that the remaining provisions of this ordinance remain in effect.

SECTION 5. EFFECTIVE DATE.

The ordinance codified herein shall take effect and be in full force and effect from and after thirty (30) days after its final passage and adoption. Within fifteen (15) days after its adoption, the ordinance codified herein, or a summary of the ordinance codified herein, shall be published once in a newspaper of general circulation.

The foregoing Ordinance was introduced at a regular meeting of the City Council of the City of Lemoore held on the 6th day of April 2021 and was passed and adopted at a regular meeting of the City Council held on the 20th day of April 2021 by the following vote:

AYES:

NOES:

ABSTAINING:

ABSENT:

ATTEST:

APPROVED:

Marisa Avalos, City Clerk

Stuart Lyons, Mayor

TENTATIVE SUBDIVISION MAP OF ~~TRACT NO. 2020-02~~ FAIRWAY COURTYARDS

CITY OF LEMOORE, COUNTY OF KINGS, CALIFORNIA



SURVEYED AND PLOTTED BY:
Harbison International, Inc.
Engineers - Surveyors - Planners

2755 E. Shaw Ave., Suite 101, Fresno CA 93710, USA
P.H. (559) 294-7485 FAX (559) 294-7481

FEB. 2021
SHEET 1 OF 1 SHEETS

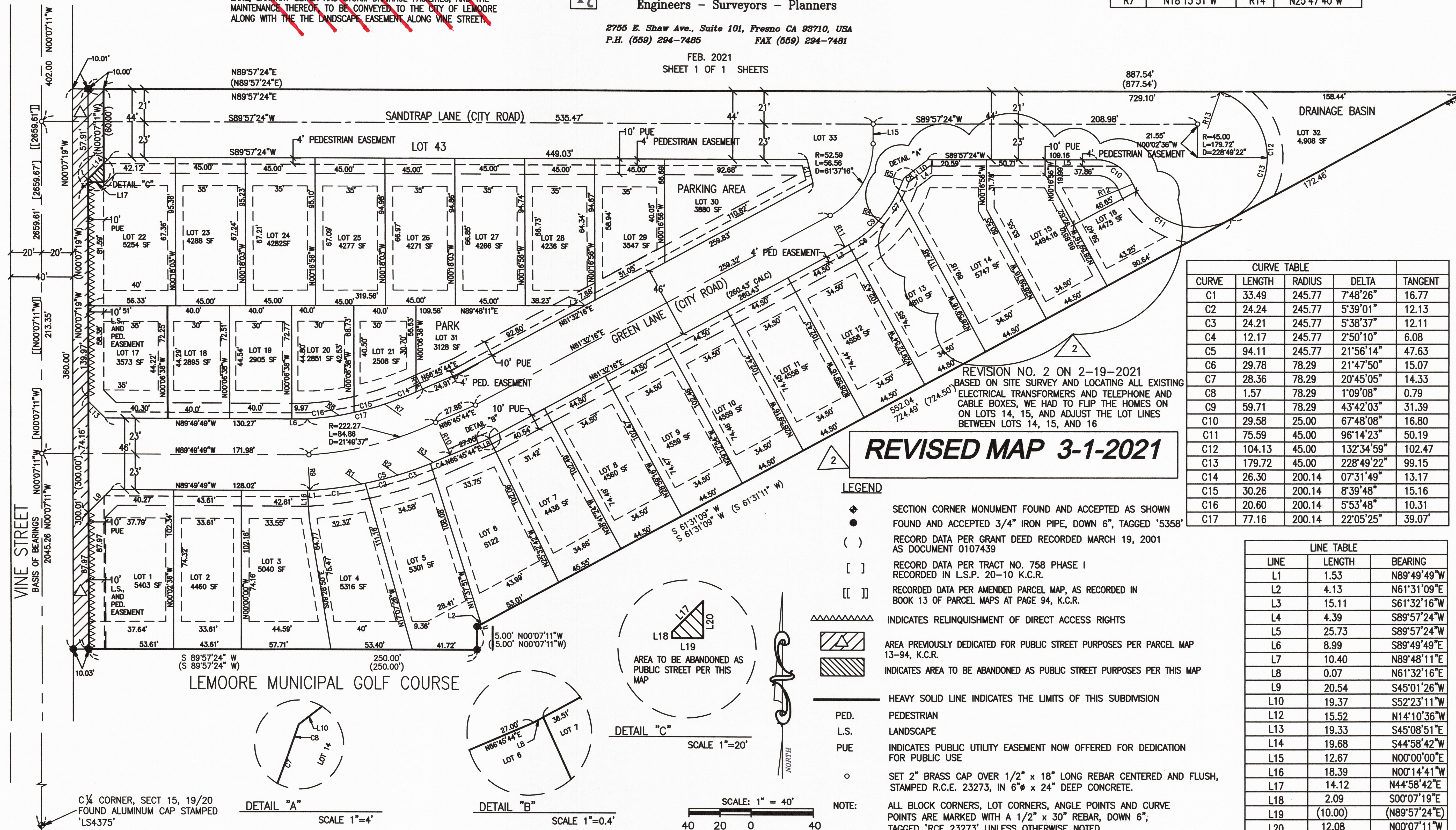
NOTES

LOT 30 AND 31 ARE TO BE USED AS COMMON AREA FOR PARKING AND COMMUNITY PARK TO BE DEDICATED TO THE CITY OF LEMOORE

LOT 32 TO BE USED AS A STORM DRAINAGE BASIN BY THIS DEVELOPMENT TO BE DEDICATED TO THE CITY OF LEMOORE

LOT 33 TO BE USED FOR PUBLIC STREETS EASEMENT AND FOR PUBLIC UTILITIES, RECIPROCAL ACCESS AND SIDEWALK EASEMENT, FIRE LANE, SANITARY SEWER AND STORM DRAINAGE FACILITIES, AND THE MAINTENANCE THEREOF TO BE CONVEYED TO THE CITY OF LEMOORE ALONG WITH THE LANDSCAPE EASEMENT ALONG VINE STREET.

RADIAL TABLE			
LINE	BEARING	R8	N09°36'03"W
R1	N11°14'24"W	R9	N03°25'58"W
R2	N16°53'25"W	R10	N25°22'12"E
R3	N22°32'02"W	R11	N27°50'13"E
R4	N49°38'03"W	R12	S67°45'32"W
R5	N70°23'08"W	R13	S18°56'10"W
R7	N18°15'51"W	R14	N25°47'40"W



CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	TANGENT
C1	33.49	245.77	7°48'26"	16.77
C2	24.24	245.77	5°39'01"	12.13
C3	24.21	245.77	5°38'37"	12.11
C4	12.17	245.77	2°50'10"	6.08
C5	94.11	245.77	21°56'14"	47.63
C6	29.78	78.29	21°47'50"	15.07
C7	28.36	78.29	20°45'05"	14.33
C8	1.57	78.29	1°09'08"	0.79
C9	59.71	78.29	43°42'03"	31.39
C10	29.58	25.00	67°48'08"	16.80
C11	75.59	45.00	96°14'23"	50.19
C12	104.13	45.00	132°34'59"	102.47
C13	179.72	45.00	228°49'22"	99.15
C14	26.30	200.14	07°31'49"	13.17
C15	30.26	200.14	8°39'48"	15.16
C16	20.60	200.14	5°53'48"	10.31
C17	77.16	200.14	22°05'25"	39.07

REVISED MAP 3-1-2021

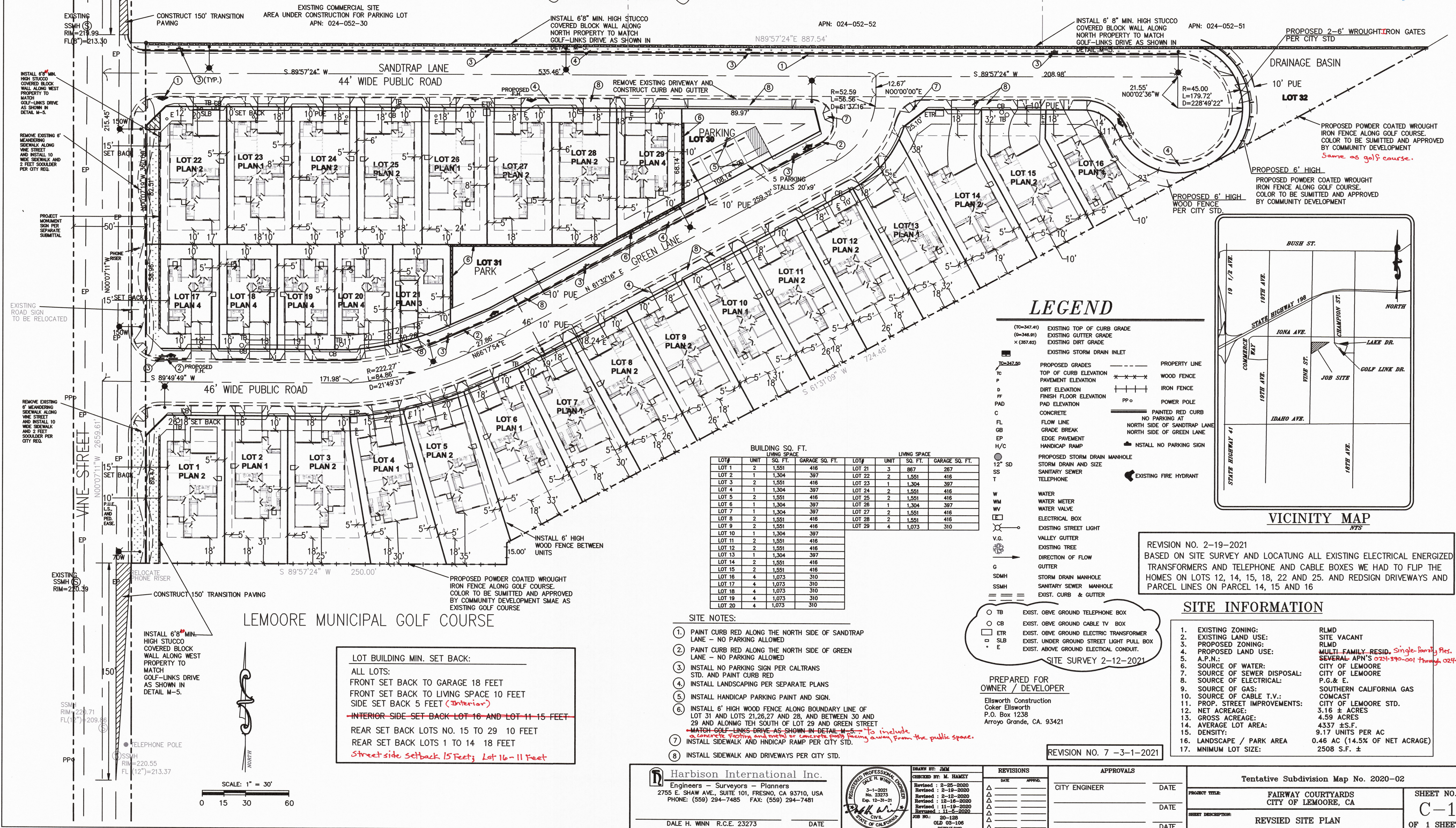
LEGEND

- SECTION CORNER MONUMENT FOUND AND ACCEPTED AS SHOWN
- FOUND AND ACCEPTED 3/4" IRON PIPE, DOWN 6", TAGGED '5358'
- RECORD DATA PER GRANT DEED RECORDED MARCH 19, 2001 AS DOCUMENT 0107439
- RECORD DATA PER TRACT NO. 758 PHASE I RECORDED IN L.S.P. 20-10 K.C.R.
- RECORDED DATA PER AMENDED PARCEL MAP, AS RECORDED IN BOOK 13 OF PARCEL MAPS AT PAGE 94, K.C.R.
- INDICATES RELINQUISHMENT OF DIRECT ACCESS RIGHTS
- AREA PREVIOUSLY DEDICATED FOR PUBLIC STREET PURPOSES PER PARCEL MAP 13-94, K.C.R.
- INDICATES AREA TO BE ABANDONED AS PUBLIC STREET PURPOSES PER THIS MAP
- HEAVY SOLID LINE INDICATES THE LIMITS OF THIS SUBDIVISION
- PED. PEDESTRIAN
- L.S. LANDSCAPE
- PUE INDICATES PUBLIC UTILITY EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE
- SET 2" BRASS CAP OVER 1/2" x 18" LONG REBAR CENTERED AND FLUSH, STAMPED R.C.E. 23273, IN 6" x 24" DEEP CONCRETE.
- NOTE: ALL BLOCK CORNERS, LOT CORNERS, ANGLE POINTS AND CURVE POINTS ARE MARKED WITH A 1/2" x 30" REBAR, DOWN 6", TAGGED 'RCE 23273' UNLESS OTHERWISE NOTED

LINE TABLE		
LINE	LENGTH	BEARING
L1	1.53	N89°49'49"W
L2	4.13	N61°31'09"E
L3	15.11	S61°32'16"W
L4	4.39	S89°57'24"W
L5	25.73	S89°57'24"W
L6	8.99	S89°49'49"E
L7	10.40	N89°48'11"E
L8	0.07	N61°32'16"E
L9	20.54	S45°01'26"W
L10	19.37	S52°23'11"W
L12	15.52	N14°10'36"W
L13	19.33	S45°08'51"E
L14	19.68	S44°58'42"W
L15	12.67	N00°00'00"E
L16	18.39	N00°14'41"W
L17	14.12	N44°58'42"E
L18	2.09	S00°07'19"E
L19	(10.00)	(N89°57'24"E)
L20	12.08	N00°07'11"W

JOB No. 2020-128
DATE: 3-1-2021

RECEIVED
MAR 01 2021
BY: KB



This floor plan shows a 3-bedroom, 2-bath house with a garage and an optional patio. The layout includes:

- Garage:** 10'0" x 20'0" Metal Garage Dr., 8'0" x 12'0" CLG, CONC.
- Entry:** 8'0" x 12'0" CLG, SPC.
- Living Room:** 8'0" x 12'0" CLG, CARPET.
- Dining Room:** 8'0" x 12'0" CLG, SPC.
- Kitchen:** 8'0" x 12'0" CLG, SPC.
- W.C. (Washroom):** 8'0" x 12'0" CLG, CARPET.
- Bath 1:** 8'0" x 12'0" CLG, SPC.
- Bath 2:** 8'0" x 12'0" CLG, SPC.
- Bedroom 1:** 8'0" x 12'0" CLG, CARPET.
- Bedroom 2:** 8'0" x 12'0" CLG, CARPET.
- Bedroom 3:** 8'0" x 12'0" CLG, CARPET.
- Optional Patio:** 8'0" x 12'0" CLG, CONC.

The plan also shows a side bypass, a rear bypass, and a front porch. The overall dimensions are 30'0" x 40'0".

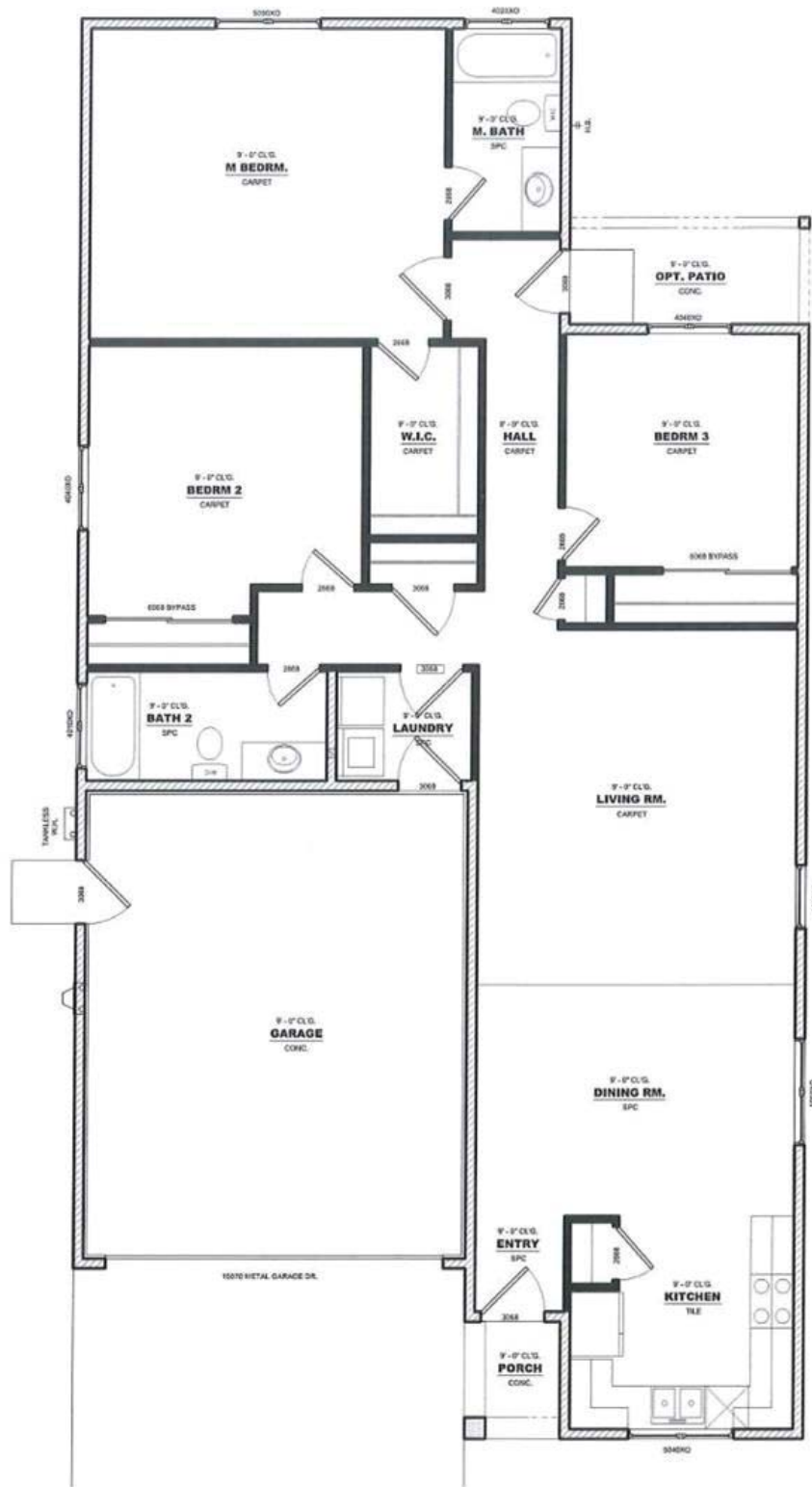
Plan 1
1304 - A elevation



Plan 1
1304 - B elevation



PLAN 2 MODEL



Plan 2
1551-B elevation



Plan 2
1551-A elevation



This floor plan shows a ranch-style house with a total area of 1000 sq. ft. The layout includes a large front porch (8' x 10') leading into a great room (9' x 13') with a fireplace and a kitchen area featuring a stacked washer/dryer. A central hallway provides access to two bedrooms (each 9' x 11'), two bathrooms (each 5' x 7'), and a full garage (9' x 13'). The plan also shows a central living area with a fireplace and a large window, and a rear porch (8' x 10').

Room Details:

- Garage:** 9' x 13' CLG, CONC.
- Great Rm:** 9' x 13' CLG, SPC
- Bath 1:** 5' x 7' CLG, SPC
- Bath 2:** 5' x 7' CLG, SPC
- Bedroom 1:** 9' x 11' CLG, CARPET
- Bedroom 2:** 9' x 11' CLG, CARPET
- Porch:** 8' x 10' CLG, CONC.

Other Features:

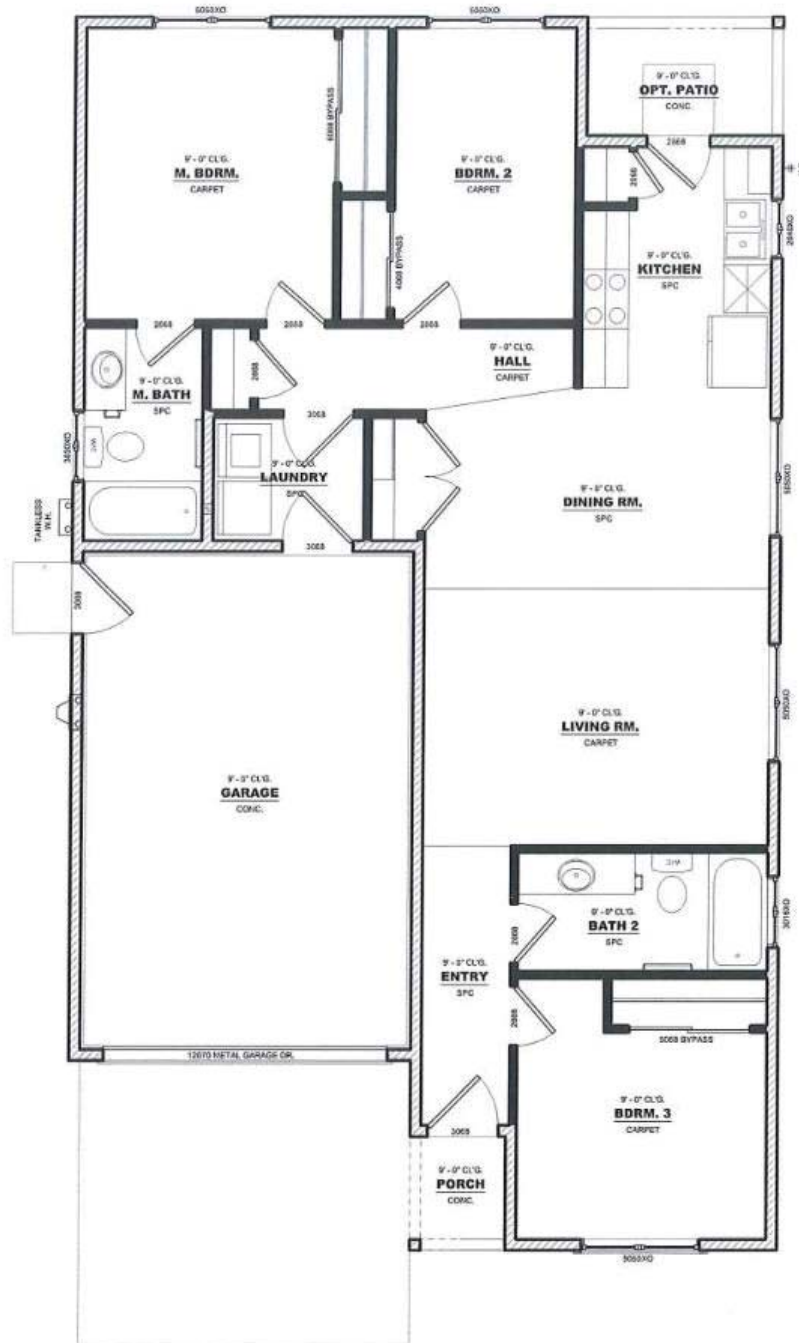
- Stacked W/D (Washer/Dryer)
- Fireplace in Great Room
- Central Living Area with Fireplace and Large Window
- Rear Porch (8' x 10')
- Central Hallway
- Full Garage (9' x 13')

Plan 3

2222 – A elevation



PLAN 4 MODEL



Plan 4
1073 – A elevation



Plan 4
1073 – B elevation



Plan 1
1304 - A elevation



Plan 1
1304 - Belevation



Plan 2
1551 - A elevation



Plan 2
1551 - B elevation



Plan 3



Plan 4
1073 - A Elevation



Plan 4
1073 - B elevation



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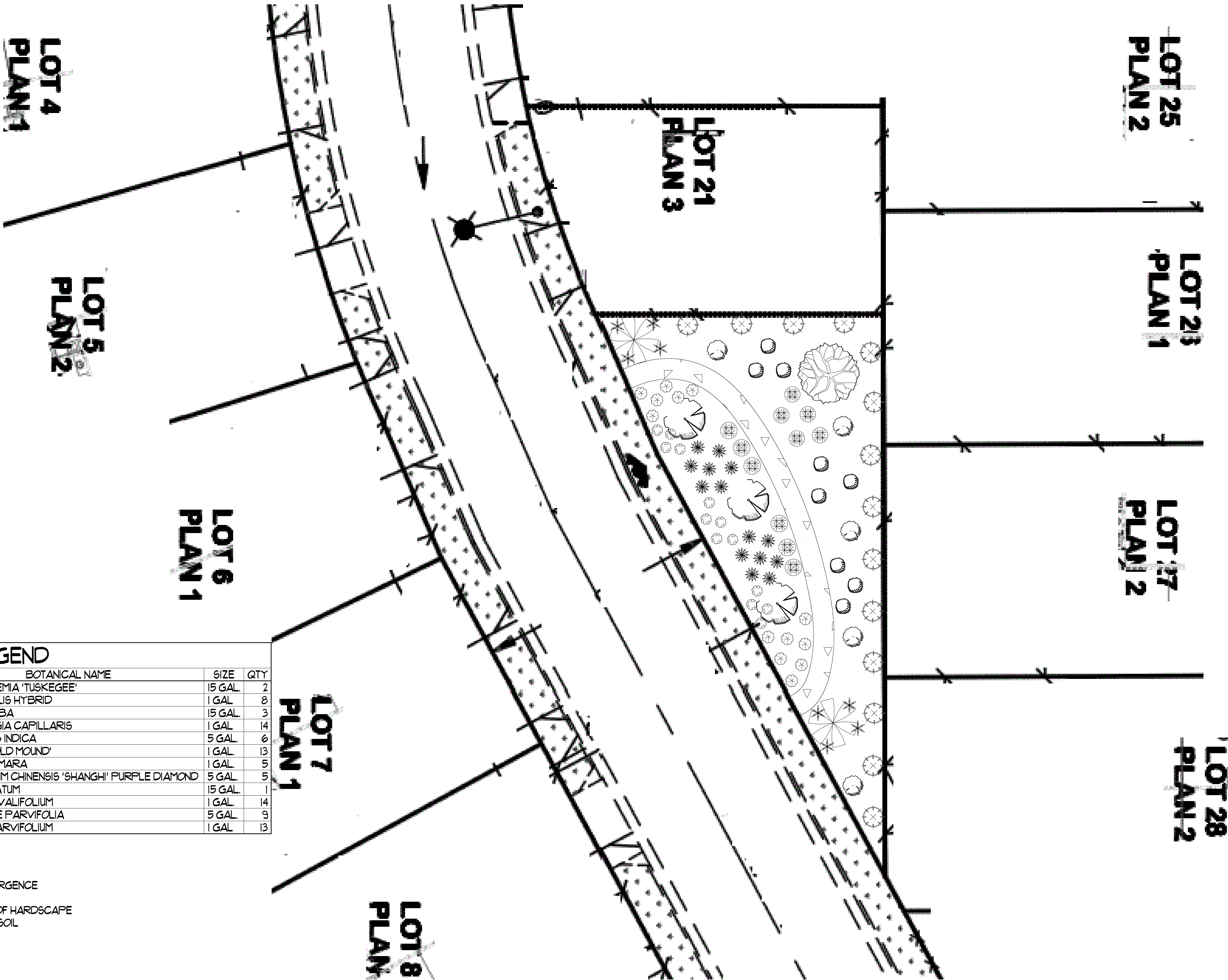
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RAINSCAPE

1222 N. ROSEBURG CT., VISALIA, CA 93291 PHONE: (559) 651-2333

I have complied with the criteria of "MWELQ" and applied them for the efficient use of water in the landscape & irrigation design plan.

SHAWN COOPER *Shawn Cooper* Licensed Landscape Contractor # 318642

RAINSCAPE

1222 N. ROSEBURG CT., VISALIA, CA 93291 PHONE: (559) 651-2333

I CERTIFY THAT I AM ELIGIBLE UNDER PROVISIONS OF APPLICABLE CODES & REGULATIONS TO SIGN THIS DOCUMENT AS THE PERSON RESPONSIBLE FOR ITS PREPARATION & THAT I AM THE LICENSED CONTRACTOR WHO WILL PERFORM THIS WORK.

SHAWN COOPER *Shawn Cooper* DATE 12-31-2020 LICENSE NO. 318642

LEGEND			
	COMMON NAME	BOTANICAL NAME	
✱	CRAPEMYRTLE, PINK-RED	LAGERSTROEMIA 'TUSKEGEE'	SIZE QTY
✱	DAYLILY, STELLA	HEMEROCALLIS HYBRID	1 GAL 8
✱	GINGKO	GINGKO BILOBA	15 GAL 3
✱	GRASS, MULHY PINK	MUHLENBERGIA CAPILLARIS	1 GAL 14
✱	HAWTHORN, INDIAN PRINCESS	RAPHIOLEPIS INDICA	5 GAL 6
✱	LANTANA, GOLDMOUND	LANTANA 'GOLD MOUND'	1 GAL 13
✱	LANTANA, PURPLE	LANTANA CAMARA	1 GAL 5
✱	LOROPETALUM, PURPLE DIAMOND	LOROPETALUM CHINENSIS 'SHANGHI' PURPLE DIAMOND	5 GAL 5
✱	MAPLE, ACER PALMATUM	ACER PALMATUM	15 GAL 1
✱	PRIVET, CALIFORNIA	LIGUSTRUM OVALIFOLIUM	1 GAL 14
✱	YUCCA, RED	HESPERALOE PARVIFOLIA	5 GAL 9
✱	MYOPORIUM	MYOPORIUM PARVIFOLIUM	1 GAL 13

2" COMPACTED DG WITH EDGING

NOTES:
SHRUB AREAS TO RECIEVE 3" MULCH OVER PRE EMERGENCE
ALL TREES TO BE DOUBLED STAKED
ROOTBARRIER REQUIRED FOR ALL TREES WITH IN 8' OF HARDSCAPE
INCORPORATE 6CY COMPOST PER 1000 SQ FT INTO SOIL

Revision #:

Date: 12/31/2020

Scale:

1" = 10'

Landscape Plan: L-1

Fairway Courtyards Park

Landscape Design by: Shawn Cooper

Rainscape



711 W. Cinnamon Drive • Lemoore, CA 93245 • Planning (559) 924-6744
Community Development Department

Site Plan Review

To: GJ Gardner Homes
From: Steve Brandt, City Planner
Date: February 16, 2021
Subject: **Planned Unit Development No. 2020-03, Revision of Fairway Courtyards Tentative Subdivision Map 2020-02, and Major Site Plan Review No. 2020-05:** A request by GJ Gardner Homes to divide 4.59 acres into 29 single-family lots and three outlots. The project is located on the east side of Vine Street, approximately 400 feet south of Iona Avenue in the City of Lemoore (APNs: 024-390-001,-002,-003,-004,-005,-006,-007,-008,-009,-010,-011,-012,-013,-014,-015,-016,-017,-018,-019,-020,-021,-022,-023,-024,-025,-026,-027,-028,-029,-030,-031,-032,-033,-034,-035,-036,-037,-038,-039,-040,-041,-042). A Categorical Exemption has been prepared in accordance with the California Environmental Quality Act.

Building plans shall be submitted based on the following comments.

Any deviation from the approved plans shall require an amendment to the prior approvals or approval of a new permit as determined by the City.

1st Submittal

The site plan is approved with the corrections identified in the attached comments, subject to final approval by the City Council.

Zoning/General Plan:

The proposed use of the site is allowed in the Low-Medium Density Residential zone.

Environmental Review:

The project has been determined to be Categorically Exempt from CEQA (Class 32).

Time Limits:

Unless a condition of approval establishes a different time limit, this permit, if not exercised within

two (2) years of approval, shall expire and become void, except where an extension of time is approved in compliance with Lemoore Municipal Code Section 9-2A-9 subsection C, "Permit Extensions". The exercise of a permit occurs when the applicant or property owner has performed substantial work and incurred substantial liabilities in good faith reliance upon such permit(s).

Attached Comments:

Comments from Planning
Comments from Engineering, with Site Plan notes
Comments from Refuse
Comments from Solid Waste
Comments from Streets Traffic
Comments from Building
Comments from Fire
Comments from Public Safety

PLANNING

Planning/Zoning - The following comments are applicable when checked. Comments in *italics* are specific to the project.

- ☒ General Plan Land Use Element land use designation(s): *Low-Medium Density Residential*
- ☒ General Plan Circulation Element adjacent street(s): *Vine Street is designated an existing Collector Street.*
- ☒ Zoning designation: *Low-Medium Density Residential (RLMD)*
- ☒ Proposed land use: *development of 29-lot single-family residential subdivision and 3 out-lots for a park, parking area and drainage basin.*
- ☒ Allowed use ☐ Not allowed use ☐ Requires a conditional use permit

- ☒ Setbacks and heights:

	Required	Proposed	
Front of building	<i>20 feet with 2-foot stagger from adjacent homes</i>	<i>10 feet min. to living space 20 feet min. garage</i>	<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise
Interior Side	<i>5 feet min.</i>	<i>5 feet min.</i>	<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise
Street Side	<i>15 feet min.</i>	<i>15 feet min.</i>	<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise
Rear	<i>10 feet min.</i>	<i>Lots 1 to 14, 20 feet min. Lots 15 to 29, 10 feet min.</i>	<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise
Height	<i>35 feet max.</i>	<i>35 feet max.</i>	<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise

Minimum 20-foot setback fence at rear of lots fronting onto the municipal golf course to the rear of residential structures for Lots 1 to 14. Modified setbacks to be approved through PUD.

- ☒ Open Space Requirements: *1.2 acres of dedicated out-lots for a park, parking lot and drainage basin.*
- ☒ Off-street Parking required: *2 vehicles per unit required. Seven home plans have 1-car garages. This is offset by 5-space neighborhood parking lot. Additional street parking on cul de sac with no homes fronting on it.*
- ☒ Parking: ☒ Minimum Parking is met. ☐ Parking is needed.
- ☒ Outdoor lighting: *Required in parking area.*

General Lighting Requirements: The requirements listed below shall apply to all outdoor lighting:

- Nuisance Prevention: All outdoor lighting shall be designed, located, installed, and maintained in order to prevent glare, light trespass, and light pollution.
- Shielding: Except as otherwise exempt, all outdoor lighting shall be recessed and/or constructed with full downward shielding in order to reduce light and glare impacts on trespass to adjoining properties and public rights of way. Each fixture shall be directed downward and away from adjoining properties and public rights of way, so that no light fixture directly illuminates an area outside of the project site.
- Level of Illumination: Outdoor lighting shall be designed to illuminate at the minimum level necessary for safety and security and to avoid harsh contrasts in lighting levels between the project site and adjacent properties.

- **Maximum Height Of Freestanding Outdoor Light Fixtures:** The maximum height of freestanding outdoor light fixtures less than ten feet (10') from a property line abutting residential development shall be eighteen feet (18'). Otherwise, the maximum height for freestanding outdoor light structures shall be twenty four feet (24'). Height shall be measured from the finish grade, inclusive of the pedestal, to the top of the fixture. The designated approving authority may allow greater heights upon finding that there are special circumstances that affect the feasibility of meeting this standard.
- **Energy Efficient Fixtures Required:** Outdoor lighting shall utilize energy efficient fixtures and lamps, such as high pressure sodium, metal halide, low pressure sodium, hard wired compact fluorescent, or other lighting technology that is of equal or greater efficiency. All new outdoor lighting fixtures shall be energy efficient with a rated average bulb life of not less than ten thousand (10,000) hours.
- **Accent Lighting:** Architectural features may be illuminated by uplighting, provided that the lamps are low intensity to produce a subtle lighting effect and no glare or light trespass is produced. Wherever feasible, solar powered fixtures should be used.

☒ Elevations: ☒ Approved: *As per recommendations from City Staff* ☐ Revise and resubmit

☒ Fences, walls, and hedges: ☐ Approved ☒ Revise and resubmit: *Proposed fence at front of ponding basin to be changed from chain link to wrought iron matching fence along golf course.*

Add 6-7 foot concrete block wall or wood fence with continuous concrete footing and metal or concrete posts separating public park space from adjoining residences.

Add either 6-7 foot concrete block wall or wood fence separating Vine Street from adjoining residences.

☐ Screening: ☐ Acceptable: ☐ Revise and resubmit

☒ Landscaping: ☒ Plans required at Building Permit submittal ☐ Plans submitted ☐ Revise and resubmit

Landscape Plans will be checked for compliance with MWEL, including but not limited to the following conditions:

- Plan shall include square footages of landscaped area shown, water use calculations, and the material to be utilized.
- Plant water use classifications shall be based on WUCOLS IV.
- All other landscaped areas shown as landscaped shall be landscaped.
- Landscaping shall meet all other applicable requirements of Title 9, Article D1 of the Zoning Ordinance.

Other Landscape requirements:

- *Street trees required on Vine Street frontage.*
- *Street trees required on Sandtrap and Green Lanes.*
- *Climbing vines or other approved screening to be established along the length of the barrier wall at north side property line.*
- *Park shall be ADA compliant and include, one (1) bench, two (2) picnic tables, shade trees, landscaping and access walk connecting tables and benches to the street.*
- *Landscape unpaved areas of designated community parking lot.*

☒ Street trees are required.

☐ Existing address must be changed to be consistent with City address.

Entitlements

☒ Major Site Plan Review is required for this project.

☐ A Use Permit is required for this project.

☐ A Zone Variance is required for this project.

- ☒ A Tentative Subdivision Map is required for this project.
- ☐ A Tentative Parcel Map is required for this project.
- ☐ A Lot Line Adjustment is required for this project. Lot Line Adjustment application is required to be processed simultaneously since building is placed on property line.
- ☐ A Zone Change is required for this project.
- ☐ A General Plan Amendment is required for this project.
- ☒ Other discretionary action required for this project: *Planned Unit Development*

Environmental Technical Documents

- ☐ Air Impact Analysis required.
- ☐ Acoustical Analysis required.
- ☐ Biologic survey required.
- ☐ Cultural Records Search required.
- ☐ Traffic Impact Assessment required.
- ☐ Vehicle Trip Generation Estimates required.
- ☐ Covenant required.
- ☒ Additional comments: *To be consistent with other adjacent golf course developments, Conditions, Covenants and Restrictions (CC&R's) shall be prepared and reviewed by the Community Development Director prior to recordation.*

The CC& R's shall require wrought iron fencing adjacent to golf course property similar to other established fences in nearby golf course developments.

The CC& R's shall include the following wording: The owner hereby reserves an easement, as hereinafter described in the entire airspace over, above, and upon all the lots in the subdivision, including any structures to be built thereon. The said easement shall and may be used and is intended for the following purposes: The flight of golf balls through the air over said lots. The entry of golf balls upon and/or across said lots, and over the normal and customary use of the remainder parcel as a municipal golf course. Any golf balls entering upon and occupying said parcels shall become the property of the owners of the respective parcels. Nothing herein is intended nor shall be construed to permit entry upon said lots by any person using the remainder parcel, including, but not limited to, for purposes of retrieval of golf balls. This easement shall not be constructed nor intended as a limitation on construction of improvements on said lots.

Public Facilities Maintenance District (PFMD) required to provide maintenance funding for lighting, block walls, streets, public parking area, park, drainage basin, common landscape areas, and other items as per City ordinance.

 //s// KB
 Authorized signature

 2-16-2021
 Date

 Steve Brandt, AICP
 Printed name

The following comments are applicable when checked:

- ☒ Submit improvement plans detailing all proposed work
- ☒ Bonds, certificate of insurance, cash payment of fees/inspection, and approved map and plan required prior to approval of Final Map.
- ☒ The Final Map and Improvements shall conform to the Subdivision Map Act, the City of Lemoore's Subdivision Ordinance, Master Plans, Standard Details and Improvement Standards.
- ☐ A preconstruction conference is required prior to the start of any construction.
- ☒ Right-of-way dedication required – Provide 30' ½ street RW on Vine Street and as needed to allow for accessible ramps at Sandtrap Lane and Green Lane. A title report is required for verification of ownership ☒ by map ☐ by deed.
- ☒ City encroachment permit required which shall include an approved traffic control plan.
- ☐ Caltrans encroachment permit required.
- ☒ If sanitary sewer, water and storm drain mains and services are to be maintained by the City, indicate on the plans and provide utility easements for the City of Lemoore to operate and maintain the main lines.
- ☒ Public Facilities Maintenance District (PFMD) and Homeowners Association (HOA) required prior to approval of Final Map. PFMD will maintain public common area landscaping, streetlights, street trees and public right of way as applicable along Vine Street. Submit completed PFMD application and filing fee a minimum of 75 days before approval of Final Map. HOA shall maintain private streets, common areas (such as Lots 30, 31 & 32), and on-site utilities unless otherwise noted. Developer to identify facilities to be maintained through HOA and
- ☒ Landscape and irrigation improvement plans to be submitted for each phase, if phased. Landscape plans will need to comply with the City of Lemoore's street tree ordinance, MWELo requirements and other applicable City ordinances. If phased, a street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting district.
- ☒ Dedicate landscape lots to the City that are to be maintained by the PFMD (along Vine Street only).
- ☐ Written comments required from ditch company.
- ☒ Sanitary Sewer master plan for the entire development shall be submitted for approval prior to approval of any portion of the system. The sewer system will need to be extended to the boundaries of the development where future connection and extension is anticipated. The sewer system will need to be sized to serve any future developments that are anticipated to connect to the system.
- ☒ Grading and drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades.
 - ☒ Prepared by a registered civil engineer or project architect.
 - ☒ All elevations shall be based on the City's benchmark network.Storm run-off from the project shall be handled as follows:
 - ☒ Directed to the City's existing storm drainage system – ***Construct storm drain system and drainage basin per City of Lemoore requirements and the City's Storm Drain Master Plan***
 - ☒ Directed to a permanent on-site basin
 - ☐ Directed to a temporary on-site basin which is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin: _____:_____ maximum side slopes, perimeter fencing required, and provide access ramp to bottom for maintenance.
- ☐ Protect Oak trees during construction.

- ☒ Show adjacent property grade elevations on improvement plans. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.
- ☒ Relocate existing utility poles and/or facilities.
- ☐ Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding.
- ☒ Provide R-value tests; Provide per City requirements, coordinate with the City Engineer; previous Geotech report for Tract 820 may be acceptable
- ☒ Traffic indexes per City standards: Min of 6.0 for Vine St; 5.5 for local/private streets
- ☒ All public streets across project frontage and private streets within project limits shall be improved to their full width, subject to available right-of-way, in accordance with City policies, standards and specifications. ***Construct all private streets to City local street requirements.***
- ☒ All lots shall have separate drive approaches constructed to City Standards.
- ☒ Install street striping as required by the City Engineer.
- ☒ Install sidewalk: 6 ft. wide, with meandering parkway on Vine Street; match City improvements on Vine Street south of Green Lane; remove and replace damaged existing sidewalk;
- ☒ Install sidewalk: 4 ft. min wide, along the private streets to provide access to Vine Street in accordance with City Ordinance
- ☒ Use cluster postal unit and show proposed location on the improvement plans. Provide approval of cluster postal unit by US Postal Service.
- ☐ Subject to existing reimbursement agreement to reimburse prior developer.
- ☒ Construct water mains in the private streets in accordance with City of Lemoore improvement standards.
- ☐ Abandon existing wells per Code; a building permit is required.
- ☐ Remove existing irrigation lines and dispose off-site.
- ☐ Remove existing leach fields and septic tanks.
- ☒ Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air Pollution Control District's Regulation VIII. Copies of any required permits will be provided to the City of Lemoore.
- ☒ The project may be subject to the San Joaquin Valley Air Pollution Control District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City of Lemoore.
- ☒ If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit will be provided to the City of Lemoore.
- ☐ Comply with prior comments
- ☒ Resubmit with additional information – show lot dimensions, show pedestrian access pathway for each residence to Vine Street (such as sidewalk along the private street); Review No Parking along Sandtrap Lane and consider moving it to the north side
- ☐ Redesign required

Additional comments:

1. Developer shall show all existing improvements constructed on-site per the previous Tract 820. Developer shall confirm that any existing improvements intended to be used have been tested and checked to the satisfaction of the City Public Works Director and City Engineer prior to being allowed to remain and be used.
2. Developer shall remove and replace any existing improvements that are not acceptable to the City for use in the development and/or do not match the revised final map and improvement plans.
3. Developer shall be responsible for the disposition of any existing property corners and monuments set per the previous Tract 820 in accordance with the latest edition of the Subdivision Map Act and the Professional Land Surveyors' Act.
4. Lots 18, 19, 20, 21, 28 and 29 do not provide the min. 18' front yard setback shown for all other lots. Show setback to garage especially since there is no parking on the north side of Green Lane. Provide min. distance for vehicle parking in driveway.
5. Verify street name change from Spyglass to Green Lane.
6. Develop all on-site civil improvements per City Standards and ordinances.
7. Water and sewer services and laterals (number, size, and location) per the approved improvement plans for the private streets shall be revised to match the proposed development.
8. All public improvements must be constructed in conformance with the City of Lemoore Standard Plans and Specifications and Planned Unit Development Design Guidelines.
9. Provide design of all public improvements (such as sanitary sewer, storm drainage, water, and streets) in accordance with applicable Master Plans and City standards.
10. The improvement plans for the subdivision must be approved by the City of Lemoore prior to construction.
11. Provide temporary blow-offs at terminating water mains.
12. Local streets shall have a street centerline radius of not less than two hundred feet.
13. Provide fire flow requirements and analysis to show that adequate fire flows can be achieved with submittal of improvement plans. The requirements are 1,500 gpm at 20 psi.
14. Storm drainage basin shall be designed for retention storage requirements. Provide storm drainage basin calculations for sizing basin.
15. Show existing sanitary sewer, storm drainage, water and street infrastructure associated with development.
16. Lowest grade elevation within development shall be 1 foot above high-water level in ponding basin.
17. Fire hydrants to be spaced at a maximum distance of 300 feet.
18. Provide streetlights along the east side of Vine Street and within development.
19. A digital copy of the improvement plans and final map shall be provided to the City upon final approval.
20. Provide adequate transitional paving along the east side of Vine Street in accordance with Caltrans specifications.
21. Relocate all existing utilities underground.
22. Provide lot drainage for City approval.
23. Show water and sanitary sewer service connection points.
24. Provide adequate on-site parking.

☐ No comments. Acceptable as submitted.

 //s// KB
Authorized Signature

 January 11, 2021
Date

 Jeff Cowart, PE, City Engineer
Printed name

SITE PLAN REVIEW COMMENTS



DATE: December 4, 2020

SITE PLAN NO: Major Site Plan Review No. 2020-05

PROJECT TITLE: Fairway Courtyards

DESCRIPTION: Amendment to Subdivision Tract Map TR 820

APPLICANT: GJ Gardner (Energy Homes)

PROPERTY OWNER: Coker Ellsworth

LOCATION: SE Corner of Iona Ave and Vine Street

APN(S): 024-039-001 Through 024-039-043

REFUSE

The following comments are applicable when checked:

- ☒ Type of refuse service not indicated.
- ☒ You are responsible for all cardboard and other bulky recyclables to be broken down before depositing in recycle containers.
- ☐ Refuse enclosure not to City of Lemoore Standards.
- ☐ Refuse enclosure(s) must be M-6 single dumpster enclosure(s).
- ☐ Refuse enclosure(s) must be M-6 double dumpster enclosure(s). *Room for minimum 4 dumpsters.*
- ☐ Refuse enclosure gates required.
- ☒ You must provide combination or keys for access to locked gates / bins.
- ☐ Location of bin enclosure not acceptable. Relocate to: _____.
- ☐ Inadequate number of bins to provide sufficient service.
- ☐ Drive approach too narrow for refuse truck access. *Provide vehicle turning movement layout.*
- ☐ Area not adequate to allowing refuse truck turning radius: *Based on vehicle turning movement layout.*
 - ☐ Commercial ____ ft. outside ____ ft. inside; ☐ Residential ____ ft. outside ____ ft. inside.
- ☐ Paved areas should be engineered to withstand a 55,000 lb. refuse truck.
- ☐ Hammerhead turnaround required at: _____.
- ☐ Cul-de-sac must be built per City of Lemoore Standards.
- ☐ Refuse enclosures are for City refuse containers only. Storage of grease drums or any other items is not allowed.
- ☐ Refuse enclosure gates must open 180 degrees and hinges mounted in front of post.
- ☐ Concrete slab required in front of enclosure per Lemoore City Standards.
- ☐ Area in front of refuse enclosures must be striped with NO PARKING.
- ☐ Refuse enclosure to be designed and located for STAB service (DIRECT ACCESS).
- ☐ You will be required to roll container out to curb for service.
- ☐ Roll off compactors must have a clearance of 3 feet from any wall on both sides and there must be a minimum of 53 feet clearance in front of the compactor to allow truck service.

Additional comments: each resident will be provided 3 garage containers. All containers must not be stored behind front yard fence. And not visible from the street.

☐ No comments. Acceptable as submitted.

//ss// KB
Authorized signature

January 27, 2021
Date

Frank Rivera, Public Works Director
Printed name

SOLID WASTE

The following comments are applicable when checked:

- ☐ Wastewater discharge permit application required.
- ☐ Sand and grease interceptor – 3 compartment required. _____
- ☐ Grease interceptor required. _____
- ☐ Garbage grinder required – ____ hp. Maximize. _____
- ☐ Submission of dry process declaration required. _____
- ☐ No single pass cooling water is permitted. _____

Additional comments: _____

☒ No comments. Acceptable as submitted.

Authorized signature

Frank Rivera, Public Works Director

Printed name

Date

January 27, 2021

STREETS / TRAFFIC

The following comments are applicable when checked:

- ☒ The City will prohibit on-street parking as deemed necessary.
- ☒ Install street light(s) per City of Lemoore Standards.
- ☒ Install street name blades at each intersection. Street names to be modified to the alignment of existing streets and without duplicating names.
- ☒ Install Stop Signs at interior roadways intersecting with: MUTCD requirements and City Standads.

-
-
- ☒ Construct parking per City of Lemoore Standards.
 - ☒ Construct drive approach(es) per City of Lemoore Standards.
 - ☒ Traffic Impact Study required.

Additional comments: Confirm with planning

☐ No comments. Acceptable as submitted.

//s// KB
Authorized signature

January 27, 2021
Date

Frank Rivera, Public Works Director
Printed name

SITE PLAN REVIEW COMMENTS



DATE: December 4, 2020
SITE PLAN NO: Major Site Plan Review No. 2020-05
PROJECT TITLE: Fairway Courtyards
DESCRIPTION: Amendment to Subdivision Tract Map TR 820
APPLICANT: GJ Gardner (Energy Homes)
PROPERTY OWNER: Coker Ellsworth
LOCATION: SE Corner of Iona Ave and Vine Street
APN(S): 024-039-001 through 024-039-043

BUILDING

The following comments are applicable when checked:

- ☒ These are general comments and DO NOT constitute a complete plan check for your specific project. Please refer to the applicable California Code and local ordinances for additional requirements.
- ☒ Business Tax certification is required. *For information call (559) 924-6744 ext. 712*
- ☒ A building permit will be required. *For information call (559) 924-6744 ext. 730*
 - ☐ Submit 3 sets of professionally prepared plans and 2 sets of calculations (Small Tenant Improvements).
 - ☐ Submit 5 sets of plans signed by an architect or engineer. Must comply with 2010 California Building Code Sec. 2308 for conventional light-frame construction or submit 2 sets of engineered calculations.
- ☐ Indicate abandoned wells, septic systems and excavations on construction plans.

You are responsible to ensure compliance with the following checked items:

- ☒ Meet State and Federal Americans with Disabilities Act (ADA) requirements.
- ☒ A path of travel, parking and common area must comply with ADA Requirements.
- ☒ All accessible units must meet ADA Requirements.
- ☐ Maintain sound transmission control between units minimum of 50 STC.
- ☒ Maintain fire-resistive requirements at property lines.
- ☐ Demolition permit and deposit is required. *For information call (559) 924-6744 ext. 730*
- ☒ Obtain required permits from San Joaquin Valley Air Pollution Control District.
For information call (559) 230-6000
- ☐ Location of cashier must provide clear view of gas pump island.
- ☒ Treatment connection charge to be assessed based on use.
- ☐ Plans must be approved by the Kings County Health Department. *For information call (559) 584-1411*
- ☐ Project is located in flood zone _____. ☐ Hazardous materials report.
- ☒ Arrange for an onsite inspection. *For information call (559) 924-6744 ext. 730 (Inspection fees may apply.)*
- ☒ School Development fees: *For information call (559) 924-6744 ext. 730*
- ☒ Park Development fee \$_____ per unit collected with building permits.
- ☐ Existing address must be changed to be consistent with City address. *Call (559) 924-6744 ext. 740*

Additional comments: Building permit required for Grading and for the construction of the homes.

☐ No comments. Acceptable as submitted.

//s//

KB

Date: January 27, 2021

Frank Rivera, Public Works Director

FIRE DEPARTMENT

The following comments are applicable when checked:

- ☐ Refer to previous comments dated _____.
- ☐ More information is needed before a Site Plan Review can be conducted. Please submit plans with more detail.
- ☐ No fire protection items required for parcel map or lot line adjustment; however, any future projects will be subject to fire protection requirements.
- ☐ Address numbers must be placed on the exterior of the building in such a position as to be clearly and plainly visible from the street. Numbers will be at least 6 inches high and shall be of a color to contrast with their background. If multiple addresses served by a common driveway, the range of numbers shall be posted at the roadway / driveway.
- ☐ No additional fire hydrants are required for this project; however, additional fire hydrants may be required for any future development.
- ☒ There is / **are** 4 fire hydrants required for this project. One hydrant shall be installed every 300 ft. (see marked plans for fire hydrant locations).
- ☒ The turning radius for emergency fire apparatus is 20 feet inside radius and 43 feet outside radius. Ensure that the turns identified to you during site plan comply with these requirements. An option is a hammer-head constructed to City of Lemoore standards.
- ☐ An access road is required and shall be a minimum of 20 feet wide. The road shall be an all-weather driving surface accessible prior to and during construction.
- ☐ Buildings or portions of buildings or facilities exceeding 30 feet in height above the lowest level of fire department vehicle access shall be provided with an approved fire apparatus access roads capable of accommodating fire department aerial apparatus. Access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders. Access routes shall be located within a minimum of 15 feet and maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building.
- ☐ A fire lane is required for this project. The location will be given to you during the site plan meeting.
- ☐ A Knox Box key lock system is required. Applications are available at the City of Lemoore Fire Department Administrative Office. NOTE: Knox boxes shall be ordered using an approved application from Lemoore Fire Department Administrative Office, 711 W. Cinnamon Drive. Please allow adequate time for shipping and installation.
- ☐ The security gates, if to be locked, shall be locked with a typical chain and lock that can be cut with a common bolt cutter, or the developer may opt to provide a Knox Box key lock system. Applications are available at the Lemoore Fire Department Administrative Office.
- ☐ That portion of the building that is built upon a property line shall be constructed as to comply with Section 503.4 and Table 5-A of the California Building Code.
- ☐ Commercial dumpsters with 1.5 cubic yards or more shall not be stored or placed within 5 feet of combustible walls, openings, or a combustible roof eave line except when protected by a fire sprinkler system.
- ☐ If you handle hazardous material in amounts that exceed the exempt amounts listed on Table 3-D of the California Building Code, you are required to submit an emergency response plan to the Kings County Health Department. Prior to the building final inspection, we will require a copy of the plan and any Material Safety Data Sheets.

- ☐ An automatic fire sprinkler system is required for this building. A fire hydrant is required within 50 feet of the fire department connection. The fire hydrant, fire department connection and the PIV valve should be located together and minimum 25 feet from the building, if possible. The caps on the FDC shall be Knox locking caps.
- ☐ All hardware on exit doors shall comply with Chapter 10 of the California Fire Code. This includes all locks, latches, dolt locks, and panic and exit hardware.
- ☐ Provide illuminated exit signs and emergency lighting throughout the building.
- ☐ All Fire and Life Safety systems located within the building shall be maintained.
- ☐ An automatic fire extinguishing system for protection of the kitchen grease hood and ducts is required.
- ☐ City of Lemoore Fire Department Impact Fee. *For information call (559) 924-6730*
- ☐ City of Lemoore Fire Department Permit Fee – complete application during Building Department permit process.

Additional comments: _____

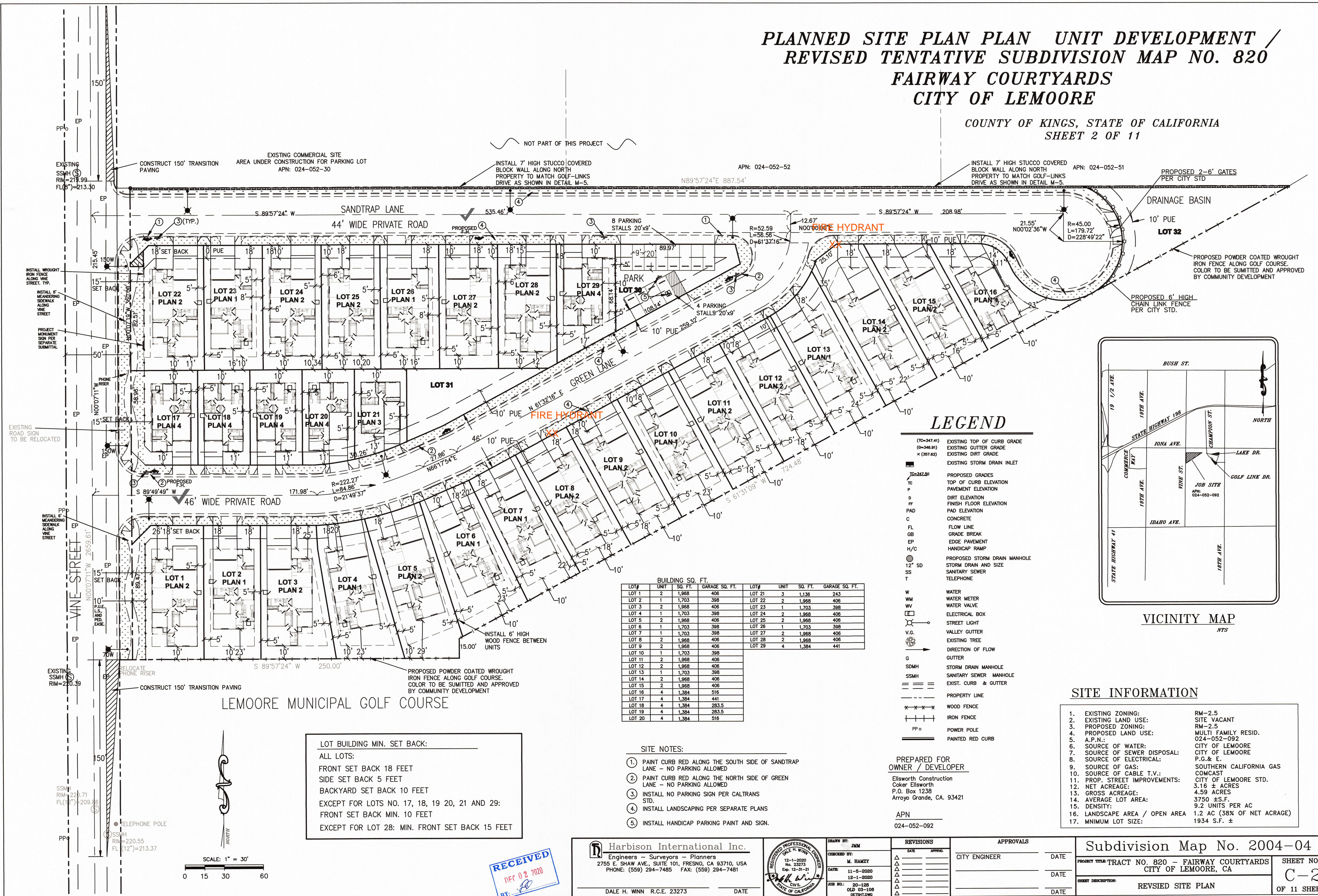
- ☐ No comments. Acceptable as submitted.

Bruce German/Faith Faria //S// KB
Authorized signature

1-25-2021
Date

Bruce German, Fire Chief
Printed name

COUNTY OF KINGS, STATE OF CALIFORNIA
SHEET 2 OF 11



BUILDING SQ. FT.					BUILDING SQ. FT.				
LOT#	UNIT	SQ. FT.	GARAGE	SQ. FT.	LOT#	UNIT	SQ. FT.	GARAGE	SQ. FT.
LOT 1	2	1,968	406		LOT 21	3	1,136	243	
LOT 2	1	1,703	398		LOT 22	2	1,968	406	
LOT 3	2	1,968	406		LOT 23	1	1,703	398	
LOT 4	1	1,703	398		LOT 24	2	1,968	406	
LOT 5	2	1,968	406		LOT 25	2	1,968	406	
LOT 6	1	1,703	398		LOT 26	1	1,703	398	
LOT 7	1	1,703	398		LOT 27	2	1,968	406	
LOT 8	2	1,968	406		LOT 28	2	1,968	406	
LOT 9	2	1,968	406		LOT 29	4	1,384	441	
LOT 10	1	1,703	398						
LOT 11	2	1,968	406						
LOT 12	2	1,968	406						
LOT 13	1	1,703	398						
LOT 14	2	1,968	406						
LOT 15	2	1,968	406						
LOT 16	4	1,384	516						
LOT 17	4	1,384	441						
LOT 18	4	1,384	283.5						
LOT 19	4	1,384	283.5						
LOT 20	4	1,384	516						

SITE NOTES:

- ①. PAINT CURB RED ALONG THE SOUTH SIDE OF SANDTRAP LANE - NO PARKING ALLOWED
- ②. PAINT CURB RED ALONG THE NORTH SIDE OF GREEN LANE - NO PARKING ALLOWED
- ③. INSTALL NO PARKING SIGN PER CALTRANS STD.
- ④. INSTALL LANDSCAPING PER SEPARATE PLANS
- ⑤. INSTALL HANDICAP PARKING PAINT AND SIGN.

PREPARED FOR
OWNER / DEVELOPER

Ellsworth Construction
Coker Ellsworth
P.O. Box 1238
Arroyo Grande, CA. 93421

APN
024-052-092

SITE INFORMATION

- | | | |
|-----|-----------------------------|----------------------------|
| 1. | EXISTING ZONING: | RM-2.5 |
| 2. | EXISTING LAND USE: | SITE VACANT |
| 3. | PROPOSED ZONING: | RM-2.5 |
| 4. | PROPOSED LAND USE: | MULTI FAMILY RESID. |
| 5. | A.P.N.: | 024-052-092 |
| 6. | SOURCE OF WATER: | CITY OF LEMOORE |
| 7. | SOURCE OF SEWER DISPOSAL: | CITY OF LEMOORE |
| 8. | SOURCE OF ELECTRICAL: | P.G.& E. |
| 9. | SOURCE OF GAS: | SOUTHERN CALIFORNIA GAS |
| 10. | SOURCE OF TRAFFICABLE T.V.: | COAST |
| 11. | PROP. STREET IMPROVEMENTS: | CITY OF LEMOORE STD. |
| 12. | NET ACREAGE: | 3.16 ± ACRES |
| 13. | GROSS ACREAGE: | 4.59 ACRES |
| 14. | AVERAGE LOT AREA: | 3750 ±S.F. |
| 15. | DENSITY: | 9.2 UNITS PER AC |
| 16. | LANDSCAPE AREA / OPEN AREA | 1.2 AC (38% OF NET ACRAGE) |
| 17. | MINIMUM LOT SIZE: | 1934 S.F. ± |

Subdivision Map No. 2004-04

PROJECT TITLE: TRACT NO. 820 - FAIRWAY COURTYARDS CITY OF LEMOORE, CA
--

SHEET DESCRIPTION: REVSIED SITE PLAN

SHEET NO.

11 SHEETS

SITE PLAN REVIEW COMMENTS



DATE: December 4, 2020
SITE PLAN NO: Major Site Plan Review No. 2020-05
PROJECT TITLE: Fairway Courtyards
DESCRIPTION: Amendment to Subdivision Tract Map TR 820
APPLICANT: GJ Gardner (Energy Homes)
PROPERTY OWNER: Coker Ellsworth
LOCATION: SE Corner of Iona Ave and Vine Street
APN(S): 024-039-001 through 024-039-043

PUBLIC SAFETY

The following comments are applicable when checked:

☐ Public Safety Impact Fee:
Ordinance No.:
Effective Date:
Impact fees shall be imposed by the City of Lemoore pursuant to this Ordinance as a condition of, or in conjunction with, the approval of a development project. "New Development or Development Project" means any new building, structure or improvement of any parcels of land upon which no like building, structure or improvement previously existed. NOTE: Refer to Engineering Site Plan comments for fee estimation.

☐ Not enough information provided. Please provide the following information:

☐ Access controlled / restricted etc.:

☐ Landscaping concerns:

☐ Lighting concerns:

☐ Line of sight issues:

☐ Surveillance issues:

☐ Territorial reinforcement – define property lines (private / public space):

☐ Traffic concerns:

☐ Request opportunity to comment or make recommendations as to safety issues as plans are developed.

☐ Additional comments:

☒ No comments. Acceptable as submitted.

M.K. C
Authorized signature

12/7/2020
Date

M. KENDALL
Printed name

City of Lemoore
Public Works/City Engineering
Site Plan Review Comments

DATE: February 25, 2021
SITE PLAN NO: Major Site Plan Review 12022020
TENTATIVE SM: TSM 12022020
PUD: PUD 12022020
PROJECT TITLE: Revision to Tract 820
DESCRIPTION: Revision of T. 820 to single family lots
APPLICANT: Energy Homes Inc (dba GJ Gardner Homes).
PROPERTY OWNER: Coker Ellsworth
LOCATION: East side of Vine St., South of Iona Ave (Tract 820)
APN(S): 024-052-092 (original APN prior to Tract 820)

The following comments are applicable when checked:

- ☒ Submit improvement plans detailing all proposed work – *Minimum 32' curb face to curb face on interior streets*
- ☒ Bonds, certificate of insurance, cash payment of fees/inspection, and approved map and plan required prior to approval of Final Map.
- ☒ The Final Map and Improvements shall conform to the Subdivision Map Act, the City of Lemoore's Subdivision Ordinance, Master Plans, Standard Details and Improvement Standards.
- ☐ A preconstruction conference is required prior to the start of any construction.
- ☒ Right-of-way dedication required – Provide 30' ½ street RW on Vine Street and RW for Sandtrap Lane (44') and Green Lane (46'). Dedicate adequate RW at curb returns to allow for curb return, ramps, and sidewalk connections. A title report is required for verification of ownership ☒ by map ☐ by deed.
- ☒ City encroachment permit required which shall include an approved traffic control plan.
- ☐ Caltrans encroachment permit required.
- ☒ If sanitary sewer, water and storm drain mains and services are to be maintained by the City, indicate on the plans and provide utility easements for the City of Lemoore to operate and maintain the main lines.
- ☒ Public Facilities Maintenance District (PFMD required prior to approval of Final Map. PFMD will maintain public common area landscaping, streetlights, street trees, block wall and public right of way as applicable along Vine Street, Sandtrap Lane and Green Lane. Submit completed PFMD application and filing fee a minimum of 75 days before approval of Final Map. PFMD shall also maintain Lot 30-Parking Area, Lot 31-Park & Lot 32-Storm Drainage Basin, and on-site utilities unless otherwise noted. Developer to identify facilities to be maintained through HOA and
- ☒ Landscape and irrigation improvement plans to be submitted for each phase, if phased. Landscape plans will need to comply with the City of Lemoore's street tree ordinance, MWELo requirements and other applicable City ordinances. If phased, a street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting district.
- ☒ Dedicate landscape lots to the City that are to be maintained by the PFMD (along Vine Street only).
- ☐ Written comments required from ditch company.
- ☒ Sanitary Sewer master plan for the entire development shall be submitted for approval prior to approval of any portion of the system. The sewer system will need to be extended to the boundaries of the development where future connection and extension is anticipated. The sewer system will need to be sized to serve any future developments that are anticipated to connect to the system.
- ☒ Grading and drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades.
 - ☒ Prepared by a registered civil engineer or project architect.
 - ☒ All elevations shall be based on the City's benchmark network.Storm run-off from the project shall be handled as follows:
 - ☒ Directed to the City's existing storm drainage system – *Construct storm drain system and drainage basin per City of Lemoore requirements and the City's Storm Drain Master Plan*
 - ☒ Directed to a permanent on-site basin

City of Lemoore
Public Works/City Engineering
Site Plan Review Comments

DATE:	February 25, 2021
SITE PLAN NO:	Major Site Plan Review 12022020
TENTATIVE SM:	TSM 12022020
PUD:	PUD 12022020
PROJECT TITLE:	Revision to Tract 820
DESCRIPTION:	Revision of T. 820 to single family lots
APPLICANT:	Energy Homes Inc (dba GJ Gardner Homes).
PROPERTY OWNER:	Coker Ellsworth
LOCATION:	East side of Vine St., South of Iona Ave (Tract 820)
APN(S):	024-052-092 (original APN prior to Tract 820)

- ☐ Directed to a temporary on-site basin which is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin: _____; _____ maximum side slopes, perimeter fencing required, and provide access ramp to bottom for maintenance.
- ☐ Protect Oak trees during construction.
- ☒ Show adjacent property grade elevations on improvement plans. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.
- ☒ Relocate existing utility poles and/or facilities.
- ☐ Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding.
- ☒ Provide R-value tests; Provide per City requirements, coordinate with the City Engineer; previous Geotech report for Tract 820 may be acceptable
- ☒ Traffic indexes per City standards: Min of 6.0 for Vine St; 5.5 for local/private streets
- ☒ All public streets across project frontage and streets within project limits shall be improved to their full width, subject to available right-of-way, in accordance with City policies, standards and specifications. ***Construct all interior streets to City local street requirements. Vine Street improvements to match City constructed improvements south of Green Lane***
- ☒ All lots shall have separate drive approaches constructed to City Standards.
- ☒ Install street striping as required by the City Engineer.
- ☒ Install sidewalk: 6 ft. wide, with meandering parkway on Vine Street; match City improvements on Vine Street south of Green Lane; remove and replace damaged existing sidewalk;
- ☒ Install sidewalk: 5 ft. min wide, *along the interior public streets to provide access to Vine Street in accordance with City Ordinance; provide additional public access easements as required to construct sidewalk at drive approaches per City Std. C-8*
- ☒ Use cluster postal unit and show proposed location on the improvement plans. Provide approval of cluster postal unit by US Postal Service.
- ☐ Subject to existing reimbursement agreement to reimburse prior developer.
- ☒ Construct water mains in the private streets in accordance with City of Lemoore improvement standards.
- ☐ Abandon existing wells per Code; a building permit is required.
- ☐ Remove existing irrigation lines and dispose off-site.
- ☐ Remove existing leach fields and septic tanks.
- ☒ Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air Pollution Control District's Regulation VIII. Copies of any required permits will be provided to the City of Lemoore.
- ☒ The project may be subject to the San Joaquin Valley Air Pollution Control District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City of Lemoore.

DATE:	February 25, 2021
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☒ If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit will be provided to the City of Lemoore.

☐ Comply with prior comments

☒ Resubmit with additional information – Show public streets instead of private, update/revise map and site plan as stand-alone documents; construct 5' sidewalk along interior streets to provide pedestrian access to Vine Street; City will review No Parking along Sandtrap Lane and consider moving it to the north side

☐ Redesign required

Additional comments:

1. Developer shall show all existing improvements constructed on-site per the previous Tract 820. Developer shall confirm that any existing improvements intended to be used have been tested and checked to the satisfaction of the City Public Works Director and City Engineer prior to being allowed to remain and be used.
2. Developer shall remove and replace any existing improvements that are not acceptable to the City for use in the development and/or do not match the revised final map and improvement plans.
3. Developer shall be responsible for the disposition of any existing property corners and monuments set per the previous Tract 820 in accordance with the latest edition of the Subdivision Map Act and the Professional Land Surveyors' Act.
4. Lots 18, 19, 20, 21, 28 and 29 do not provide the min. 18' front yard setback shown for all other lots. Show setback to garage especially since there is no parking on the north side of Green Lane. Provide min. distance for vehicle parking in driveway.
5. Show residential lot setback from block wall along Vine Street.
6. Verify street name change from Spyglass to Green Lane.
7. Develop all on-site civil improvements shall conform with City Standards and ordinances.
8. Water and sewer services and laterals (number, size, and location) per the approved improvement plans for the streets shall be revised to match the proposed development.
9. All public improvements must be constructed in conformance with the City of Lemoore Standard Plans and Specifications and Planned Unit Development Design Guidelines.
10. Provide design of all public improvements (such as sanitary sewer, storm drainage, water, and streets) in accordance with applicable Master Plans and City standards.
11. The improvement plans for the subdivision must be approved by the City of Lemoore prior to construction.
12. Speed undulations may not be allowed due to locations to drive approaches. Any speed undulations must meet City Standards and policies.
13. Provide temporary blow-offs at terminating water mains.
14. Local streets shall have a street centerline radius of not less than two hundred feet.
15. Provide fire flow requirements and analysis to show that adequate fire flows can be achieved with submittal of improvement plans. The requirements are 1,500 gpm at 20 psi.
16. Storm drainage basin shall be designed for retention storage requirements. Provide storm drainage basin calculations for sizing basin.

City of Lemoore
Public Works/City Engineering
Site Plan Review Comments

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17. Show existing sanitary sewer, storm drainage, water and street infrastructure associated with development.
18. Lowest grade elevation within development shall be 1 foot above high-water level in ponding basin.
19. Fire hydrants to be spaced at a maximum distance of 300 feet.
20. Provide streetlights along the east side of Vine Street and within development.
21. A digital copy of the improvement plans and final map shall be provided to the City upon final approval.
22. Provide adequate transitional paving along the east side of Vine Street in accordance with Caltrans specifications.
23. Relocate all existing utilities underground.
24. Confirm all structures are located out of the proposed PUE.
25. Provide lot drainage for City approval.
26. Grading plan will be reviewed during improvement plan review.
27. Show water and sanitary sewer service connection points.
28. Provide adequate on-site parking.

☐ No comments. Acceptable as submitted.

 //s// KB
Authorized Signature

 2/25/21
Date

 Jeff Cowart, PE, City Engineer
Printed name





Notice of Exemption

TO: ☐ Office of Planning and Research
1400 Tenth Street
Sacramento, CA 95814

☒ County Clerk
County of Kings
Kings County Government Center
Hanford, California 93230

FROM: City of Lemoore
711 W. Cinnamon Drive
Lemoore, CA 93245

PROJECT TITLE:

Tract Map 820 – Fairway Courtyards Subdivision
PUD 2020-03, TSM 2020-02, Major SPR 2020-05

PROJECT APPLICANT:

GJ Gardner, Energy Homes

PROJECT LOCATION – Specific:

Vine Street, 380 feet south of Iona Avenue

PROJECT LOCATION – City: Lemoore **County:** Kings

PROJECT DESCRIPTION:

The Tentative Subdivision Map is a request to subdivide 4.59 acres into 29 single-family residential lots with 3 outlot parcels.

NAME OF PUBLIC AGENCY APPROVING PROJECT:

City of Lemoore

NAME, ADDRESS, & PHONE NUMBER OF PERSON OR AGENCY CARRYING OUT PROJECT:

GJ Gardner, Energy Homes

EXEMPT STATUS: *(check one)*

- ☐ Ministerial (Section 21080(b)(1); 15268);
☐ Declared Emergency (Section 21080(b)(4); 15269(a));
☐ Emergency Project (Section 21080(b)(4); 15269(b)(c));
☐ Categorical Exemption. State type and section number: Sec. 15332 of CEQA below
☐ Statutory Exemptions. State code number: _____

REASONS WHY PROJECT IS EXEMPT:

The Project qualifies as a Class 32 categorical exemption pursuant to Section 15332 of California Environmental Quality Act (“CEQA”) Guidelines, Title 14, Chapter 3 of the California Code of Regulations, because it is a project characterized as in-fill development, meeting the conditions described in Section 15332. (see attached sheet)

LEAD AGENCY CONTACT PERSON:

Judy Holwell, Community Development Director
(559) 924-6744 Ext. 740

Signature

Date

Authority cited: Sections 21083 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, 21152.1, Public Resources Code.

CITY OF LEMOORE

CEQA Class 32 (Infill Development) Exemption Findings

The purpose of CEQA Categorical Exemption 32 is to promote in-fill development within urbanized areas. The class consists of environmentally benign in-fill projects which are consistent with local general plan and zoning requirements. This class is not intended to be applied to projects which would result in any significant traffic, noise, air quality, or water quality effects.

Project Description:

A request by GJ Gardner Homes for approval to develop a 4.59 acre parcel into a 29-lot single-family residential subdivision with 3 small out lots for a park, parking area and drainage basin. The project is located on Vine Street south of Iona Avenue in the city of Lemoore on a site that was previously developed but never completed.

Required Findings:

- a) This project is consistent with the applicable General Plan designation and all applicable General Plan policies as well as with applicable zoning designations and regulations.*

SUPPORTING INFORMATION: The project site is a unique parcel located along a portion of Vine Street that places it south of a light industrial use area and north of the municipal golf course. The site's major advantage are the views of the golf course and it's proximity. As per the City of Lemoore Zoning plan the site is located in a RLMD Low-Medium Density Residential zone and complies with General Plan policies as well as with applicable zoning designations and regulations.

- b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.*

SUPPORTING INFORMATION: This small 4.59-acre project is a unique residential island surrounded by light industrial uses to the north, a municipal golf course to the south and a waste-water treatment facility across Vine street to the west of the site.

- c) The project site has no value as habitat for endangered, rare or threatened species.*

SUPPORTING INFORMATION: The project location on Vine Street south of Iona locates it in an area that been zoned primarily for Light Industrial and Public Facility uses. The site consists of previously developed streets and underground utilities and is devoid of any native vegetation, landscaping or trees. There are no known riparian habitats or sensitive natural communities within the planning area. It is adjacent to the

municipal golf course and with the inclusion of the drainage basin could eventually become part of any biological system or habitat that may already exist there.

d. 1) Approval of the project would not result in any significant effects relating to traffic.

SUPPORTING INFORMATION: The project contains only 29 single family residential lots and is located on the western edge of the city where development is still sparse. There is currently very little commercial or residential traffic on that portion of Vine Street. The project generates very few traffic trips and therefore does not increase any traffic activity already designated for the area. There are no known significant traffic related issues.

d. 2) Approval of the project would not result in any significant effects relating to noise.

SUPPORTING INFORMATION: The size and type of the project would not (significantly) increase the level of ambient noise already in the area. There are no known significant noise related issues.

d. 3) Approval of the project would not result in any significant effects relating to air quality.

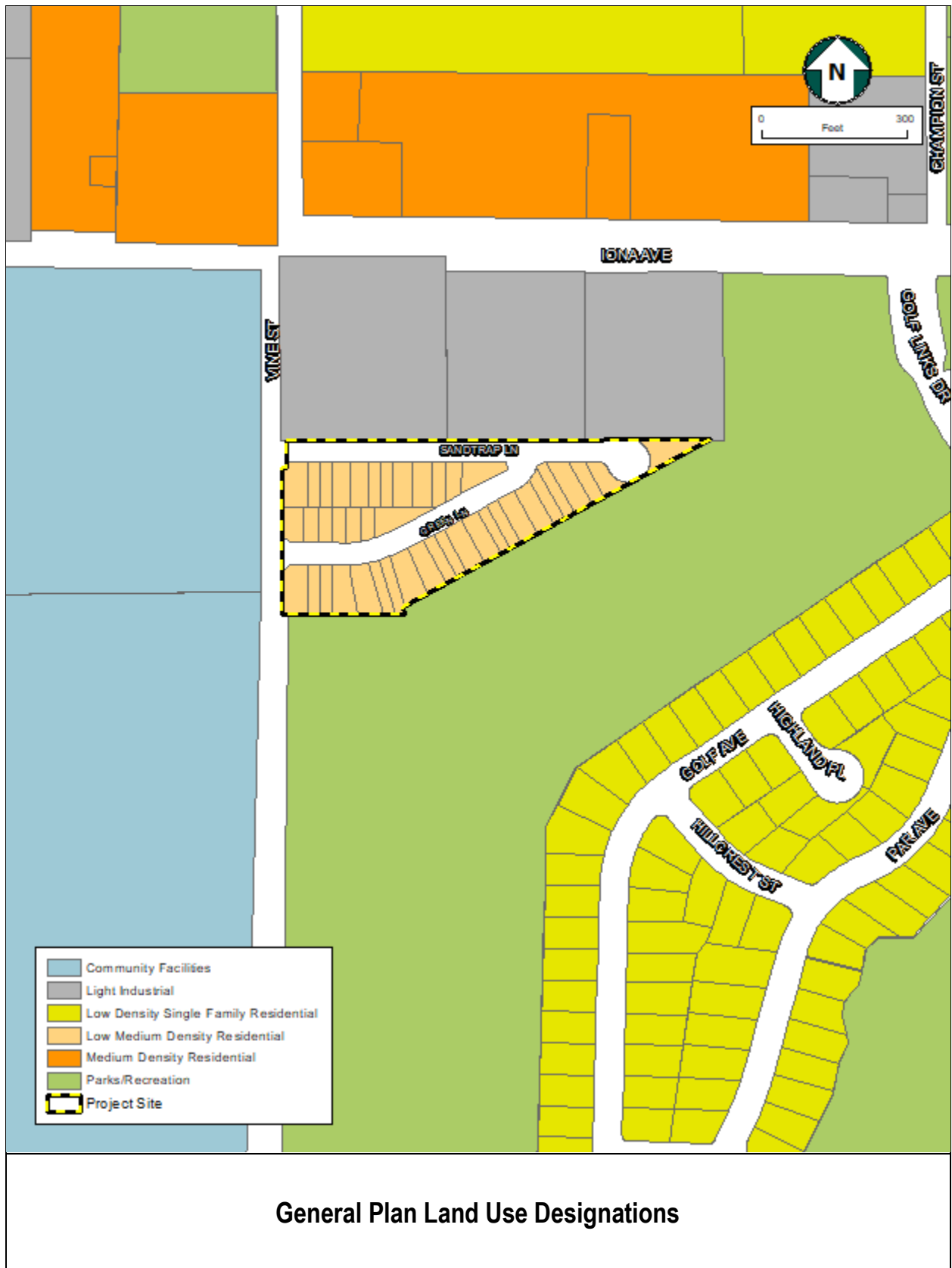
SUPPORTING INFORMATION: Since the site has been previously graded and street and utility improvements already installed there is no reason to think that with proper management practices during the home building phase of the project there would be any (significant) impact on the air quality in the area. There are no known (significant) effects relating to air quality.

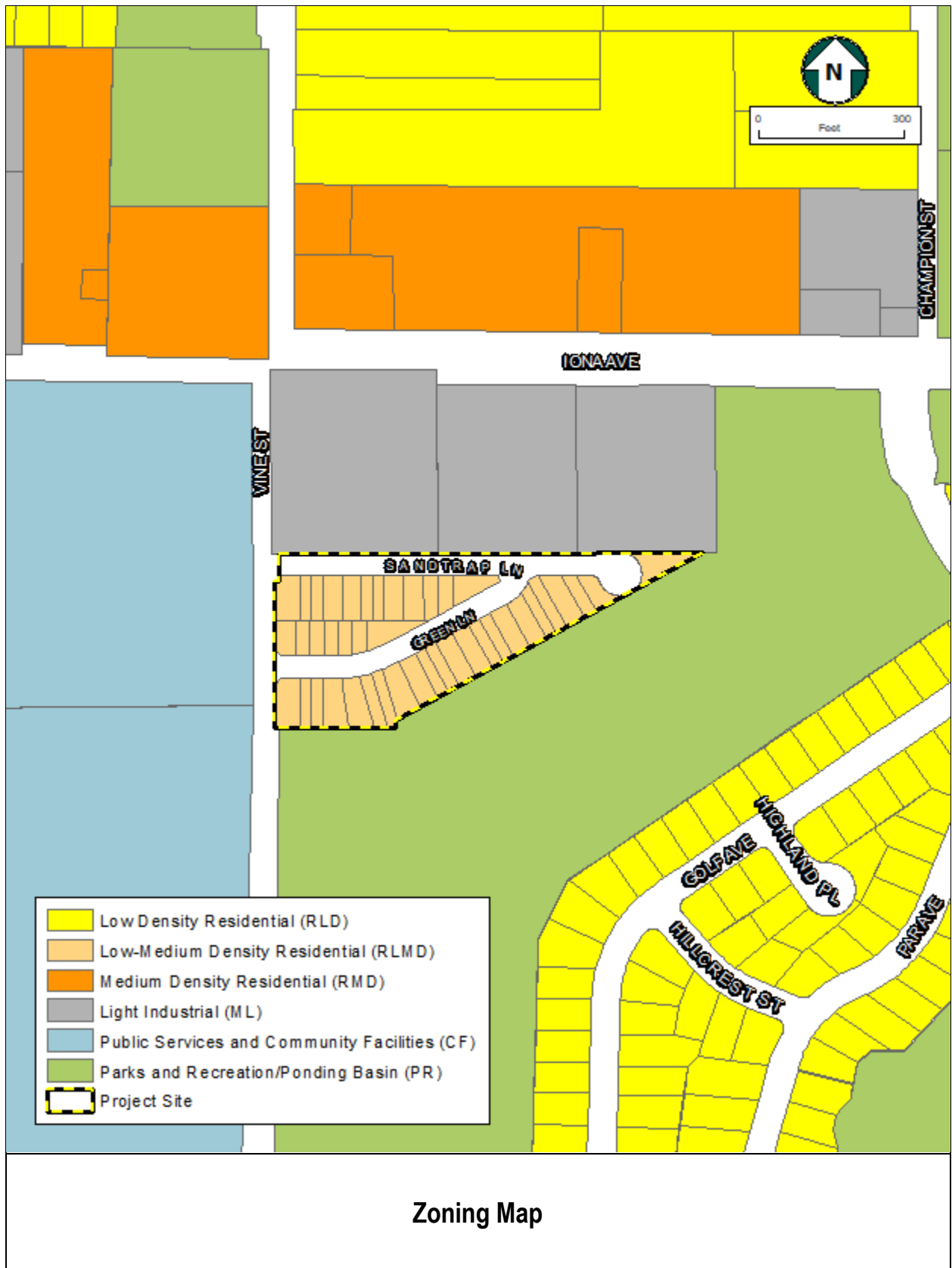
d. 4) Approval of the project would not result in any significant effects relating to water quality.

SUPPORTING INFORMATION: Since there are no adjacent creeks, streams or other bodies of water to be affected, and since the site has been previously graded there is no reason to think that with proper management practices during the home building phase of the project there would be any (significant) impact on the water quality in the area. There are no known (significant) effects that would endanger water quality.

e) The site can be adequately served by all required utilities and public services.

SUPPORTING INFORMATION: The project site is located in an existing sector already serviced by all major utilities and municipal services. All major underground services and utilities have been previously installed. All other services, Police, Fire and Parks can adequately be provided for by the City. There are no known significant utility or service issues.







711 West Cinnamon Drive • Lemoore, California 93245 • (559) 924-6744

Staff Report

Item No: 3-3

To: Lemoore City Council

From: Judy Holwell, Community Development Director

Date: March 26, 2021

Meeting Date: April 20, 2021

Subject: Budget Amendment – Technical Planning Services

Strategic Initiative:

- | | |
|---|--|
| <input type="checkbox"/> Safe & Vibrant Community | <input type="checkbox"/> Growing & Dynamic Economy |
| <input checked="" type="checkbox"/> Fiscally Sound Government | <input type="checkbox"/> Operational Excellence |
| <input type="checkbox"/> Community & Neighborhood Livability | <input type="checkbox"/> Not Applicable |

Proposed Motions:

Approve a budget amendment of \$26,900 for the review and preparation of technical studies and negative declarations required for the environmental review process.

Subject/Discussion:

Over the last several years, the State of California has increased the amount of environmental review required for certain development projects. Larger projects, which may have impacts to air quality, biological resources, cultural resources and transportation – to name a few – are required to have those impacts studied and mitigation measures imposed, if necessary. The review is required per the California Environmental Quality Act (CEQA). The cost for the review and preparation of such documents is charged to developers.

Developers have the option of hiring an outside firm to perform the technical studies, or having the City Planner prepare the documents. If an outside consultant is hired, the City charges the developer 10 percent of the cost of the study to review the documents. If the Planner prepares the documents, the City charges the developer the actual cost plus 10 percent. Following the technical studies, an environmental review process is performed by the City Planner. In order to pay the City Planner for such services, an amount equal to the actual cost needs to be added to the 2020-2021 Budget.

The amount and intensity of technical studies and preparation of environmental review documents performed annually varies depending on the size and type of projects proposed throughout the year, which is unknown at the time the annual budget is prepared. This year, the City has received several applications for larger projects. With each project, a budget amendment is necessary to pay for the preparation of the documents. As previously indicated, the City is reimbursed by the developer for the actual cost. Staff is requesting that City Council approve an increase to the Community Development Professional Contract Services fund (4216-4310) by an amount not to exceed \$26,900 to cover the cost of the studies and negative declarations.

Financial Consideration(s):

A budget amendment in the amount of \$26,900 to the Community Development Professional Contract Services Account No. 4216-4310. All costs are reimbursed by the developer.

Alternatives or Pros/Cons:

None noted.

Commission/Board Recommendation:

Not applicable.

Staff Recommendation:

Staff recommends that City Council approve a budget amendment in the amount of \$26,900 to pay the consultant for the technical studies and negative declarations needed for the required CEQA environmental review.

Attachments:

- ☐ Resolution:
- ☐ Ordinance:
- ☐ Map
- ☐ Contract
- ☒ Other: Budget Amendment

Review:

- ☒ Asst. City Manager
- ☒ City Attorney
- ☒ City Clerk
- ☒ City Manager
- ☒ Finance

Date:

- 04/15/2021
- 04/16/2021
- 04/16/2021
- 04/15/2021
- 04/15/2021



CITY OF LEMOORE

BUDGET AMENDMENT FORM

Date:	3/31/2021	Request By:	Judy Holwell
Requesting Department: Community Development			

TYPE OF BUDGET AMENDMENT REQUEST:

- ☐ Appropriation Transfer within Budget Unit
- ☒ All other appropriations (Attach Council approved Staff Report)

FROM:

Fund	Budget Unit	Account	Current Budget	Proposed Increase/Decrease:	Proposed New Budget
001		1010		\$ (26,900.00)	\$ -

TO:

Fund	Budget Unit	Account	Current Budget	Proposed Increase/Decrease:	Proposed New Budget
001	4216	4310	\$ 121,300.00	\$ 26,900.00	\$ 148,200.00

JUSTIFICATION FOR CHANGE/FUNDING SOURCE:

Revenue will be received from the developers for the total cost of CEQA technical studies and negative declarations.
Due to new development projects and unknown costs, these expenditures were not included in the FY21 budget.

APPROVALS:

Department Head:	Date:
City Manager:	Date:
Completed By:	Date:



711 West Cinnamon Drive • Lemoore, California 93245 • (559) 924-6744

Staff Report

Item No: 4-1

To: Lemoore City Council

From: Steve Brandt, City Planner

Date: March 15, 2021

Meeting Date: April 20, 2021

Subject:: First Reading – Resolution 2021-07 – Approving General Plan Amendment No. 2021-01 and Ordinance 2021-03 – Approving Zoning Map Amendment No. 2021-01, Changing The Zoning Map From Parks & Recreation To Professional Office For Property Located At The Northeast Corner Of 19 ½ Avenue And Cedar Lane, In The City Of Lemoore

Strategic Initiative:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Safe & Vibrant Community | <input checked="" type="checkbox"/> Growing & Dynamic Economy |
| <input type="checkbox"/> Fiscally Sound Government | <input type="checkbox"/> Operational Excellence |
| <input checked="" type="checkbox"/> Community & Neighborhood Livability | <input type="checkbox"/> Not Applicable |

Proposed Motion:

That the City Council adopt Resolution No. 2021-07 approving General Plan Amendment No. 2021-01 and introduce Ordinance No. 2021-03 approving the first reading of Zoning Map Amendment No. 2021-01.

Subject/Discussion:

This request by KKAL LP is for a General Plan Amendment and Zoning Map Amendment for a 9.1-acre site comprised of three adjoining, undeveloped parcels. Currently zoned Parks and Recreation (PR), the site was intended to accommodate the relocation of the Little League facility from its current location on the northwest corner of Lemoore Avenue and Iona Avenue. The proposed change to Professional Office (PO) status would eliminate the original intended Parks & Recreation (PR) use but replace it with new opportunities for neighborhood economic development. The proposed changes are illustrated in the attached Staff Report from the Planning Commission Meeting dated March 8, 2021, which also describes the project in more detail.

The proposed project site was previously designated for Parks & Recreation use in the General Plan and on the Zoning Map, with the expressed intent of eventually relocating the existing Little League fields to the site.

The City Staff no longer see a need to reserve this property for the originally intended purpose of relocating the Little League fields and recommend that the amendment be made to the General Plan and Zoning Ordinance re-designating the site from Parks & Recreation (PR) to the more economically viable Professional Office (PO) zone.

Financial Consideration(s):

Approval of the proposed changes could stimulate economic development in that sector of the city.

Alternatives or Pros/Cons:

City Council can also choose to deny the proposal, meaning that the site would remain planned and zoned for Parks & Recreation.

Commission/Board Recommendation:

The Planning Commission voted 6-0-1 (Franklin recused himself) to recommend approval after holding a public hearing on March 8, 2021. Their resolution is attached.

Staff Recommendation:

City staff recommends that the City Council adopt Resolution No. 2021-07 approving General Plan Amendment No. 2021-01 and introduce Ordinance No. 2021-03 approving the first reading of Zoning Map Amendment No. 2021-01.

Attachments:

- ☒ Resolution: 2021-03
- ☒ Ordinance: 2021-03
- ☐ Map
- ☐ Contract
- ☒ Other:

Review:

- ☒ Asst. City Manager
- ☒ City Attorney
- ☒ City Clerk
- ☒ City Manager
- ☒ Finance

Date:

- 04/15/2021
- 04/16/2021
- 04/16/2021
- 04/15/2021
- 04/15/2021

Planning Commission staff report dated February 25, 2021

Planning Commission Resolution 2021-03 recommending approval

CEQA – Notice of Exemption

RESOLUTION NO. 2021-07

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LEMOORE
APPROVING GENERAL PLAN AMENDMENT NO. 2021-01
LOCATED AT THE NORTHEAST CORNER OF 19 ½ AVENUE AT CEDAR LANE
IN THE CITY OF LEMOORE**

WHEREAS, KKAL LP has requested approval of a General Plan Amendment and Zoning Map Amendment for three (3) parcels located at the northeast corner of 19 ½ Avenue and Cedar Lane, (APNs 023-400-001, 023-400-002, 023-400-003); and

WHEREAS, the proposed site is 9.10 acres in size, and is currently zoned Parks & Recreation (PR); and

WHEREAS, the project proposes a General Plan Amendment and Zoning Map Amendment to a designation and zone of Professional Office (PO); and

WHEREAS, there is no specific project proposed for the site; however, the General Plan Environmental Impact Report (EIR) evaluated the potential impacts, such as noise, traffic, and cumulative impacts, when the site was planned for a little league baseball field; and

WHEREAS, it has been determined that the project is Categorically Exempt from further environmental review, pursuant to California Environmental Quality Act (CEQA) Guidelines 15061(b)(3) (Common Sense Exemption); and

WHEREAS, the City Planning Commission held a duly noticed public hearing at its March 8, 2021, meeting and voted 6-0-1 to recommend approval.

NOW THEREFORE, BE IT RESOLVED that the City Council of the City of Lemoore hereby makes the following findings regarding the proposed projects, based on facts detailed in the April 20, 2021, staff report and the recommendation of the Planning Commission, which are hereby incorporated by reference, as well as the evidence and comments presented during the Public Hearing:

1. The general plan amendment is in the public interest, and the General Plan, as amended, will remain internally consistent. There are no adverse effects on state requirements for maintaining the ratio of park space acreage in relation to population.
2. The Zoning Map Amendment is consistent with the General Plan goals, policies, and implementation programs. The site is bounded on the north and west by similar and complimentary uses.
3. There are no potentially significant project-specific impacts peculiar to the site, nor are there potentially significant off-site impacts or cumulative impacts which were not discussed in the prior environmental impact report (EIR) prepared for the Lemoore General

Plan. Mitigation measures and policies in the General Plan and General Plan EIR to protect environmental resources, such as cultural and tribal resources, shall apply to the project.

BE IT FURTHER RESOLVED that the City Council of the City of Lemoore approves General Plan Amendment No. 2021-01 and states their intention to approve Zoning Map Amendment No. 2021-01 by ordinance.

Passed and adopted at a Regular Meeting of the City Council of the City of Lemoore held on April 20, 2021, by the following votes:

AYES:

NOES:

ABSTAINING:

ABSENT:

APPROVED:

Stuart Lyons, Mayor

ATTEST:

Marisa Avalos, City Clerk

ORDINANCE NO. 2021-03

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LEMOORE APPROVING ZONING MAP AMENDMENT NO. 2021-01, CHANGING THE ZONING MAP FROM PARKS & RECREATION TO PROFESSIONAL OFFICE FOR PROPERTY LOCATED AT THE NORTHEAST CORNER OF 19 ½ AVENUE AND CEDAR LANE, IN THE CITY OF LEMOORE

THE CITY COUNCIL OF THE CITY OF LEMOORE HEREBY DOES ORDAIN:

SECTION 1. FINDINGS.

- (a) KKAL LP has requested approval of a Zoning Map Amendment for three (3) parcels totaling 9.1 acres located at the northeast corner of 19 ½ Avenue and Cedar Lane, (APNs 023-400-001, 023-400-002, 023-400-003). On March 8, 2021, the Planning Commission of the City of Lemoore held a public hearing, reviewed the proposal, and recommended approval of the zoning map amendment to the City Council.
- (b) This zoning map amendment is consistent with the City of Lemoore General Plan, Lemoore Municipal Code, and the Zoning Ordinance and would not be detrimental to the public interest, health, safety, convenience, and welfare of the City.
- (c) There is no specific project proposed for the site; however, the General Plan Environmental Impact Report (EIR) evaluated the potential impacts, such as noise, traffic, and cumulative impacts, when the site was planned for a little league baseball field.
- (d) It has been determined that the project is Categorically Exempt from further environmental review, pursuant to California Environmental Quality Act (CEQA) Guidelines 15061(b)(3) (Common Sense Exemption).
- (e) The City Council held a public hearing for the proposed zoning map amendment on April 20, 2021. The City Council approved a Categorical Exemption for the project.

SECTION 2. AMENDMENT OF ZONING MAP.

The property located at the northeast corner of 19 ½ Avenue and Cedar Lane, (APNs 023-400-001, 023-400-002, 023-400-003) is hereby zoned Professional Office (PO). The official Zoning Map shall be amended to reflect this change.

SECTION 3. SEVERABILITY.

If any provision of this ordinance is declared unlawful by a court of competent jurisdiction, the City Council intends that the remaining provisions of this ordinance remain in effect.

SECTION 4. EFFECTIVE DATE.

The ordinance codified herein shall take effect and be in full force and effect from and after thirty (30) days after its final passage and adoption. Within fifteen (15) days after its adoption, the ordinance codified herein, or a summary of the ordinance codified herein, shall be published once in a newspaper of general circulation.

* * * * *

The foregoing Ordinance was introduced at a regular meeting of the City Council of the City of Lemoore held on the 20th day of April 2021 and was passed and adopted at a regular meeting of the City Council held on the 4th day of May 2021 by the following vote:

AYES:

NOES:

ABSTAINING:

ABSENT:

ATTEST:

APPROVED:

Marisa Avalos, City Clerk

Stuart Lyons, Mayor

Staff Report
General Plan Amendment No. 2021-01
Zoning Map Amendment No. 2021-01

Item No: 6

To: Lemoore Planning Commission

From: Steve Brandt, AICP

Date: February 25, 2021

Meeting Date: March 8, 2021

Subject: General Plan Amendment No. 2021-01 and Zoning Map Amendment No. 2021-01: A request by KKAL LP (John Kashian, agent) to change the land use designation on the Lemoore General Plan Land Use Map from Parks and Recreation to Professional Office and to change the Zoning Map from Parks & Recreation (PR) to Professional Office (PO) at a vacant site located at the northeast corner of the intersection of 19 ½ Avenue at Cedar Lane. (APNs 023-400-001, 023-400-002, 023-400-003).

Proposed Motion:

City staff recommends that the Planning Commission adopt Resolution No. 2021-03 recommending approval of General Plan Amendment No. 2021-01 and Zoning Map Amendment No. 2021-01.

Project Proposal:

This request is for a proposed General Plan Amendment and Zoning Map Amendment for a 9.10 acre site comprised of three adjoining, undeveloped parcels. Currently zoned for Parks and Recreation (PR) use, the site was intended to accommodate the relocation of the Little League facility from its current location on the northwest corner of Lemoore Avenue and Iona Avenue. The proposed change to Professional Office (PO) status would eliminate the original intended Parks & Recreation (PR) use but replace it with new opportunities for neighborhood economic development. The proposed changes are illustrated on the attached map exhibits.

Applicant	KKAL LP (John Kashian, agent)
Location	Northeast corner of 19 ½ Avenue at Cedar Lane
Existing Land Use	Undeveloped
APN(s)	023-400-001, 023-400-002, 023-400-003

Zoning	Existing: Parks & Recreation (PR) Proposed: Professional Office (PO)
General Plan	Existing: Parks & Recreation (PR) Proposed: Professional Office (PO)

Adjacent Land Use, Zone and General Plan Designation

<u>Direction</u>	<u>Current Use</u>	<u>Zone</u>	<u>General Plan</u>
North	Hughes Auto Wrecking	RC	Regional Commercial
South	vacant land, residential neighborhood	RLD	Residential
East	City storm drainage basin	PR	Parks & Recreation
West	vacant land	RC	Regional Commercial

Previous Relevant Actions:

The proposed project site was designated Parks & Recreation in the General Plan and Zoning update, with the expressed intent of eventually relocating the existing Little League fields to the site.

Access and Right of Way:

Access to the property is from 19 1/2 Avenue on the west side of the site and from Cedar Lane on the south side. Both streets are collector streets in the General Plan. They will be widened when development occurs on the site.

Project Analysis:

Interest has been expressed in developing the site at the northeast corner of 19 ½ Ave and Cedar Lane for allowed professional office uses. This request is the impetus for the proposed amendments to the Zoning and General Plans. The proposed changes present no inherent compliance problems with either the Zoning or General Plan. Approval of the proposed changes could stimulate economic development in that sector of the City. The proposed zone change to Professional Office (PO) would be supported and complimented by the adjacent Regional Commercial zones to the west and other parcels to the north. The site is currently zoned as Parks and Recreation (PR) space.

The General Plan identifies the site for the purpose of serving as a relocation venue for Little League facility as well as the site of a future neighborhood park.

Section PSCF-I-12 of the General Plan Implementing Policies reads as follows:

- Acquire the land and funding to redevelop the Little League Park, relocating it from its current location on Iona Avenue to the possible park location at Cedar Lane and 19th ½ Avenue or another suitable location.
- The new Little League Park will also serve as a neighborhood park and shall have additional facilities other than baseball. The existing site will not be considered for other land uses until the relocation is complete.

However, Section PSCF-I-1 also states that: “The City also will maintain flexibility in the location and design of parks.”

Redesignation of this site results in a loss of 9.10 acres of potential recreational space out of a total 408.5 acres of existing and planned park acreage in the City. If necessary, the acreage loss can be mitigated through the selection of alternate City locations and of park spaces that are part of new development projects. Removal of this undeveloped acreage from the Parks & Recreation (PR) inventory has no adverse effect on the ratio of park space acreage per 1,000 residents, as set forth in the Quimby Act.

The Little League community has not expressed a need or desire to move from their current facility. The City has no immediate mandate on developing the site as park space. There is currently active interest in developing the site into Professional Office space, potentially sparking economic development in that sector of the City. There is no loss of actual, developed Park & Recreation (PR) space. There are no conflicts with General Plan or Zoning Ordinance compliance in changing the designation of the site.

The City Staff no longer see a need to reserve this property for the originally intended purpose of relocating the Little League fields, and recommend that the amendment be made to the General Plan and Zoning Ordinance re-designating the site from Parks & Recreation (PR) to the more economically viable Professional Office (PO) zone.

Environmental Assessment:

There is no specific project proposed for the site at this time; however the General Plan Environmental Impact Report (EIR) evaluated the potential impacts, such as noise, traffic, and cumulative impacts, when the site was planned for a little league baseball field. The proposed change would not be materially different from those impacts. Future proposed projects will be evaluated in accordance with the California Environmental Quality Act (CEQA). Staff recommends that the project be found to be Categorically Exempt from the requirements of the CEQA Guidelines Section 15061(b)(3) (Common Sense Exemption).

Recommended Approval Findings:

Staff recommends that the Commission make the following findings and recommend approval of the project to the City Council:

1. The General Plan Amendment is in the public interest, and the General Plan, as amended, will remain internally consistent. There are no adverse effects on state

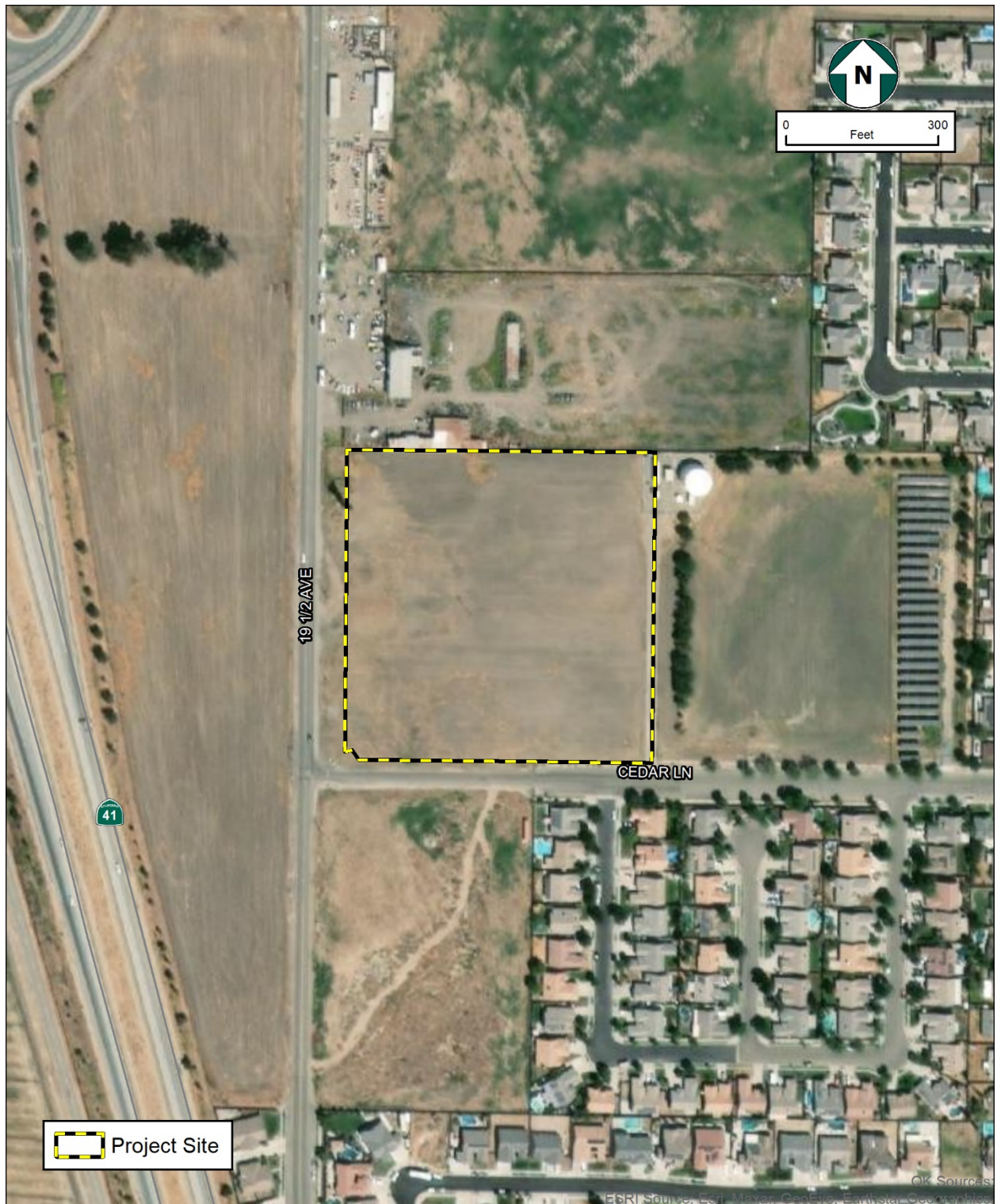
requirements for maintaining the ratio of park space acreage in relation to population. (Quimby Act)

2. The Zoning Map Amendment is consistent with the General Plan goals, policies, and implementation programs. The site is bounded on the north and west by similar and complimentary uses.

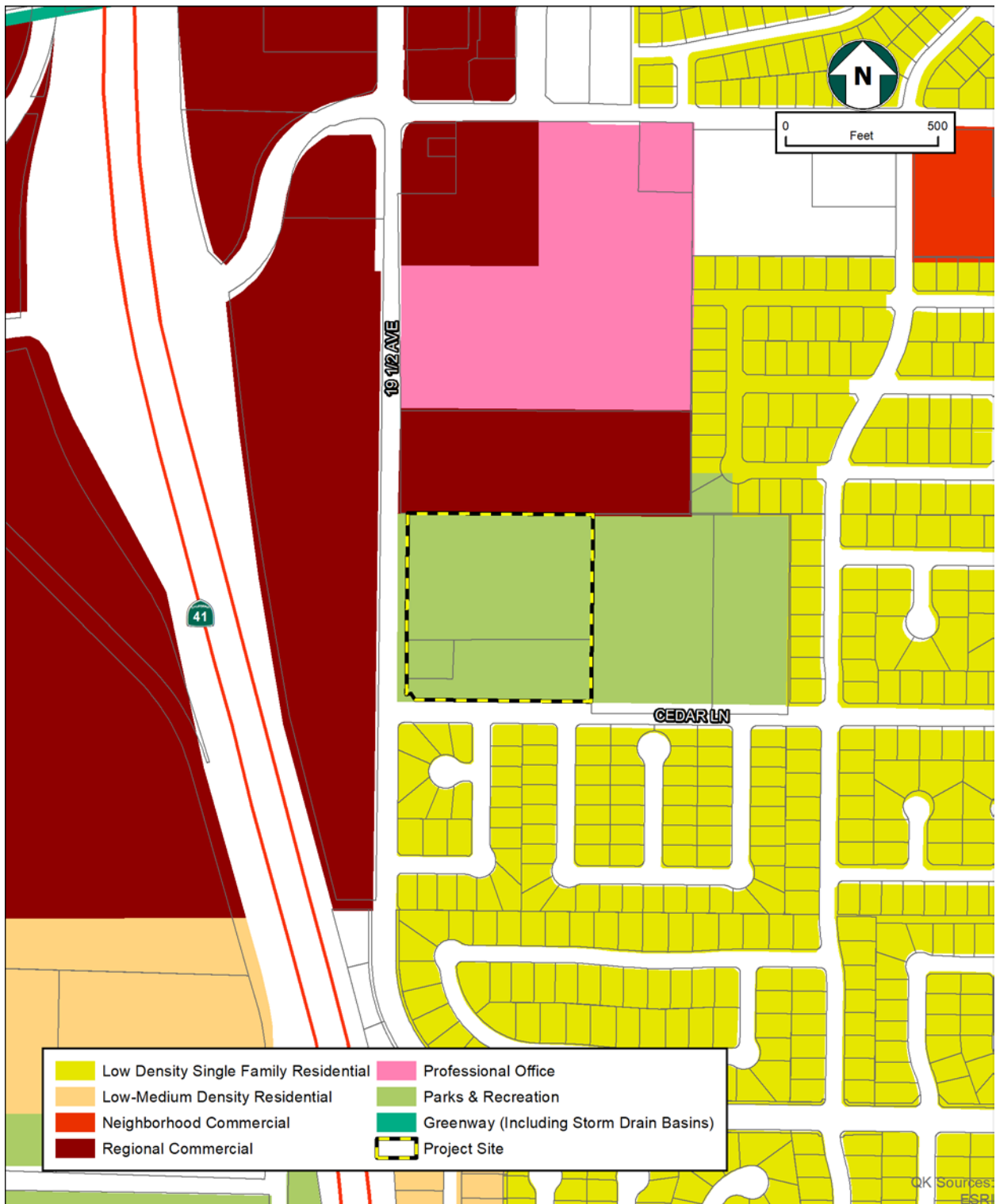
Attachments:

Site Location Map
Existing and Proposed General Plan Map
Existing and Proposed Zoning Map
Resolution No. 2021-03

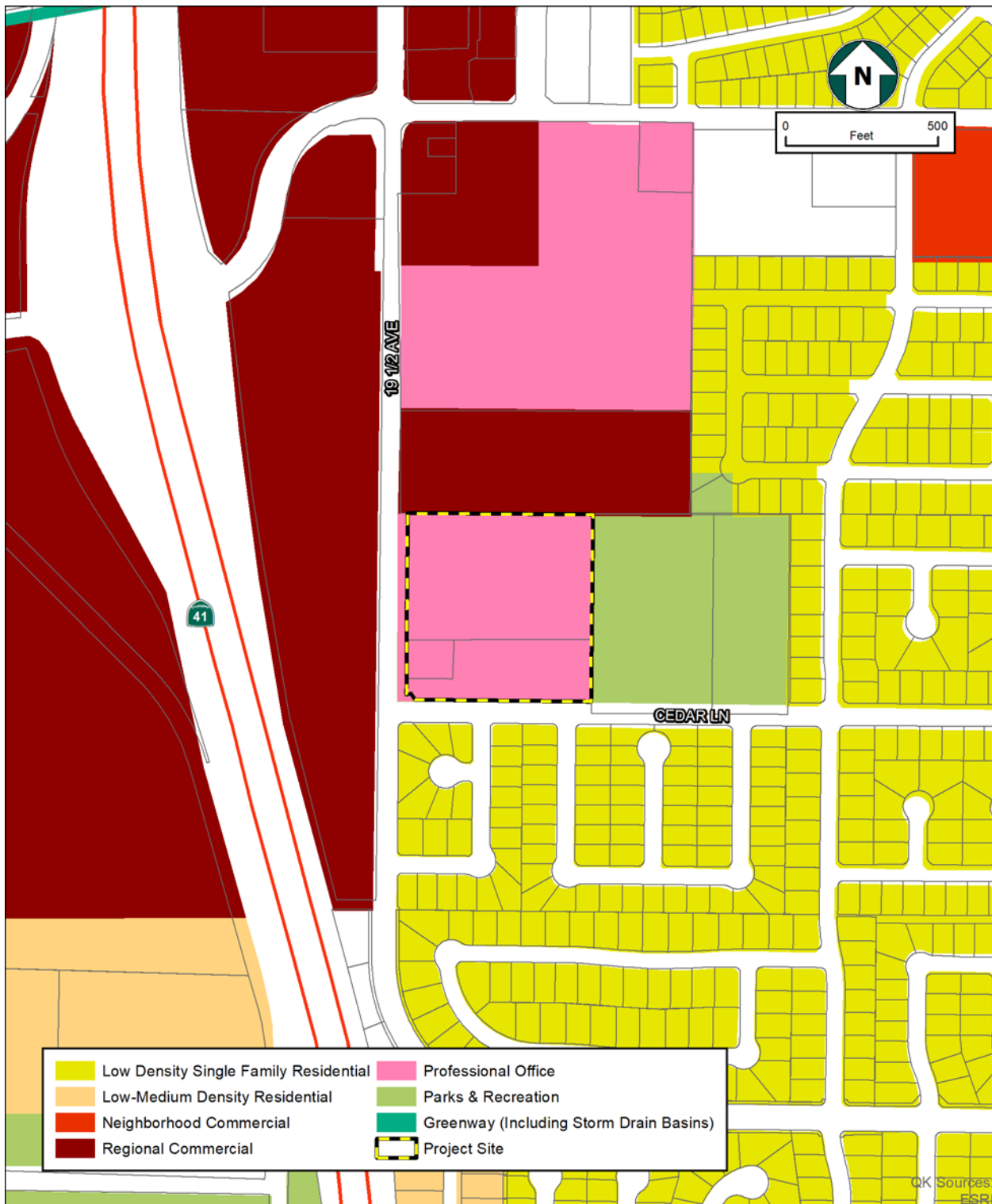
Site Location



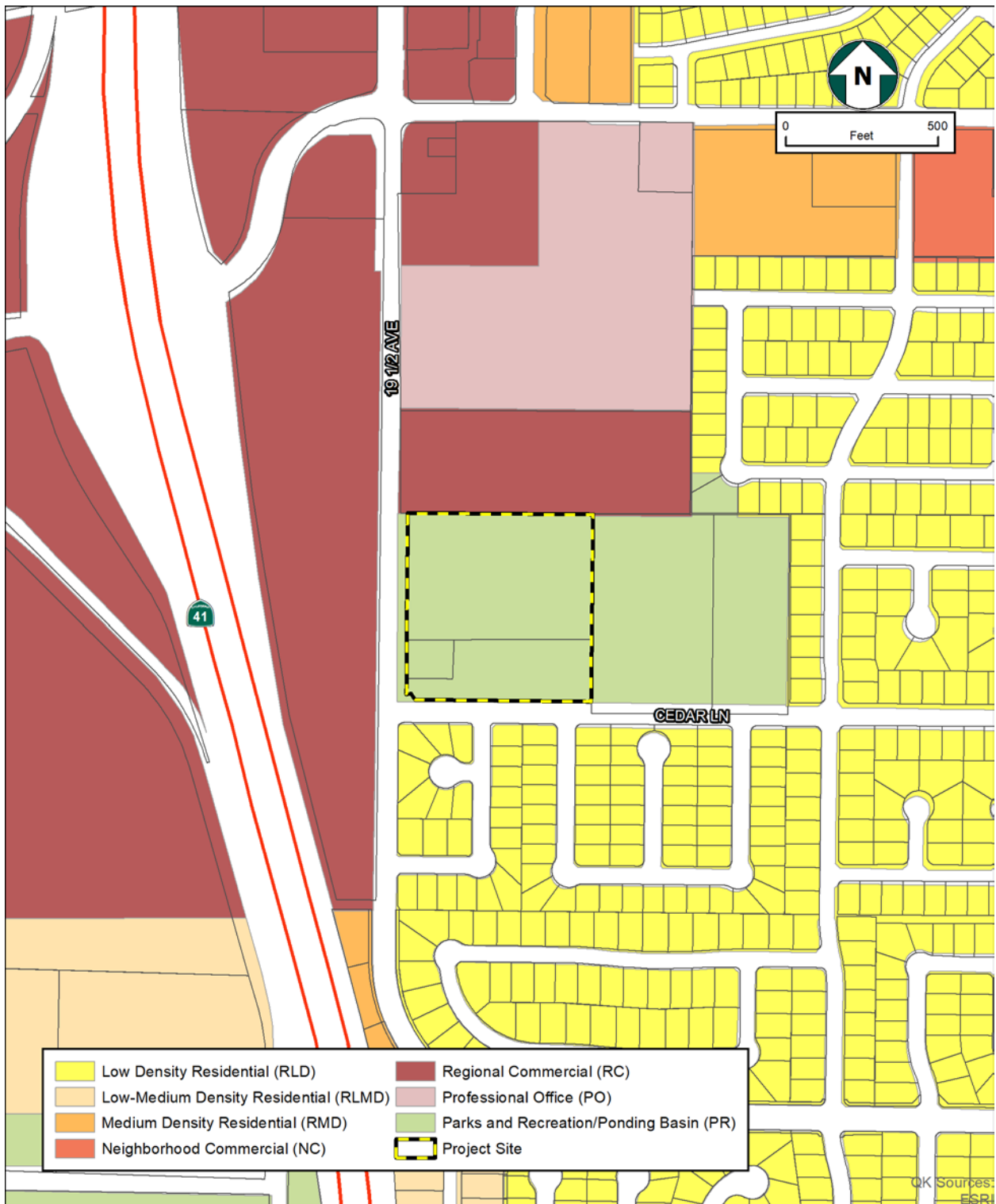
Existing General Plan



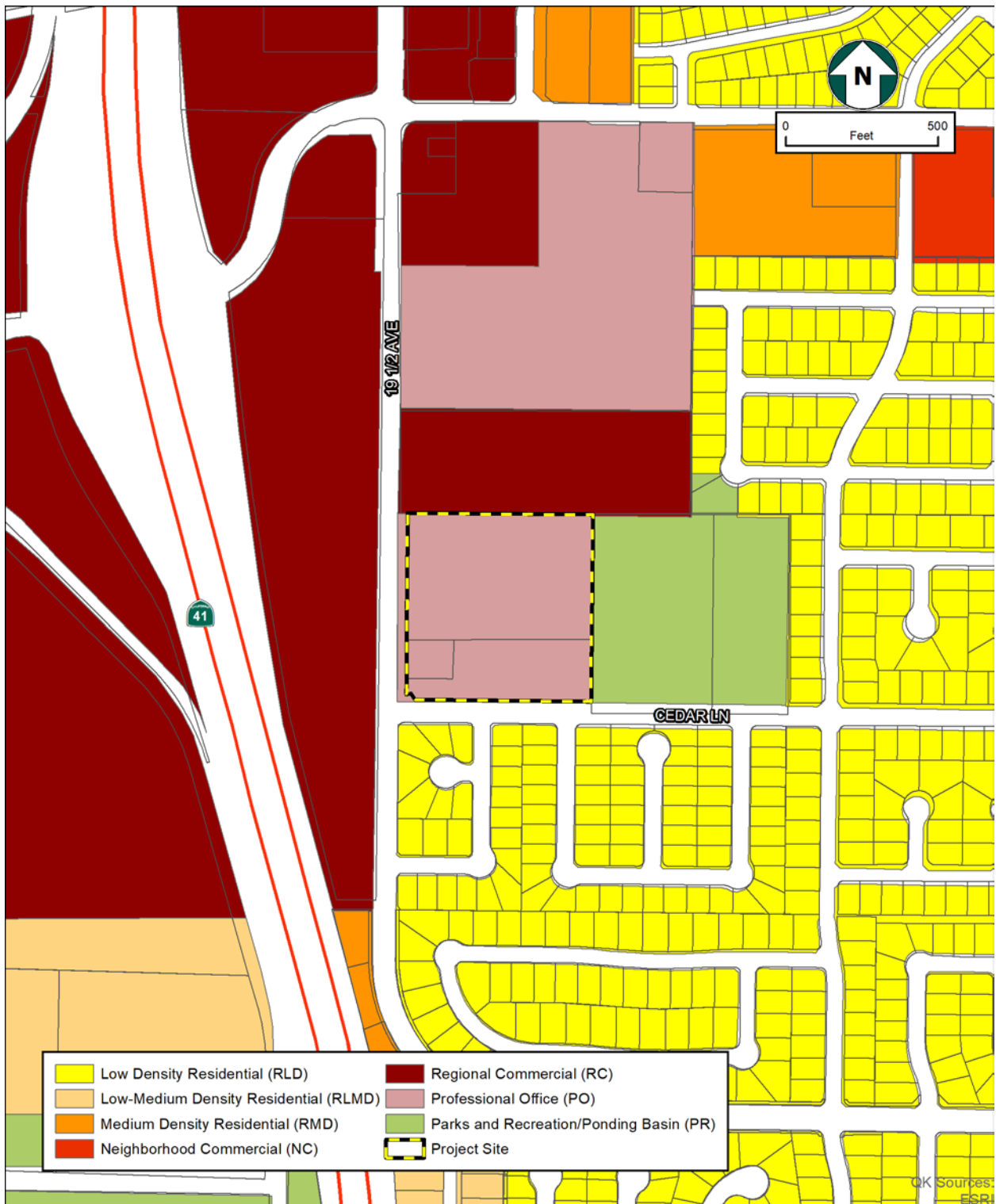
Proposed General Plan Amendment



Existing Zoning Map



Proposed Zoning Map Amendment



RESOLUTION NO. 2021-03

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LEMOORE
RECOMMENDING APPROVAL OF GENERAL PLAN AMENDMENT NO. 2021-01 AND
ZONING MAP AMENDMENT NO. 2021-01 LOCATED AT THE NORTHEAST CORNER OF 19 ½
AVENUE AT CEDAR LANE IN THE CITY OF LEMOORE

At a Regular Meeting of the Planning Commission of the City of Lemoore (City) duly called and held on March 8, 2021, at 7:00 p.m. on said day, it was moved by Commissioner Etchegoïn, seconded by Commissioner Dey, and carried that the following Resolution be adopted; and

WHEREAS, KKAL LP has requested approval of a General Plan Amendment and Zoning Map Amendment for three (3) parcels located at the northeast corner of 19 ½ Avenue at Cedar Lane, (APNs 023-400-001, 023-400-002, 023-400-003); and

WHEREAS, the proposed site is 9.10 acres in size, and is currently zoned Parks & Recreation (PR); and

WHEREAS, the project proposes a General Plan Amendment and Zoning Map Amendment to a designation and zone of Professional Office (PO); and

WHEREAS, there is no specific project proposed for the site; however the General Plan Environmental Impact Report (EIR) evaluated the potential impacts, such as noise, traffic, and cumulative impacts, when the site was planned for a little league baseball field; and

WHEREAS, impacts associated with the proposed General Plan Amendment and Zoning Map Amendment will not be materially different than the impacts identified for the planned little league baseball field; and

WHEREAS, it has been determined that the project is Categorically Exempt from further environmental review, pursuant to California Environmental Quality Act (CEQA) Guidelines 15061(b)(3) (Common Sense Exemption); and

WHEREAS, the City Planning Commission held a duly noticed public hearing at its March 8, 2021, meeting.

NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Lemoore hereby makes the following findings regarding the proposed projects, based on facts detailed in the March 8, 2021, staff report, which is hereby incorporated by reference, as well as the evidence and comments presented during the Public Hearing:

1. The general plan amendment is in the public interest, and the General Plan, as amended, will remain internally consistent. There are no adverse effects on state requirements for maintaining the ratio of park space acreage in relation to population.
2. The Zoning Map Amendment is consistent with the General Plan goals, policies, and implementation programs. The site is bounded on the north and west by similar and complimentary uses.
3. There are no potentially significant project-specific impacts peculiar to the site, nor are there potentially significant off-site impacts or cumulative impacts which were not

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discussed in the prior environmental impact report (EIR) prepared for the Lemoore General Plan. Mitigation measures and policies in the General Plan and General Plan EIR to protect environmental resources, such as cultural and tribal resources, shall apply to the project.

BE IT FURTHER RESOLVED that the Planning Commission of the City of Lemoore recommends approval of General Plan Amendment No. 2021-01 and Zoning Map Amendment No. 2021-01.

Passed and adopted at a Regular Meeting of the Planning Commission of the City of Lemoore held on March 8, 2021, by the following votes:

AYES: Etchegoin, Dey, Brewer, Clement, Nix, Meade

NOES:

ABSTAINING:

ABSENT: Franklin Recused Himself

APPROVED:



Ron Meade, Chairperson

ATTEST:



Kristie Baley, Commission Secretary

"In God We Trust"

Notice of Exemption

TO: ☐ Office of Planning and Research
1400 Tenth Street
Sacramento, CA 95814

☒ County Clerk
County of Kings
Kings County Government Center
Hanford, California 93230

FROM: City of Lemoore Community Development Dept.
711 W. Cinnamon Drive
Lemoore, CA 93245

PROJECT TITLE: General Plan Amendment No. 2021-01
and Zoning Map Amendment No. 2021-01

PROJECT APPLICANT: KKAL LP (John Kashian, Agent)

PROJECT LOCATION – City: Lemoore **County:** Kings

PROJECT LOCATION – Specific: Northeast corner of 19 ½ Avenue and Cedar Lane (APN 023-400-001, 023-400-002, and 023-400-003).

PROJECT DESCRIPTION: The applicant proposes a General Plan Amendment and Zoning Map Amendment from Parks and Recreation (PR) to Professional Office (PO). There is no specific project proposed for the site at this time. However, the General Plan Environmental Impact Report (EIR) evaluated the potential impacts, such as noise, traffic, and cumulative impacts, when the site was planned for a little league baseball field. The proposed change would not be materially different from those impacts. Future proposed project(s) will be evaluated in accordance with the California Environmental Quality Act (CEQA).

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of Lemoore

NAME, ADDRESS, & PHONE NUMBER OF PERSON OR AGENCY CARRYING OUT PROJECT:
KKAL LP, 265 E. River Park Circle, Ste 270, Fresno, CA 93720 (559) 437-4812

EXEMPT STATUS: *(check one)*

- ☐ Ministerial (Section 21080(b)(1); 15268);
☐ Declared Emergency (Section 21080(b)(4); 15269(a));
☐ Emergency Project (Section 21080(b)(4); 15269(b)(c));
☒ Categorical Exemption. State type and section number: 15061(b)(3)
☐ Statutory Exemptions. State code number: _____

REASONS WHY PROJECT IS EXEMPT: The activity is covered by the common sense exemption that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA.

LEAD AGENCY CONTACT PERSON:

Judy Holwell, Community Development Director
(559) 924-6744 Ext. 740

Signature

Date

Authority cited: Sections 21083 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, 21152.1, Public Resources Code.



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Staff Report

To: Lemoore City Council
From: Marisa Avalos, City Clerk
Date: April 14, 2021 **Meeting Date:** April 20, 2021
Subject: Activity Update

Strategic Initiative:	<input type="checkbox"/> Safe & Vibrant Community	<input type="checkbox"/> Growing & Dynamic Economy
	<input type="checkbox"/> Fiscally Sound Government	<input type="checkbox"/> Operational Excellence
	<input type="checkbox"/> Community & Neighborhood Livability	<input checked="" type="checkbox"/> Not Applicable

Reports

- | | |
|-------------------------------|----------------|
| ➤ Warrant Register – FY 20/21 | March 12, 2021 |
| ➤ Warrant Register – FY 20/21 | March 26, 2021 |

Warrant Register 4-02-2021

PEI
DATE: 04/08/2021
TIME: 15:34:28

CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

PAGE NUMBER: 1
AUDIT11

SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='cc040221'
ACCOUNTING PERIOD: 10/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4213 - CITY MANAGER

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220			OPERATING		SUPPLIES				
10/21	04/02/21	21		10121	3022 FIRST BANKCARD		26.81	.00	COPY PAPER
10/21	04/02/21	21		10121	3022 FIRST BANKCARD		26.81	.00	COPY PAPER
TOTAL			OPERATING		SUPPLIES	.00	53.62	.00	
TOTAL			CITY		MANAGER	.00	53.62	.00	

PEI
DATE: 04/08/2021
TIME: 15:34:28

CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

PAGE NUMBER: 2
AUDIT11

SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='CC040221'
ACCOUNTING PERIOD: 10/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4215 - FINANCE

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220			OPERATING		SUPPLIES				
10/21	04/02/21	21		10121	3022 FIRST BANKCARD		26.80	.00	COPY PAPER
10/21	04/02/21	21		10121	3022 FIRST BANKCARD		26.80	.00	COPY PAPER
TOTAL			OPERATING		SUPPLIES	.00	53.60	.00	
4389			BANK FEES AND CHARGES						
10/21	04/02/21	21		10119	3022 FIRST BANKCARD		39.00	.00	OVERLIMIT FEE TO BE C
TOTAL			BANK FEES AND CHARGES			.00	39.00	.00	
TOTAL			FINANCE			.00	92.60	.00	

PEI
DATE: 04/08/2021
TIME: 15:34:28

CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

PAGE NUMBER: 3
AUDIT11

SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='CC040221'
ACCOUNTING PERIOD: 10/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4216 - PLANNING

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220					OPERATING SUPPLIES				
10/21	04/02/21	21		10121	3022 FIRST BANKCARD		26.81	.00	COPY PAPER
10/21	04/02/21	21		10121	3022 FIRST BANKCARD		26.81	.00	COPY PAPER
10/21	04/02/21	21		10115	3022 FIRST BANKCARD		12.62	.00	OFFICE SUPPLIES
TOTAL					OPERATING SUPPLIES	.00	66.24	.00	
TOTAL					PLANNING	.00	66.24	.00	

PEI
DATE: 04/08/2021
TIME: 15:34:28

CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

PAGE NUMBER: 4
AUDIT11

SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='CC040221'
ACCOUNTING PERIOD: 10/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4220 - MAINTENANCE DIVISION

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220									
	10/21	04/02/21	21	10123	3022 FIRST BANKCARD		107.90	.00	BADGER 1XL- 1/3-HP DI
TOTAL						.00	107.90	.00	
4220S									
	10/21	04/02/21	21	10123	3022 FIRST BANKCARD		424.28	.00	LOVELAND KLEEN
	10/21	04/02/21	21	10123	3022 FIRST BANKCARD		428.73	.00	LOVELAND KLEEN
TOTAL						.00	853.01	.00	
TOTAL						.00	960.91	.00	

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='CC040221'
ACCOUNTING PERIOD: 10/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4221 - POLICE

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220					OPERATING SUPPLIES				
10/21	04/02/21	21		10119	3022 FIRST BANKCARD		429.00	.00	N95 MASKS-COVID
10/21	04/02/21	21		10114	3022 FIRST BANKCARD		287.38	.00	FILE CABINET FOR DECT
10/21	04/02/21	21		10119	3022 FIRST BANKCARD		402.19	.00	MICROCHIP READER FOR
10/21	04/02/21	21		10119	3022 FIRST BANKCARD		421.98	.00	PENS AND PENCILS FOR
10/21	04/02/21	21		10114	3022 FIRST BANKCARD		424.21	.00	FLASH DRIVES FOR DECT
10/21	04/02/21	21		10119	3022 FIRST BANKCARD		215.85	.00	AR15 END PLATE SLING
10/21	04/02/21	21		10120	3022 FIRST BANKCARD		137.99	.00	CLEANING SUPPLIES- CO
10/21	04/02/21	21		10119	3022 FIRST BANKCARD		138.63	.00	TRASH BAGS FOR ANIMAL
10/21	04/02/21	21		10119	3022 FIRST BANKCARD		449.82	.00	SINGLE POINT SLING-RI
10/21	04/02/21	21		10120	3022 FIRST BANKCARD		459.03	.00	SCANNER FOR CSO
10/21	04/02/21	21		10116	3022 FIRST BANKCARD		124.92	.00	TRASH CONTAINER FOR K
10/21	04/02/21	21		10125	3022 FIRST BANKCARD		84.81	.00	FILE CABINET FOR EVID
10/21	04/02/21	21		10119	3022 FIRST BANKCARD		92.40	.00	RAKE, SCRUB BRUSH AND
10/21	04/02/21	21		10124	3022 FIRST BANKCARD		96.06	.00	PURELL REFILLS (WALL
10/21	04/02/21	21		10119	3022 FIRST BANKCARD		98.13	.00	NOZZLE AND GARDEN HOS
10/21	04/02/21	21		10114	3022 FIRST BANKCARD		102.94	.00	1 TB HARD DRIVE FOR D
10/21	04/02/21	21		10119	3022 FIRST BANKCARD		147.74	.00	SNAKER BAGGER AND HOO
10/21	04/02/21	21		10119	3022 FIRST BANKCARD		149.76	.00	FOLDING NET, KENNELSO
10/21	04/02/21	21		10114	3022 FIRST BANKCARD		150.00	.00	WARRANT BUILDER-HENDE
10/21	04/02/21	21		10114	3022 FIRST BANKCARD		150.00	.00	WARRANT BUILDER-OBARR
10/21	04/02/21	21		10114	3022 FIRST BANKCARD		150.00	.00	WARRANT BUILDER-MALDO
10/21	04/02/21	21		10116	3022 FIRST BANKCARD		160.82	.00	5 CASES OF BOISE PAPE
10/21	04/02/21	21		10125	3022 FIRST BANKCARD		160.82	.00	5 CASES OF BOISE PAPE
10/21	04/02/21	21		10119	3022 FIRST BANKCARD		178.37	.00	RIFLE PARTS-MOE L2 PI
10/21	04/02/21	21		10120	3022 FIRST BANKCARD		186.51	.00	BATTERIES AAA AND AA
10/21	04/02/21	21		10119	3022 FIRST BANKCARD		193.19	.00	CAT/SKUNK TRAPS(2)
10/21	04/02/21	21		10119	3022 FIRST BANKCARD		211.00	.00	LANYARDS FOR NNO
10/21	04/02/21	21		10119	3022 FIRST BANKCARD		212.16	.00	GUN CLEANING CONCENTR
10/21	04/02/21	21		10116	3022 FIRST BANKCARD		19.28	.00	FAUSCET SINGLE HOLE C
10/21	04/02/21	21		10119	3022 FIRST BANKCARD		23.43	.00	POOP SCOOP-ANIMAL CON
10/21	04/02/21	21		10120	3022 FIRST BANKCARD		37.20	.00	ERGONOMIC WRIST REST
10/21	04/02/21	21		10114	3022 FIRST BANKCARD		32.13	.00	HEADPHONES FOR DETECT
10/21	04/02/21	21		10125	3022 FIRST BANKCARD		28.74	.00	CORK BOARD FOR EVIDEN
10/21	04/02/21	21		10119	3022 FIRST BANKCARD		51.37	.00	BIC WHITE-OUT CORRECT
10/21	04/02/21	21		10119	3022 FIRST BANKCARD		59.49	.00	TARP AND TIE STRAPS
10/21	04/02/21	21		10125	3022 FIRST BANKCARD		60.04	.00	CAR WASH BRUSHES
10/21	04/02/21	21		10114	3022 FIRST BANKCARD		66.65	.00	SUPPLIES FOR EVIDENCE
10/21	04/02/21	21		10116	3022 FIRST BANKCARD		75.06	.00	KITCHEN FAUCET
10/21	04/02/21	21		10114	3022 FIRST BANKCARD		75.06	.00	KEYBOARD TRAY FOR REC
10/21	04/02/21	21		10116	3022 FIRST BANKCARD		646.00	.00	CHILD ID KIT FOR NNO
10/21	04/02/21	21		10120	3022 FIRST BANKCARD		679.66	.00	CHAIRS (3) AND OFFICE
10/21	04/02/21	21	C736	-01	10119	3022 FIRST BANKCARD	124.41	-124.41	AR-15 GAPPERS
10/21	04/02/21	21	C736	-02	10119	3022 FIRST BANKCARD	103.45	-103.45	MOE GRIPS
10/21	04/02/21	21	C736	-03	10119	3022 FIRST BANKCARD	769.05	-17.09	MOE MVG VERTICAL GRIPS
10/21	04/02/21	21	C736	-04	10119	3022 FIRST BANKCARD	72.28	-17.76	TAX
10/21	04/02/21	21	C736	-05	10119	3022 FIRST BANKCARD	6.95	-6.95	SHIPPING

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PEI - FUND ACCOUNTING

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

PAGE NUMBER: 6
AUDIT11

SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='CC040221'
ACCOUNTING PERIOD: 10/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4221 - POLICE

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220	OPERATING SUPPLIES (cont'd)								
10/21	04/02/21	21	C736	-06 10119	3022 FIRST BANKCARD		863.60	-863.60	CHANGE ORDER 1 - PURCHASE
10/21	04/02/21	21	C736	-07 10119	3022 FIRST BANKCARD		62.61	-62.61	CHANGE ORDER 1- TAX
10/21	04/02/21	21	C736	-08 10119	3022 FIRST BANKCARD		6.95	-6.95	CHANGE ORDER 1- SHIPPING
TOTAL	OPERATING SUPPLIES					.00	9,879.12	-1,202.82	
4220U	OPERAT SUPPLIES- UNIFORMS								
10/21	04/02/21	21	C743	-01 10116	3022 FIRST BANKCARD		168.00	-168.00	VERITAS PLATE CARRIERS
10/21	04/02/21	21	C743	-02 10116	3022 FIRST BANKCARD		396.00	-396.00	SOFT BODY ARMOR
10/21	04/02/21	21	C743	-03 10116	3022 FIRST BANKCARD		40.89	-40.89	TAX
10/21	04/02/21	21	C743	-04 10116	3022 FIRST BANKCARD		14.53	-14.53	SHIPPING
10/21	04/02/21	21	C735	-01 10125	3022 FIRST BANKCARD		49.97	-49.97	ACCUMOLD ELITE MKILL MACE
10/21	04/02/21	21	C735	-02 10125	3022 FIRST BANKCARD		53.28	-53.28	ACCUMOLD ELITE HANDCUFF C
10/21	04/02/21	21	C735	-03 10125	3022 FIRST BANKCARD		24.97	-24.97	ACCUMOLD ELITE BELT KEEPE
10/21	04/02/21	21	C735	-04 10125	3022 FIRST BANKCARD		107.71	-107.71	MENS PDU LS TWILL CLASS A
10/21	04/02/21	21	C735	-05 10125	3022 FIRST BANKCARD		49.95	-49.95	EXPANDABLE BATON HOLDER
10/21	04/02/21	21	C735	-06 10125	3022 FIRST BANKCARD		54.94	-54.94	MAG POUCH
10/21	04/02/21	21	C735	-07 10125	3022 FIRST BANKCARD		39.96	-39.96	ACCUMOLD ELITE GLOVE CASE
10/21	04/02/21	21	C735	-08 10125	3022 FIRST BANKCARD		39.96	-39.96	ACCUMOLD ELITE SILENT KEY
10/21	04/02/21	21	C735	-09 10125	3022 FIRST BANKCARD		24.97	-24.97	MK3 FIRST DEFENSE PEPPER
10/21	04/02/21	21	C735	-10 10125	3022 FIRST BANKCARD		94.69	-94.69	PEERLESS MODEL 700 CHAIN
10/21	04/02/21	21	C735	-11 10125	3022 FIRST BANKCARD		191.08	-191.08	ASP 26IN EXPANDABLE BATON
10/21	04/02/21	21	C735	-12 10125	3022 FIRST BANKCARD		387.25	-387.25	SL-20P POLY RECHARGEABLE
10/21	04/02/21	21	C735	-13 10125	3022 FIRST BANKCARD		93.24	-93.24	ACCUMOLD ELITE UNIVERSAL
10/21	04/02/21	21	C735	-14 10125	3022 FIRST BANKCARD		87.87	-87.87	TAX
10/21	04/02/21	21	C735	-15 10125	3022 FIRST BANKCARD		9.79	-9.79	SHIPPING
10/21	04/02/21	21		10116	3022 FIRST BANKCARD		35.37	.00	RANGE SHIRT-WARD
10/21	04/02/21	21		10114	3022 FIRST BANKCARD		28.41	.00	SWAT LENS-JACQUES
10/21	04/02/21	21		10114	3022 FIRST BANKCARD		95.85	.00	SWAT GLASSES- K.ROGER
10/21	04/02/21	21		10125	3022 FIRST BANKCARD		117.96	.00	CLASS A UNIFORM PANTS
TOTAL	OPERAT SUPPLIES- UNIFORMS					.00	2,206.64	-1,929.05	
4310	PROFESSIONAL CONTRACT SVC								
10/21	04/02/21	21		10125	3022 FIRST BANKCARD		75.00	.00	DETECTIVES
TOTAL	PROFESSIONAL CONTRACT SVC					.00	75.00	.00	
4320	MEETINGS & DUES								
10/21	04/02/21	21		10114	3022 FIRST BANKCARD		38.60	.00	SHADOW BOX FOR EOW HA
10/21	04/02/21	21		10125	3022 FIRST BANKCARD		26.81	.00	SHADOW BOX PLATE FOR
TOTAL	MEETINGS & DUES					.00	65.41	.00	
4330	PRINTING & PUBLICATIONS								
10/21	04/02/21	21	C729	-01 10119	3022 FIRST BANKCARD		600.00	-600.00	BADGES
10/21	04/02/21	21	C729	-02 10119	3022 FIRST BANKCARD		550.00	-550.00	TATTOOS
10/21	04/02/21	21	C729	-03 10119	3022 FIRST BANKCARD		83.38	-83.38	TAX
10/21	04/02/21	21	C729	-04 10119	3022 FIRST BANKCARD		60.00	-60.00	SHIPPING
TOTAL	PRINTING & PUBLICATIONS					.00	1,293.38	-1,293.38	

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PEI - FUND ACCOUNTING

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

PAGE NUMBER: 7
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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='CC040221'
ACCOUNTING PERIOD: 10/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4221 - POLICE

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4330					PRINTING & PUBLICATIONS (cont'd)				
4335					POSTAGE & MAILING				
10/21	04/02/21	21		10114	3022 FIRST BANKCARD		10.27	.00	POSTAGE FOR SHIP EVID
TOTAL					POSTAGE & MAILING	.00	10.27	.00	
4340					UTILITIES				
10/21	04/02/21	21		10125	3022 FIRST BANKCARD		35.44	.00	WATER FILTRATION RENT
TOTAL					UTILITIES	.00	35.44	.00	
4360					TRAINING				
10/21	04/02/21	21		10116	3022 FIRST BANKCARD		-741.28	.00	REFUND FOR CANCELLED
10/21	04/02/21	21		10116	3022 FIRST BANKCARD		-625.91	.00	REFUND-FOR CANCELED T
10/21	04/02/21	21		10114	3022 FIRST BANKCARD		525.00	.00	RECORDS CLERK TRAININ
10/21	04/02/21	21		10114	3022 FIRST BANKCARD		96.00	.00	DRONE TEST FOR AVELAR
10/21	04/02/21	21		10114	3022 FIRST BANKCARD		185.00	.00	EVIDENCE MANAGEMENT-E
10/21	04/02/21	21		10116	3022 FIRST BANKCARD		740.10	.00	LODGING-TRAINING-CRED
10/21	04/02/21	21		10116	3022 FIRST BANKCARD		741.28	.00	LODGING - TRAINING CA
10/21	04/02/21	21		10116	3022 FIRST BANKCARD		755.65	.00	LODGING-TRAINING CRED
10/21	04/02/21	21	C733	-01 10114	3022 FIRST BANKCARD		28.83	-28.83	ORIGINAL PO
10/21	04/02/21	21	C733	-02 10114	3022 FIRST BANKCARD		2.52	-2.52	PO INCREASE
10/21	04/02/21	21	C733	-03 10114	3022 FIRST BANKCARD		4.33	-4.33	TAX
10/21	04/02/21	21	C734	-01 10114	3022 FIRST BANKCARD		811.15	-811.15	HOTEL-DET. OBARR ICI SEXU
10/21	04/02/21	21		10116	3022 FIRST BANKCARD		625.91	.00	LODGING - TRAINING CA
10/21	04/02/21	21		10124	3022 FIRST BANKCARD		446.38	.00	TRAINING-NOTARY RENEW
TOTAL					TRAINING	.00	3,594.96	-846.83	
TOTAL					POLICE	.00	17,160.22	-5,272.08	

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='CC040221'
ACCOUNTING PERIOD: 10/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4222 - FIRE

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220			OPERATING	SUPPLIES					
10/21	04/02/21	21		10117	3022 FIRST BANKCARD		212.36	.00	FOGGER/MISTER FOR COV
10/21	04/02/21	21		10117	3022 FIRST BANKCARD		107.28	.00	EQUIPMENT WIPES FOR C
10/21	04/02/21	21		10117	3022 FIRST BANKCARD		128.68	.00	2000PC MASKS FOR COVI
10/21	04/02/21	21		10117	3022 FIRST BANKCARD		264.00	.00	REPLACEMENT BATTERIES
10/21	04/02/21	21		10117	3022 FIRST BANKCARD		306.00	.00	REPLACEMENT BATTERIES
10/21	04/02/21	21		10117	3022 FIRST BANKCARD		-306.00	.00	REFUNDED BATTERIES
10/21	04/02/21	21		10117	3022 FIRST BANKCARD		45.78	.00	PPE FACE MASKS FOR ME
10/21	04/02/21	21		10117	3022 FIRST BANKCARD		47.19	.00	PRINTER INK FOR STATI
TOTAL			OPERATING	SUPPLIES		.00	805.29	.00	
TOTAL			FIRE			.00	805.29	.00	

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='CC040221'
ACCOUNTING PERIOD: 10/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4224 - BUILDING INSPECTION

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220			OPERATING SUPPLIES						
10/21	04/02/21	21		10115	3022 FIRST BANKCARD		52.33	.00	OFFICE SUPPLIES
10/21	04/02/21	21		10121	3022 FIRST BANKCARD		26.80	.00	COPY PAPER
10/21	04/02/21	21		10121	3022 FIRST BANKCARD		26.80	.00	COPY PAPER
10/21	04/02/21	21		10115	3022 FIRST BANKCARD		152.26	.00	OFFICE SUPPLIES
TOTAL			OPERATING SUPPLIES			.00	258.19	.00	
4360			TRAINING						
10/21	04/02/21	21		10115	3022 FIRST BANKCARD		140.00	.00	ONLINE LIVE WEBINAR3
TOTAL			TRAINING			.00	140.00	.00	
TOTAL			BUILDING INSPECTION			.00	398.19	.00	

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='CC040221'
ACCOUNTING PERIOD: 10/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4230 - PUBLIC WORKS

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220									
									OPERATING SUPPLIES
10/21	04/02/21	21		10121	3022 FIRST BANKCARD		26.81	.00	COPY PAPER
10/21	04/02/21	21		10121	3022 FIRST BANKCARD		26.81	.00	COPY PAPER
10/21	04/02/21	21		10115	3022 FIRST BANKCARD		16.78	.00	OFFICE SUPPLIES
TOTAL						.00	70.40	.00	
									OPERATING SUPPLIES
TOTAL						.00	70.40	.00	
									PUBLIC WORKS

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='CC040221'
ACCOUNTING PERIOD: 10/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4296 - INFORMATION TECHNOLOGY

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220			OPERATING SUPPLIES						
10/21	04/02/21	21		10121	3022 FIRST BANKCARD		13.88	.00	IPHONE COVER
10/21	04/02/21	21		10121	3022 FIRST BANKCARD		13.88	.00	IPHONE COVER
10/21	04/02/21	21		10121	3022 FIRST BANKCARD		13.88	.00	IPHONE COVER
10/21	04/02/21	21		10121	3022 FIRST BANKCARD		53.61	.00	ETHERNET SWITCH
10/21	04/02/21	21		10121	3022 FIRST BANKCARD		56.00	.00	OFFICE 365
10/21	04/02/21	21		10121	3022 FIRST BANKCARD		42.36	.00	PRINTER CARTIDGES
10/21	04/02/21	21		10121	3022 FIRST BANKCARD		42.89	.00	WIRELESS MOUSE
10/21	04/02/21	21		10121	3022 FIRST BANKCARD		468.25	.00	EMAIL
TOTAL			OPERATING SUPPLIES			.00	704.75	.00	
4340			UTILITIES						
10/21	04/02/21	21		10121	3022 FIRST BANKCARD		15.74	.00	RICHELIE IS DISPUTING T
TOTAL			UTILITIES			.00	15.74	.00	
TOTAL			INFORMATION TECHNOLOGY			.00	720.49	.00	
TOTAL			GENERAL FUND			.00	20,327.96	-5,272.08	

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='CC040221'
ACCOUNTING PERIOD: 10/21

FUND - 040 - FLEET MAINTENANCE
BUDGET UNIT - 4265 - FLEET MAINTENANCE

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220									
10/21	04/02/21	21		10126	3022 FIRST BANKCARD		5.20	.00	MR CLN MPC MEAD RAIN
TOTAL						.00	5.20	.00	
TOTAL						.00	5.20	.00	
TOTAL						.00	5.20	.00	

CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='CC040221'
ACCOUNTING PERIOD: 10/21

FUND - 045 - GOLF COURSE - CITY
BUDGET UNIT - 4245 - GOLF COURSE-CITY

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4000K	COST OF REVENUE-KITCHEN								
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		11.09	.00	FOODSTUFF
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		12.08	.00	FOODSTUFF
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		26.49	.00	FOODSTUFF
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		3.96	.00	FOODSTUFF
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		2.97	.00	FOODSTUFF
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		36.09	.00	FOODSTUFF
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		497.05	.00	FOODSTUFF
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		497.36	.00	FOODSTUFF
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		219.32	.00	FOODSTUFF
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		446.09	.00	FOODSTUFF
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		108.13	.00	FOODSTUFF
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		116.65	.00	FOODSTUFF
TOTAL	COST OF REVENUE-KITCHEN					.00	1,977.28	.00	
4000P	COST OF REVENUE-PRO SHOP								
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		62.04	.00	MERCHANDISE FOR RESAL
TOTAL	COST OF REVENUE-PRO SHOP					.00	62.04	.00	
4220K	OPERATING SUPPLIES-KITCH								
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		36.00	.00	KITCHEN SUPPLIES
TOTAL	OPERATING SUPPLIES-KITCH					.00	36.00	.00	
4220M	OPERATING SUPPLIES MAINT.								
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		37.32	.00	COURSE SUPPLIES
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		41.75	.00	COURSE SUPPLIES
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		123.33	.00	COURSE SUPPLIES
TOTAL	OPERATING SUPPLIES MAINT.					.00	202.40	.00	
4220P	OPERATING SUPPLIES-PRO SH								
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		197.33	.00	SIGNAGE FOR THE FIRST
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		40.17	.00	OFFICE SUPPLIES
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		28.95	.00	BUSINESS CARD-TONY AL
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		25.19	.00	OFFICE SUPPLIES
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		10.00	.00	JOB POSTING
TOTAL	OPERATING SUPPLIES-PRO SH					.00	301.64	.00	
4320	MEETINGS & DUES								
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		-130.00	.00	(CREDIT) SEMINAR REFU
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		130.00	.00	RECERTIFICATION PGA S
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		125.00	.00	SEMINAR FEE
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		640.00	.00	NCGA PLAYERS CLUB TOU
TOTAL	MEETINGS & DUES					.00	765.00	.00	
4340	UTILITIES								
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		200.00	.00	SEMINAR/RECERTIFICATI
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		185.57	.00	PHONE SERVICE

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='CC040221'
ACCOUNTING PERIOD: 10/21

FUND - 045 - GOLF COURSE - CITY
BUDGET UNIT - 4245 - GOLF COURSE-CITY

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4340									
					(cont'd)				
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		239.23	.00	CLUBHOUSE CABLE & SER
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		81.82	.00	PHONE SERVICE
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		53.50	.00	PHONE SERVICE
TOTAL						.00	760.12	.00	
4350									
10/21	04/02/21	21		10127	3022 FIRST BANKCARD		84.28	.00	PLUMBING SNAKE RENTAL
TOTAL						.00	84.28	.00	
TOTAL						.00	4,188.76	.00	
TOTAL						.00	4,188.76	.00	

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CITY OF LEMOORE
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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='CC040221'
ACCOUNTING PERIOD: 10/21

FUND - 050 - WATER
BUDGET UNIT - 4250 - WATER

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220					OPERATING SUPPLIES				
10/21	04/02/21	21		10121	3022 FIRST BANKCARD		26.80	.00	COPY PAPER
10/21	04/02/21	21		10121	3022 FIRST BANKCARD		26.80	.00	COPY PAPER
10/21	04/02/21	21		10126	3022 FIRST BANKCARD		471.88	.00	AMBER/WHITE TRAFFIC A
10/21	04/02/21	21	C730	-01 10126	3022 FIRST BANKCARD		1,067.40	-1,067.40	481301 ARSENIC LOW RANGE
10/21	04/02/21	21	C730	-02 10126	3022 FIRST BANKCARD		77.38	-77.38	TAX
TOTAL					OPERATING SUPPLIES	.00	1,670.26	-1,144.78	
4310					PROFESSIONAL CONTRACT SVC				
10/21	04/02/21	21		10126	3022 FIRST BANKCARD		18.00	.00	40 G ST SCADA INTERNE
TOTAL					PROFESSIONAL CONTRACT SVC	.00	18.00	.00	
TOTAL					WATER	.00	1,688.26	-1,144.78	
TOTAL					WATER	.00	1,688.26	-1,144.78	

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CITY OF LEMOORE
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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='CC040221'
ACCOUNTING PERIOD: 10/21

FUND - 056 - REFUSE
BUDGET UNIT - 4256 - REFUSE

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220									
10/21	04/02/21	21		10126	3022 FIRST BANKCARD		24.23	.00	MR CLN MPC MEAD RAIN
TOTAL						.00	24.23	.00	
TOTAL						.00	24.23	.00	
TOTAL						.00	24.23	.00	

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='CC040221'
ACCOUNTING PERIOD: 10/21

FUND - 060 - SEWER& STORM WTR DRAINAGE
BUDGET UNIT - 4260 - SEWER

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220					OPERATING SUPPLIES				
10/21	04/02/21	21		10121	3022 FIRST BANKCARD		26.80	.00	COPY PAPER
10/21	04/02/21	21		10121	3022 FIRST BANKCARD		26.80	.00	COPY PAPER
TOTAL					OPERATING SUPPLIES	.00	53.60	.00	
4335					POSTAGE & MAILING				
10/21	04/02/21	21	C737	-01 10126	3022 FIRST BANKCARD		337.89	-337.89	SHIP WATER SAMPLES TO GSE
10/21	04/02/21	21	C737	-02 10126	3022 FIRST BANKCARD		.94	- .94	TAXES
10/21	04/02/21	21	C738	-01 10113	3022 FIRST BANKCARD		701.99	-701.99	NEXT DAY SHIPPING OF WATE
10/21	04/02/21	21	C738	-02 10126	3022 FIRST BANKCARD		169.40	-169.40	NEXT DAY SHIPPING OF WATE
10/21	04/02/21	21	C738	-03 10113	3022 FIRST BANKCARD		3.84	-3.84	TAX
TOTAL					POSTAGE & MAILING	.00	1,214.06	-1,214.06	
4350					REPAIR/MAINT SERVICES				
10/21	04/02/21	21	C731	-01 10126	3022 FIRST BANKCARD		2,204.00	-2,204.00	2 TRUCKS - CEMENT SLURRY
10/21	04/02/21	21	C731	-02 10126	3022 FIRST BANKCARD		24.00	-24.00	TRUCK FUEL SURCHARGE
10/21	04/02/21	21	C731	-03 10126	3022 FIRST BANKCARD		80.00	-80.00	ENVIRONMENTAL CHARGE
10/21	04/02/21	21	C731	-04 10126	3022 FIRST BANKCARD		167.34	-167.34	TAX
TOTAL					REPAIR/MAINT SERVICES	.00	2,475.34	-2,475.34	
TOTAL					SEWER	.00	3,743.00	-3,689.40	
TOTAL					SEWER& STORM WTR DRAINAGE	.00	3,743.00	-3,689.40	

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CITY OF LEMOORE
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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='CC040221'
ACCOUNTING PERIOD: 10/21

FUND - 085 - PBIA
BUDGET UNIT - 4270 - PBIA

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220			OPERATING SUPPLIES						
10/21	04/02/21	21		10122	3022 FIRST BANKCARD		525.48	.00	DOWNTOWN EASTER CELEB
10/21	04/02/21	21		10118	3022 FIRST BANKCARD		250.00	.00	DOWNTOWN EASTER CELEB
10/21	04/02/21	21		10118	3022 FIRST BANKCARD		265.98	.00	DOWNTOWN EASTER CELEB
10/21	04/02/21	21		10118	3022 FIRST BANKCARD		214.20	.00	DOWNTOWN EASTER CELEB
TOTAL			OPERATING SUPPLIES			.00	1,255.66	.00	
TOTAL			PBIA			.00	1,255.66	.00	
TOTAL			PBIA			.00	1,255.66	.00	
TOTAL			REPORT			.00	31,233.07	-10,106.26	

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

FUND - 155 - HOUSING AUTHORITY FUND
BUDGET UNIT - 4953 - HOUSING AUTHORITY FUNDS

PEI - FUND ACCOUNTING

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM040921'
ACCOUNTING PERIOD: 10/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4213 - CITY MANAGER

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220									
10/21	04/08/21	21		10165	5396 OFFICE DEPOT		42.49	.00	BOX, STOR
TOTAL						.00	42.49	.00	
4310									
10/21	04/08/21	21		10178	5352 SHRED-IT USA, IN		9.00	.00	SHRED - PUBLIC WORKS
TOTAL						.00	9.00	.00	
TOTAL					CITY MANAGER	.00	51.49	.00	

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CITY OF LEMOORE
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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM040921'
ACCOUNTING PERIOD: 10/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4214 - CITY CLERK'S OFFICE

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4330									
10/21	04/08/21	21	10426	-01 10181	7181 SANTA MARIA CALI		1,095.03	-1,095.03	MAR 21 BLANKET PO-LEG
TOTAL						.00	1,095.03	-1,095.03	
TOTAL						.00	1,095.03	-1,095.03	

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM040921'
ACCOUNTING PERIOD: 10/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4215 - FINANCE

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220									
10/21	04/08/21	21		10170	5425 PTM DOCUMENT SYS		76.86	.00	DWE, w2/1099 NEC 2UP
TOTAL						.00	76.86	.00	
TOTAL						.00	76.86	.00	

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CITY OF LEMOORE
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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM040921'
ACCOUNTING PERIOD: 10/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4216 - PLANNING

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4310									
10/21	04/08/21	21		10178	5352 SHRED-IT USA, IN		9.00	.00	SHRED - PUBLIC WORKS
TOTAL						.00	9.00	.00	
TOTAL						.00	9.00	.00	

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CITY OF LEMOORE
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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM040921'
ACCOUNTING PERIOD: 10/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4220 - MAINTENANCE DIVISION

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220					OPERATING SUPPLIES				
10/21	04/08/21	21		10136	7205 CENCAL AUTO & TR		19.29	.00	BLADE
10/21	04/08/21	21		10136	7205 CENCAL AUTO & TR		23.13	.00	PULL PIN ASSEMBLY/PIN
10/21	04/08/21	21		10186	0474 WEST VALLEY SUPP		35.51	.00	CC, .700 DRIP COMPRES
10/21	04/08/21	21		10161	5333 MEDALLION SUPPLY		97.17	.00	LED LAMP
10/21	04/08/21	21		10186	0474 WEST VALLEY SUPP		164.09	.00	TRASH GATOR 33IN
10/21	04/08/21	21		10146	5866 FASTENAL COMPANY		193.05	.00	SAFTY GLASSES
TOTAL					OPERATING SUPPLIES	.00	532.24	.00	
4220S					STREETS-OPERATING SUPPLIE				
10/21	04/08/21	21		10186	0474 WEST VALLEY SUPP		39.85	.00	2" GRAY COUPLING
10/21	04/08/21	21		10186	0474 WEST VALLEY SUPP		-2.49	.00	2" GRAY COUPLING
10/21	04/08/21	21	10715 -01	10161	5333 MEDALLION SUPPLY		2,024.88	-2,024.88	STREET LIGHT FUSE HOLDERS
TOTAL					STREETS-OPERATING SUPPLIE	.00	2,062.24	-2,024.88	
4310					PROFESSIONAL CONTRACT SVC				
10/21	04/08/21	21		10178	5352 SHRED-IT USA, IN		3.00	.00	SHRED - PUBLIC WORKS
TOTAL					PROFESSIONAL CONTRACT SVC	.00	3.00	.00	
4340					UTILITIES				
10/21	04/08/21	21		10179	0423 SOCALGAS		80.69	.00	02/18/21-03/19/21
10/21	04/08/21	21		10179	0423 SOCALGAS		91.01	.00	02/18/21-03/19/21
10/21	04/08/21	21		10179	0423 SOCALGAS		139.73	.00	02/22/21-03/23/21
10/21	04/08/21	21		10179	0423 SOCALGAS		46.09	.00	02/18/21-03/19/21
10/21	04/08/21	21		10179	0423 SOCALGAS		285.80	.00	02/22/21-03/23/21
10/21	04/08/21	21		10179	0423 SOCALGAS		322.63	.00	02/18/21-03/19/21
10/21	04/08/21	21		10179	0423 SOCALGAS		900.03	.00	02/18/21-03/19/21
TOTAL					UTILITIES	.00	1,865.98	.00	
4350					REPAIR/MAINT SERVICES				
10/21	04/08/21	21		10148	7176 FLOW TECH		343.24	.00	FEBCO 825Y REBUILD KI
TOTAL					REPAIR/MAINT SERVICES	.00	343.24	.00	
TOTAL					MAINTENANCE DIVISION	.00	4,806.70	-2,024.88	

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CITY OF LEMOORE
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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM040921'
ACCOUNTING PERIOD: 10/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4221 - POLICE

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220									
									OPERATING SUPPLIES
10/21	04/08/21	21		10128	3010 THE ANIMAL HOUSE		42.85	.00	DIAMOND PRO
10/21	04/08/21	21	10719	-01 10150	2960 GALLS		2,400.00	-2,400.00	AVON MAX PRO POLICE IIIA
10/21	04/08/21	21	10719	-02 10150	2960 GALLS		10.00	-10.00	SHIPPING
10/21	04/08/21	21	10719	-03 10150	2960 GALLS		174.00	-174.00	TAX
10/21	04/08/21	21	10667	-01 10175	0531 SAN DIEGO POLICE		1,524.55	-1,524.55	FEDERAL HST 9MM 147GR JHP
10/21	04/08/21	21	10667	-02 10175	0531 SAN DIEGO POLICE		2,143.80	-2,143.80	SPEER LAWMAN 9MM 147GR TM
10/21	04/08/21	21	10667	-03 10175	0531 SAN DIEGO POLICE		6,441.00	-6,441.00	FEDERAL TATICAL BONDED .2
10/21	04/08/21	21	10667	-04 10175	0531 SAN DIEGO POLICE		3,871.40	-3,871.40	FEDERAL .223 55GR FMJ-BT
10/21	04/08/21	21	10667	-05 10175	0531 SAN DIEGO POLICE		1,013.60	-1,013.60	TAX
TOTAL						.00	17,621.20	-17,578.35	
4220U									OPERAT SUPPLIES- UNIFORMS
10/21	04/08/21	21	10701	-01 10150	2960 GALLS		459.00	-459.00	ACCUMOLD ELITE MKILL MACE
10/21	04/08/21	21	10701	-03 10150	2960 GALLS		33.28	-33.28	TAX
TOTAL						.00	492.28	-492.28	
4310									PROFESSIONAL CONTRACT SVC
10/21	04/08/21	21	10498	-01 10141	6939 CRAYON SOFTWARE		63.27	-63.27	ESD EXCHG STDCAL 2019 SNG
TOTAL						.00	63.27	-63.27	
4360									TRAINING
10/21	04/08/21	21		10173	T786 KYLE REYNOLDS		42.00	.00	PERISHABLE SKILLS UPD
10/21	04/08/21	21		10149	0719 FRESNO CITY COLL		153.00	.00	REGISTRATION
TOTAL						.00	195.00	.00	
4380									RENTALS & LEASES
10/21	04/08/21	21		10134	1817 C.A. REDING COMP		251.10	.00	05/01/2021-07/31/21
TOTAL						.00	251.10	.00	
4840									AUTOS AND TRUCKS
10/21	04/08/21	21	10339	-01 10169	7220 PLAIN INSANE GRA		600.00	-600.00	#2550 NEW LOGO WITH FLAG
10/21	04/08/21	21	10339	-02 10169	7220 PLAIN INSANE GRA		250.00	-250.00	#2550 INSTALL OF DECALL
10/21	04/08/21	21	10339	-03 10169	7220 PLAIN INSANE GRA		43.50	-43.50	TAX
TOTAL						.00	893.50	-893.50	
TOTAL						.00	19,516.35	-19,027.40	POLICE

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PEI - FUND ACCOUNTING

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM040921'
ACCOUNTING PERIOD: 10/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4222 - FIRE

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220									
	10/21	04/08/21	21	10135	2161 CASCADE FIRE		130.39	.00	GLOVES
TOTAL						.00	130.39	.00	
4230									
	10/21	04/08/21	21	10159	0314 LEMOORE AUTO SUP		83.53	.00	NO TOUCH TIRE FOAM
	10/21	04/08/21	21	10159	0314 LEMOORE AUTO SUP		17.13	.00	CARB/CHOKE SPRY CLNR
TOTAL						.00	100.66	.00	
4340									
	10/21	04/08/21	21	10185	0116 VERIZON WIRELESS		190.05	.00	02/24/2021-03/23/2021
TOTAL						.00	190.05	.00	
TOTAL					FIRE	.00	421.10	.00	

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM040921'
ACCOUNTING PERIOD: 10/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4224 - BUILDING INSPECTION

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4310									
	10/21	04/08/21	21	10178	5352 SHRED-IT USA, IN		6.00	.00	SHRED - PUBLIC WORKS
TOTAL						.00	6.00	.00	
4330									
	10/21	04/08/21	21	10144	6405 EINERSON'S PREPR		140.37	.00	BUILDING/DANGER SIGN
	10/21	04/08/21	21	10144	6405 EINERSON'S PREPR		140.37	.00	STOP NOTICE
TOTAL						.00	280.74	.00	
TOTAL						.00	286.74	.00	

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM040921'
ACCOUNTING PERIOD: 10/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4230 - PUBLIC WORKS

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4310									
10/21	04/08/21	21		10178	5352 SHRED-IT USA, IN		9.00	.00	SHRED - PUBLIC WORKS
TOTAL						.00	9.00	.00	
TOTAL						.00	9.00	.00	

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

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AUDIT11

SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM040921'
ACCOUNTING PERIOD: 10/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4231 - STREETS

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4310									
10/21	04/08/21	21	10492	-01 10147	5758 MARK FERNANDES		500.00	-500.00	LANDSCAPING AT CMC - 500/
10/21	04/08/21	21	10492	-02 10147	5758 MARK FERNANDES		200.00	-200.00	LANDSCAPING AT PD - 200MO
TOTAL						.00	700.00	-700.00	
4350									
10/21	04/08/21	21		10172	0388 REED ELECTRIC, L		324.39	.00	GOLF COURSE PLANTERS
TOTAL						.00	324.39	.00	
TOTAL					STREETS	.00	1,024.39	-700.00	

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM040921'
ACCOUNTING PERIOD: 10/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4241 - PARKS

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220									
					OPERATING SUPPLIES				
10/21	04/08/21	21		10186	0474 WEST VALLEY SUPP		404.12	.00	9 VOLT BATTERY GEN.
10/21	04/08/21	21		10186	0474 WEST VALLEY SUPP		96.76	.00	1" ELECTRIC GLOBE VAL
TOTAL					OPERATING SUPPLIES	.00	500.88	.00	
TOTAL					PARKS	.00	500.88	.00	

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

PAGE NUMBER: 12
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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM040921'
ACCOUNTING PERIOD: 10/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4242 - RECREATION

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4310									
10/21	04/08/21	21		10178	5352 SHRED-IT USA, IN		3.00	.00	SHRED - PUBLIC WORKS
10/21	04/08/21	21		10139	6731 FLORENCE COLBY		164.50	.00	MARCH ZUMBA
TOTAL					PROFESSIONAL CONTRACT SVC	.00	167.50	.00	
TOTAL					RECREATION	.00	167.50	.00	

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM040921'
ACCOUNTING PERIOD: 10/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4296 - INFORMATION TECHNOLOGY

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4340									
	10/21	04/08/21	21	10166	7070 PANTERRA NETWORK		1,564.54	.00	03/01/21-04/30/21
	10/21	04/08/21	21	10129	5516 AT&T		48.94	.00	939-103-4007
TOTAL						.00	1,613.48	.00	
TOTAL						.00	1,613.48	.00	

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CITY OF LEMOORE
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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM040921'
ACCOUNTING PERIOD: 10/21

FUND - 001 - GENERAL FUND
BUDGET UNIT - 4297 - HUMAN RESOURCES

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4310									
10/21	04/08/21	21	10425	-01 10156	6543 KINGS INDUSTRIAL		472.00	-472.00	HR REQUIRED TESTING
TOTAL						.00	472.00	-472.00	
TOTAL						.00	472.00	-472.00	
TOTAL						.00	30,050.52	-23,319.31	

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CITY OF LEMOORE
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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM040921'
ACCOUNTING PERIOD: 10/21

FUND - 040 - FLEET MAINTENANCE
BUDGET UNIT - 4265 - FLEET MAINTENANCE

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220					OPERATING SUPPLIES				
10/21	04/08/21	21	10334 -01	10151	0068 GARY V. BURROWS,		1,161.86	-1,161.86	BLANKET PO FOR OIL
10/21	04/08/21	21		10136	7205 CENCAL AUTO & TR		9.63	.00	GUN COUP
10/21	04/08/21	21		10136	7205 CENCAL AUTO & TR		14.25	.00	HAND PADS
10/21	04/08/21	21		10136	7205 CENCAL AUTO & TR		41.18	.00	AA INDUSTRIAL BATTERY
10/21	04/08/21	21		10164	6120 O'REILLY AUTO PA		139.41	.00	301BR134A
10/21	04/08/21	21		10182	7136 THERMO KING OF C		169.67	.00	NUT, WHEEL
TOTAL					OPERATING SUPPLIES	.00	1,536.00	-1,161.86	
4220F					OPERATING SUPPLIES FUEL				
10/21	04/08/21	21	10367 -01	10151	0068 GARY V. BURROWS,		9,999.93	-9,999.93	BLANKET PO FOR FUEL
TOTAL					OPERATING SUPPLIES FUEL	.00	9,999.93	-9,999.93	
4230					REPAIR/MAINT SUPPLIES				
10/21	04/08/21	21		10136	7205 CENCAL AUTO & TR		175.14	.00	NAPA CABIN AIR FILTER
10/21	04/08/21	21		10158	0286 LAWRENCE TRACTOR		186.28	.00	WHEEL HUB
10/21	04/08/21	21		10136	7205 CENCAL AUTO & TR		168.51	.00	AIR FILTER
10/21	04/08/21	21		10136	7205 CENCAL AUTO & TR		222.10	.00	THROTTLE BODY INJECTI
10/21	04/08/21	21		10136	7205 CENCAL AUTO & TR		245.77	.00	EMER SERVICE ROTORS
10/21	04/08/21	21		10136	7205 CENCAL AUTO & TR		314.69	.00	OIL/AIR/FUEL FILTER
10/21	04/08/21	21		10136	7205 CENCAL AUTO & TR		41.76	.00	RELAY
10/21	04/08/21	21		10136	7205 CENCAL AUTO & TR		36.33	.00	OIL FILTER
10/21	04/08/21	21		10136	7205 CENCAL AUTO & TR		36.33	.00	OIL FILTER
10/21	04/08/21	21		10136	7205 CENCAL AUTO & TR		39.23	.00	NAPA CABIN AIR FILTER
10/21	04/08/21	21		10136	7205 CENCAL AUTO & TR		28.16	.00	AIR FILTER
10/21	04/08/21	21		10136	7205 CENCAL AUTO & TR		20.16	.00	SWITCH/ENR MAX AA-4 B
10/21	04/08/21	21		10136	7205 CENCAL AUTO & TR		7.50	.00	DRAIN PLUG
10/21	04/08/21	21		10182	7136 THERMO KING OF C		51.20	.00	SPRING BRAKE
10/21	04/08/21	21		10136	7205 CENCAL AUTO & TR		51.81	.00	OIL DRAIN PLUG/DOME/I
10/21	04/08/21	21		10158	0286 LAWRENCE TRACTOR		65.48	.00	MOWER BLAD
10/21	04/08/21	21		10153	6146 HANFORD CHRYSLER		71.17	.00	AG HOSE RADI
10/21	04/08/21	21		10182	7136 THERMO KING OF C		134.49	.00	KIT 20K NOT F05C
10/21	04/08/21	21		10136	7205 CENCAL AUTO & TR		129.65	.00	22IN ENXACT FILT BLAD
TOTAL					REPAIR/MAINT SUPPLIES	.00	2,025.76	.00	
4350					REPAIR/MAINT SERVICES				
10/21	04/08/21	21		10154	3088 JONES TOWING, IN		60.00	.00	LOCKOUT 2014 FORD F35
10/21	04/08/21	21		10176	5615 SAUNDERS AUTOMAT		62.16	.00	KIT-FILTER
10/21	04/08/21	21	10385 -01	10130	0056 BILLINGSLEY TIRE		20.00	-20.00	TIRE REPAIR/REPLACEMENT
10/21	04/08/21	21	10385 -01	10130	0056 BILLINGSLEY TIRE		25.00	-25.00	TIRE REPAIR/REPLACEMENT
10/21	04/08/21	21	10385 -01	10130	0056 BILLINGSLEY TIRE		49.50	-49.50	TIRE REPAIR/REPLACEMENT
10/21	04/08/21	21	10385 -01	10130	0056 BILLINGSLEY TIRE		58.74	-58.74	TIRE REPAIR/REPLACEMENT
10/21	04/08/21	21	10385 -01	10130	0056 BILLINGSLEY TIRE		126.31	-126.31	TIRE REPAIR/REPLACEMENT
10/21	04/08/21	21	10385 -01	10130	0056 BILLINGSLEY TIRE		139.50	-139.50	TIRE REPAIR/REPLACEMENT
10/21	04/08/21	21	10385 -01	10130	0056 BILLINGSLEY TIRE		709.13	-709.13	TIRE REPAIR/REPLACEMENT
10/21	04/08/21	21	10385 -01	10130	0056 BILLINGSLEY TIRE		709.13	-709.13	TIRE REPAIR/REPLACEMENT
10/21	04/08/21	21	10385 -01	10130	0056 BILLINGSLEY TIRE		709.13	-709.13	TIRE REPAIR/REPLACEMENT

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PEI - FUND ACCOUNTING

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM040921'
ACCOUNTING PERIOD: 10/21

FUND - 040 - FLEET MAINTENANCE
BUDGET UNIT - 4265 - FLEET MAINTENANCE

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4350									
									(cont'd)
10/21	04/08/21	21	10385	-01 10130	0056 BILLINGSLEY TIRE		1,175.74	-1,175.74	TIRE REPAIR/REPLACEMENT
TOTAL						.00	3,844.34	-3,722.18	
TOTAL						.00	17,406.03	-14,883.97	
TOTAL						.00	17,406.03	-14,883.97	

CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='vm040921'
ACCOUNTING PERIOD: 10/21

FUND - 045 - GOLF COURSE - CITY
BUDGET UNIT - 4245 - GOLF COURSE-CITY

ACCOUNT	DATE	T/C	ENCUMBRANCE	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4000K	COST OF REVENUE-KITCHEN								
10/21	04/08/21	21	10405	-01 10167	6438 PEPSI BEVERAGES		48.84	-48.84	PEPSI PRODUCTS FOR KITCHEN
10/21	04/08/21	21	10405	-02 10167	6438 PEPSI BEVERAGES		1,034.44	-1,034.44	CHANGE ORDER 1 ADD FUNDS
10/21	04/08/21	21		10171	7003 RAVEN BRAND PROD		70.20	.00	FOOD SUPPLIES
TOTAL	COST OF REVENUE-KITCHEN					.00	1,153.48	-1,083.28	
4000P	COST OF REVENUE-PRO SHOP								
10/21	04/08/21	21	10409	-01 10180	6443 TAYLORMADE GOLF		532.80	-532.80	GOLF BALLS, EQUIPMENT, CA
10/21	04/08/21	21	10409	-01 10180	6443 TAYLORMADE GOLF		594.89	-594.89	GOLF BALLS, EQUIPMENT, CA
10/21	04/08/21	21		10183	6450 TITLEIST		329.28	.00	TOUR PERFORMANCE LEGA
10/21	04/08/21	21		10133	6491 BRIDGESTONE GOLF		332.40	.00	E 12 CONTACT WHITE DZ
10/21	04/08/21	21		10180	6443 TAYLORMADE GOLF		228.92	.00	PT-PERSONALIZED MYSPI
10/21	04/08/21	21		10180	6443 TAYLORMADE GOLF		139.57	.00	CUSTOM.SIM2 MAX.M.RH.
TOTAL	COST OF REVENUE-PRO SHOP					.00	2,157.86	-1,127.69	
4220M	OPERATING SUPPLIES MAINT.								
10/21	04/08/21	21		10131	6521 BILLINGSLEY TIRE		209.99	.00	C[;T215/85R16 E 115/
10/21	04/08/21	21		10184	5379 TURF STAR		412.63	.00	SOLENOID
10/21	04/08/21	21		10143	6501 EASY PICKER GOLF		254.97	.00	STAKE,ROPE BASIC
10/21	04/08/21	21		10132	7237 BOARDTRONICS, IN		259.84	.00	PARTS
10/21	04/08/21	21		10187	6206 WILBUR-ELLIS COM		94.06	.00	RANGER PRO
10/21	04/08/21	21		10160	6526 LEMOORE AUTO SUP		96.26	.00	GREASE FITTING
10/21	04/08/21	21		10160	6526 LEMOORE AUTO SUP		4.60	.00	3/8 6P SCKT 7/16
10/21	04/08/21	21		10160	6526 LEMOORE AUTO SUP		34.63	.00	TOP TERMINAL
TOTAL	OPERATING SUPPLIES MAINT.					.00	1,366.98	.00	
4309	STAFFING/TOM RINGER								
10/21	04/08/21	21		10174	T1885 TOM RINGER		15,915.55	.00	PAYROLL
10/21	04/08/21	21		10174	T1885 TOM RINGER		1,134.76	.00	WORKMANS COMP
TOTAL	STAFFING/TOM RINGER					.00	17,050.31	.00	
4310	PROFESSIONAL CONTRACT SVC								
10/21	04/08/21	21		10157	6844 KNIGHT GUARD SEC		55.00	.00	ALARM MONITORING
10/21	04/08/21	21		10157	6844 KNIGHT GUARD SEC		55.00	.00	ALARM MONITORING
10/21	04/08/21	21		10157	6844 KNIGHT GUARD SEC		55.00	.00	ALARM MONITORING
10/21	04/08/21	21		10137	6624 CINTAS		57.63	.00	KITCHEN
TOTAL	PROFESSIONAL CONTRACT SVC					.00	222.63	.00	
4340	UTILITIES								
10/21	04/08/21	21		10179	0423 SOCALGAS		15.78	.00	02/12/21-03/16/21
10/21	04/08/21	21		10168	0363 PG&E		10.51	.00	03/01/21-03/29/21
10/21	04/08/21	21		10168	0363 PG&E		631.42	.00	03/01/21-03/29/21
10/21	04/08/21	21		10179	0423 SOCALGAS		220.78	.00	02/12/21-03/16/21
TOTAL	UTILITIES					.00	878.49	.00	
4350	REPAIR/MAINT SERVICES								
10/21	04/08/21	21		10162	0342 MILLERS RENTALAN		42.00	.00	TRAILER, SINGLE AXLE

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM040921'
ACCOUNTING PERIOD: 10/21

FUND - 045 - GOLF COURSE - CITY
BUDGET UNIT - 4245 - GOLF COURSE-CITY

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4350									
TOTAL					(cont'd)				
					REPAIR/MAINT SERVICES	.00	42.00	.00	
					REPAIR/MAINT SERVICES				
TOTAL					GOLF COURSE-CITY	.00	22,871.75	-2,210.97	
TOTAL					GOLF COURSE - CITY	.00	22,871.75	-2,210.97	

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM040921'
ACCOUNTING PERIOD: 10/21

FUND - 050 - WATER
BUDGET UNIT - 4250 - WATER

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220									
	10/21	04/08/21	21	10159	0314 LEMOORE AUTO SUP		141.52	.00	HI-VIZ FASTFIT XL
	10/21	04/08/21	21	10186	0474 WEST VALLEY SUPP		21.59	.00	MARKING PAINT BLUE
	10/21	04/08/21	21	10186	0474 WEST VALLEY SUPP		31.77	.00	MARKING PAINT WHITE
TOTAL						.00	194.88	.00	
4230									
	10/21	04/08/21	21	10186	0474 WEST VALLEY SUPP		24.43	.00	1" SCH80 F/A
	10/21	04/08/21	21	10186	0474 WEST VALLEY SUPP		53.95	.00	2"SS WYE
TOTAL						.00	78.38	.00	
4310									
	10/21	04/08/21	21	10178	5352 SHRED-IT USA, IN		9.00	.00	SHRED - PUBLIC WORKS
TOTAL						.00	9.00	.00	
4340									
	10/21	04/08/21	21	10179	0423 SOCALGAS		112.04	.00	02/22/21-03/23/21
	10/21	04/08/21	21	10140	7058 COMCAST		194.69	.00	03/25/21-04/24/21
TOTAL						.00	306.73	.00	
4350									
	10/21	04/08/21	21	10172	0388 REED ELECTRIC, L		260.00	.00	WELL #7 BOOSTER #2
TOTAL						.00	260.00	.00	
TOTAL						.00	848.99	.00	
TOTAL						.00	848.99	.00	

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM040921'
ACCOUNTING PERIOD: 10/21

FUND - 056 - REFUSE
BUDGET UNIT - 4256 - REFUSE

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4170									
10/21	04/08/21	21		10155	T3065 JOSE HERNANDEZ C		200.00	.00	BOOT REIMBURSEMENT
TOTAL						.00	200.00	.00	
4310									
10/21	04/08/21	21	10411	-01 10145	6869 WELLS FARGO BANK		817.60	-817.60	TEMP AGENCY (PART TIME HE
TOTAL						.00	817.60	-817.60	
4340									
10/21	04/08/21	21		10178	5352 SHRED-IT USA, IN		6.00	.00	SHRED - PUBLIC WORKS
TOTAL						.00	6.00	.00	
TOTAL						.00	1,023.60	-817.60	
TOTAL						.00	1,023.60	-817.60	

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM040921'
ACCOUNTING PERIOD: 10/21

FUND - 060 - SEWER& STORM WTR DRAINAGE
BUDGET UNIT - 4260 - SEWER

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220									
	10/21	04/08/21	21	10152	0521 GRAINGER		252.55	.00	EYE WASH STATION
TOTAL						.00	252.55	.00	
4230									
	10/21	04/08/21	21	10177	6613 THE SHERWIN WILL		249.14	.00	PAINT
TOTAL						.00	249.14	.00	
4310LAB									
	10/21	04/08/21	21	10372	-01 10163		45.00	-45.00	ANALYTICAL TESTING OF WWT
	10/21	04/08/21	21	10372	-01 10163		80.00	-80.00	ANALYTICAL TESTING OF WWT
	10/21	04/08/21	21	10372	-01 10163		95.00	-95.00	ANALYTICAL TESTING OF WWT
	10/21	04/08/21	21	10372	-01 10163		105.00	-105.00	ANALYTICAL TESTING OF WWT
	10/21	04/08/21	21	10372	-01 10163		170.00	-170.00	ANALYTICAL TESTING OF WWT
	10/21	04/08/21	21	10372	-01 10163		205.00	-205.00	ANALYTICAL TESTING OF WWT
	10/21	04/08/21	21	10372	-01 10163		215.00	-215.00	ANALYTICAL TESTING OF WWT
TOTAL						.00	915.00	-915.00	
4340									
	10/21	04/08/21	21	10178	5352 SHRED-IT USA, IN		6.00	.00	SHRED - PUBLIC WORKS
TOTAL						.00	6.00	.00	
4350									
	10/21	04/08/21	21	10172	0388 REED ELECTRIC, L		130.00	.00	ANTELOPE AND HANFORD
	10/21	04/08/21	21	10172	0388 REED ELECTRIC, L		390.00	.00	HANFORD ARMONA ROAD
TOTAL						.00	520.00	.00	
TOTAL						.00	1,942.69	-915.00	
TOTAL						.00	1,942.69	-915.00	

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AUDIT11

SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM040921'
ACCOUNTING PERIOD: 10/21

FUND - 085 - PBIA
BUDGET UNIT - 4270 - PBIA

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4310									
10/21	04/08/21	21		10142	6572 JUAN CUEVAS		275.00	.00	DJ SERVICES FOR DOWNT
TOTAL						.00	275.00	.00	
TOTAL						.00	275.00	.00	
TOTAL						.00	275.00	.00	

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SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM040921'
ACCOUNTING PERIOD: 10/21

FUND - 208B - LLMD ZONE 8B GREENS
BUDGET UNIT - 4858B - LLMD ZONE 8B GREENS

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4220									
					OPERATING SUPPLIES				
10/21	04/08/21	21		10186	0474 WEST VALLEY SUPP		15.45	.00	IRRITROL 24V SOLENOID
10/21	04/08/21	21		10186	0474 WEST VALLEY SUPP		23.07	.00	KING NUT BLK/WHT DIRE
TOTAL					OPERATING SUPPLIES	.00	38.52	.00	
TOTAL					LLMD ZONE 8B GREENS	.00	38.52	.00	
TOTAL					LLMD ZONE 8B GREENS	.00	38.52	.00	

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AUDIT11

SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM040921'
ACCOUNTING PERIOD: 10/21

FUND - 251 - PFMD ZONE 1
BUDGET UNIT - 4871 - PFMD ZONE 1

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4310									
10/21	04/08/21	21	10352	-01 10138	6459 CLEAN CUT LANDSC		724.33	-724.33	YEARLY MAINTENANCE ZONE 1
TOTAL						.00	724.33	-724.33	
TOTAL						.00	724.33	-724.33	
TOTAL						.00	724.33	-724.33	

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

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AUDIT11

SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM040921'
ACCOUNTING PERIOD: 10/21

FUND - 254 - PFMD ZONE 4
BUDGET UNIT - 4874 - PFMD ZONE 4

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4310									
10/21	04/08/21	21	10350	-01 10138	6459 CLEAN CUT LANDSC		381.66	-381.66	YEARLY MAINTENANCE ZONE 4
TOTAL						.00	381.66	-381.66	
TOTAL						.00	381.66	-381.66	
TOTAL						.00	381.66	-381.66	

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CITY OF LEMOORE
EXPENDITURE TRANSACTION ANALYSIS

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AUDIT11

SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM040921'
ACCOUNTING PERIOD: 10/21

FUND - 255 - PFMD ZONE 5
BUDGET UNIT - 4875 - PFMD ZONE 5

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4310									
10/21	04/08/21	21	10348	-01 10138	6459 CLEAN CUT LANDSC		1,328.92	-1,328.92	YEARLY MAINTENANCE ZONE 5
TOTAL						.00	1,328.92	-1,328.92	
TOTAL						.00	1,328.92	-1,328.92	
TOTAL						.00	1,328.92	-1,328.92	

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EXPENDITURE TRANSACTION ANALYSIS

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AUDIT11

SELECTION CRITERIA: transact.yr='21' and transact.fund between '001' and '800' and transact.batch='VM040921'
ACCOUNTING PERIOD: 10/21

FUND - 258 - PFMD ZONE 8
BUDGET UNIT - 4878 - PFMD ZONE 8

ACCOUNT	DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION
4310									
10/21	04/08/21	21	10413	-01 10138	6459 CLEAN CUT LANDSC		425.00	-425.00	YEARLY MAINTENANCE ZONE 8
TOTAL						.00	425.00	-425.00	
TOTAL						.00	425.00	-425.00	
TOTAL						.00	425.00	-425.00	
TOTAL						.00	425.00	-425.00	
TOTAL						.00	77,317.01	-45,006.76	