

**LEMOORE PLANNING COMMISSION**  
**Regular Meeting**  
**AGENDA**  
**Lemoore Council Chamber**  
**429 'C' Street**

**September 13, 2021**  
**7:00 p.m.**

**Public in attendance are encouraged to wear a mask and maintain appropriate physical distancing.**

1. PLEDGE OF ALLEGIANCE
2. CALL TO ORDER AND ROLL CALL
3. PUBLIC COMMENT – This time is reserved for members of the audience to comment on subject matters that are not on the Agenda, but are within the jurisdiction of the Lemoore Planning Commission. Speakers are asked to limit their comments to three (3) minutes per person. The Commission is prohibited by law from taking any action on matters that are not on the Agenda. Any handouts for the Commission shall be provided to the Planning Commission Secretary for distribution to the Commission and appropriate staff.
4. APPROVAL OF MINUTES – Regular Meeting, August 9, 2021
5. PUBLIC HEARING – Conditional Use Permit No. 2021-03, Finding of Public Convenience or Necessity: a request by Beal Properties (Johnny Quik) to allow for the off-site sale of alcoholic beverages at 10 N. Belle Haven Drive in the City of Lemoore (APN 023-470-012 portion).
6. REPORT AND RECOMMENDATION – A request by Daley Homes to extend approval of Tentative Subdivision Map No. 2018-01 (Tract 793) and accompanying entitlements for one year. This project proposes to divide 17.87 acres into 30 single-family lots, 12 multi-family lots and a remainder located at the northeast corner of Highway 198 and Highway 41 in the City of Lemoore (APN 023-320-005).
7. PUBLIC HEARING – Revisions to Major Site Plan Review No. 2020-03 (Amendment No. 1): a request by Base Camp Cannabis Company for a revision to approved major site plan review for a seed to sale cannabis campus at Venture Place, west of Commerce Way, north of Enterprise Drive, east of SR 41, and south of SR 198 in the City of Lemoore (APNs 024-400-002 through 024-400-009)..
8. PUBLIC HEARING – Major Site Plan Review No. 2021-06: a request by Master Storage 365 (Richard Torosian) to expand the existing ministorage facility. The site is 3.67 acres and is located at the southeast corner of Iona and Commerce Way (APNs 024-051-012 and 024-051-013).
9. PUBLIC HEARING - FINDING OF CONSISTANCY AND PREZONING – General Plan Amendment No. 2021-02, Prezoning No. 2021-02, Annexation No. 2021-02 (Casaca) and Sphere of Influence Amendment: a request by People's Properties, LLC (Frank Kavanaugh, agent) to amend the General Plan to designate an undesignated site containing approximately 222 acres with a land use designation of Agricultural, prezone the site Agricultural (AG), and find that the annexation to the City of Lemoore and Sphere of Influence Amendment are consistent with the General Plan. The site is located on the southeast corner of 19<sup>th</sup> and Idaho Avenues (APNs 024-080-065, 024-080-043, 024-080-042, 024-080-041, 024-080- 40, 024-080-039, 024-080-064, 024-080-063).

10. DIRECTOR'S REPORT – Nathan Olson

11. COMMISSION REPORTS / REQUESTS

12. ADJOURNMENT

Upcoming Meetings

Regular Meeting of the Planning Commission, October 11, 2021

Agendas for all regular Planning Commission meetings are posted at least 72 hours prior to the meeting at the Council Chamber, 429 C Street and the Cinnamon Municipal Complex, 711 W. Cinnamon Drive. The City of Lemoore complies with the Americans with Disabilities Act (ADA of 1990). The Council Chamber is accessible to the physically disabled. Should you need special assistance, please call (559) 924-6744 at least four (4) business days prior to the meeting.

CERTIFICATION OF POSTING

I, Kristie Baley, Planning Commission Secretary for the City of Lemoore, do hereby declare that I posted the above Planning Commission Agenda for the Regular Meeting of Monday, September 13, 2021 at Council Chamber, 429 C Street and Cinnamon Municipal Complex, 711 W. Cinnamon Drive, Lemoore CA on September 10, 2021.

//s//

Kristie Baley, Commission Secretary

**Minutes of the  
LEMOORE PLANNING COMMISSION  
Regular Meeting  
August 9, 2021**

ITEM NO. 1 Pledge of Allegiance

ITEM NO. 2 Call to Order and Roll Call

*The meeting was called to order at 7:03 PM.*

Chair: Ron Meade

Vice-Chair: Michael Dey

Commissioners: Bob Clement, Ray Etchegoin, Greg Franklin

Absent: Joey Brewer, Thomas Nix

City Staff and Contract Employees Present: Community Development Director Judy Holwell, City Planner Steve Brandt (QK), City Attorney Wesley Carlson (Lozano Smith), Commission Secretary Kristie Baley

ITEM NO. 3 Public Comment

*There was no comment.*

ITEM NO. 4 Approval – Minutes – Regular Meeting, July 12, 2021

*Motion by Commissioner Etchegoin, seconded by Commissioner Clement, to approve the Minutes of the Planning Commission Regular Meeting of July 12, 2021.*

*Ayes: Etchegoin, Clement, Franklin, Dey*

*Absent: Brewer, Nix*

*Abstain: Meade*

ITEM NO. 5 Report and Recommendation – a request by Lennar Homes of California, Inc. to extend approval of Vesting Tentative Subdivision Map No. 2017-01 (Tract 920) for one year. This project proposes to divide 40 acres into 175 single-family lots and a park/ponding basin (Phase I: 87 lots and Phase II: 88 lots and a park/ponding basin) at the northeast corner of Liberty Drive (18 <sup>3</sup>/<sub>4</sub> Avenue) and Hanford-Armona Road (APN: 021-570-001 and 021-560-001).

*City Planner Brandt presented the staff report and answered questions.*

*Stuart Lyons, 865 Cypress Court asked for clarification regarding the legal consequences of not extending the life of the map.*

*City Attorney Carlson responded that he had not evaluated the legal consequences of a denial and noted that the Commission is not being asked to approve this project, but to extend the life of an existing approval within the boundaries of the Map Act.*

*Patricia Matthews, 195 W. Burlwood Lane asked Commissioners to keep in mind that Phase I homeowners are expecting the park proposed for Phase II.*

*Lennar Representative Jeff Callaway stated that Lennar is eager to move forward with Phase II and contractors are prepared to begin grading within the next 6 weeks.*

*There were no other comments from the public.*

*Motion by Commissioner Franklin, seconded by Commissioner Etchegoin, to adopt Resolution No. 2021-11, approving a one-year extension of time for the Reverie Vesting Tentative Subdivision Map No. 2017-01, Tract 920 and accompanying Planning entitlements, in accordance the findings and conditions in the resolution.*

*Ayes: Franklin, Etchegoin, Clement, Dey, Meade*

*Absent: Brewer, Nix*

*ITEM NO. 6 Report and Recommendation – a request by Pharris Lemoore, LLC to extend approval of Vesting Tentative Subdivision Map No. 2005-02 (Tract 845) for one year. This project proposes to divide approximately 13.32 acres into 51 single-family lots on the northeast corner of Bush Street and Marsh Drive (APN 023-510-055).*

*City Planner Brandt presented the staff report and answered questions.*

*David Orth, 541 Daphne Lane asked about lot sizes.*

*Holwell referenced the approved map in the agenda packet.*

*Stuart Lyons, 865 Cypress Court asked for clarification regarding the legal consequences of not extending the life of the map and if the Navy had been consulted.*

*City Attorney Carlson responded that he had not evaluated the legal consequences of a denial and noted that the Commission is not being asked to approve this project, but to extend the life of an existing approval within the boundaries of the Map Act.*

*Pharris Lemoore Representative Tim Palmquist provided information regarding the formal agreement entered into between West Hills College, Pharris Lemoore and the Navy that specifically calls out this project and the Medium Density Residential property to the east of this project.*

*Patricia Matthews, 195 W. Burlwood Lane recommended a conversation with the Navy.*

*There were no other comments from the public.*

*Motion by Commissioner Etchegoin, seconded by Commissioner Franklin, to adopt Resolution No. 2021-12, approving a one-year extension of time for the Victory Village Vesting Tentative Subdivision Map No. 2005-2, Tract 845 and accompanying Planning entitlements, in accordance the findings and conditions in the resolution.*

*Ayes: Franklin, Etchegoin, Clement, Dey, Meade*

Absent: Brewer, Nix  
ITEM NO. 7 Director's Report

Holwell reported that the following items are expected to be on the next agenda:

*A request by Base Camp Cannabis Company to amend the conditions of approval for Major Site Plan Review No. 2020-03 in regards to the perimeter fence.*

*A request by Beal Properties for off-site alcohol sales at the Johnny Quik convenience store to be located on the NEC of Bush Street and Belle Haven Drive.*

*A submittal received from Master Storage to replace the previously approved site plan with a modified version that will replicate a project that was highly successful in another city.*

*A request received for rezoning to annex approximately 220 acres located east of 19<sup>th</sup> Avenue and south of Idaho Avenue.*

*Holwell reported that the following items are expected to come before the Commission soon.*

*Daley Homes has shown interest in requesting a time extension for Tentative Subdivision Map No. 2018-01 (Tract 793).*

*Staff requested revisions to the Ray's Lemonade/Flavor Fusion site plan and are expecting to receive a resubmittal soon.*

*The EIR for the Lacey Ranch project is in process and staff expects to begin reviewing documents in the coming weeks.*

#### ITEM NO. 8 Commissioner's Reports and Requests for Information

*Clement asked for clarification regarding the location of the 220 acres proposed to be annexed as Holwell reported.*

*Holwell provided clarification.*

*Dey asked when development of Tract 820, located near the golf cours, will be visible.*

*Holwell stated that the developer submitted the final map and improvement plans for review.*

*There were no other reports or requests for information.*

#### ITEM NO. 9 Adjournment

*The meeting adjourned at 7:47 P.M.*

*Full Audio is accessible from the City website at:*  
<https://lemoore.com/communitydevelopment/planning-commission/>

Approved the 13<sup>th</sup> day of September, 2021.

APPROVED:

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Ron Meade, Chairperson

ATTEST:

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Kristie Baley, Commission Secretary



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## Staff Report

**To:** Lemoore Planning Commission **Item No. 5**  
**From:** Steve Brandt, City Planner  
**Date:** August 17, 2021 **Meeting Date:** September 13, 2021  
**Subject:** **Conditional Use Permit No. 2021-03 and Finding of Public Convenience or Necessity:** A request by Legacy Realty and Development to allow the sale of alcoholic beverages for off-site consumption at 10 North Belle Haven Drive in the City of Lemoore (APN 023-480-028).

### Proposed Motion:

Move to adopt Resolution No. 2021-13, approving Conditional Use Permit No. 2021-03 in accordance with the findings and conditions in Resolution.

### Project Proposal:

The applicant is seeking a Conditional Use Permit (CUP) to sell packaged alcoholic beverages from a site located at 10 North Belle Haven Drive, which is at the northeast corner of Bush Street and Belle Haven Drive. The applicant is proposing the sale of alcoholic beverages for off-site consumption (Type 20 ABC license). The proposed sale of alcohol in a Regional Commercial zone requires a Conditional Use Permit per Table 9-4B-2 and a finding of public necessity or convenience per Section 9-2B-17 of the City of Lemoore Zoning Ordinance.

<b>Applicant</b>	Legacy Realty and Development
<b>Location</b>	10 North Belle Haven Drive
<b>Existing Land Use</b>	Vacant (site has been approved for a fuel station/convenience store with food service)
<b>APN(s)</b>	023-480-028
<b>Total Building Size</b>	4,280 square feet (as approved)
<b>Zoning</b>	Regional Commercial
<b>General Plan</b>	Regional Commercial

### **Adjacent Land Use, Zone and General Plan Designation**

<b><u>Direction</u></b>	<b><u>Current Use</u></b>	<b><u>Zone</u></b>	<b><u>General Plan</u></b>
North	Leprino Foods	Light Industrial	Light Industrial
South	Vacant land	Regional Commercial	Regional Commercial
East	SR 41	Regional Transportation	Regional Transportation
West	Vacant land	Regional Commercial	Regional Commercial

#### **Previous Relevant Actions:**

The Planning Commission adopted Resolution No. 2021-06, approving CUP No. 2021-01 for on-site fuel sales and convenience store in accordance with the conditions and findings in the Resolution at its April 12, 2021 meeting.

#### **Zoning/General Plan:**

The site is planned and zoned Regional Commercial (RC). Per the Lemoore Municipal Code, the proposed on-site sale of alcohol is a use that can be approved through a CUP in this zone. This project is being brought to the Planning Commission because the proposed on-site sale of alcohol requires a CUP.

#### **Access and Right of Way:**

The proposed development will have two points of ingress and egress onto North Belle Haven Drive and a standing condition that any development to the north must maintain common access between parking areas.

#### **Parking / On-site Circulation:**

The main access to the site would be from the entrances on Belle Haven Drive. Parking is sufficient for this type of development and has been previously approved in Major Site Plan Review No. 2021-03.

#### **Architectural and Site Design Standards:**

The Planning Commission adopted Resolution No. 2021-06, approving the site layout and architectural design standards for Major Site Plan Review No. 2021-03 with the conditions and findings in the resolution at its April 12, 2021 meeting.

**Operations:**

The on-site sale of alcoholic beverages for this type of development is considered an acceptable use as long as all activities and operations are in accordance with Alcoholic Beverage Control (ABC) conditions and ABC requirements for use. Compliance with the requirements ABC places on the site is recommended as a condition of the approval of this CUP.

**Nearby Schools, Churches, and Parks:**

Zoning Ordinance Section 9-4D-2 states that establishments selling alcoholic beverages shall not be located within 500 feet of a park facility, school facility, or existing religious land use. There are no park facilities, school facilities, or existing religious land uses within 500 feet of the site

**Public Necessity or Convenience**

Section 9-2B-17 requires the Planning Commission to make a finding that the public convenience or necessity would be served by the granting of an alcohol license. The Planning Commission shall consider, among other things, the recommendations of the Chief of Police, the Planning Director, and other departments of the City. The purpose of this finding is to give the Planning Commission the opportunity to say whether or not the site is appropriate for sale of alcohol and whether or not there is already an overconcentration of alcohol sales in the neighborhood.

The City Manager and all Directors have reviewed the request, and none voiced opposition to the request at this location. The City Manager, Chief of Police, and Community Development Director recommend making the finding of public necessity or convenience.

**Environmental Assessment:**

The City has determined that this project does not require additional CEQA environmental review pursuant to Public Resources Code Section 21166 and CEQA Guidelines Section 15162. The project was reviewed for CUP No. 2021-01 and Major Site Plan Review No. 2021-03 and found to be Categorically Exempt based on CEQA Guidelines Section 15303 (New Construction of Small Structures). The proposed CUP No. 2021-03 only seeks to allow the sale of alcoholic beverages; in all other respects the project will be the same gas station and convenience store use previously approved by the Planning Commission. There are no substantial changes to the overall project or the circumstances under which the project is being undertaken, and no new information that will require additional environmental review.

**Recommended Approval Findings:**

A Conditional Use Permit shall be granted only when the designated approving authority determines that the proposed use or activity complies with all of the following findings. City staff recommends that these findings be made based upon review of the project as described in this staff report, and with the recommended conditions of approval. These findings include a Finding of Public Convenience or Necessity per Municipal Code Section 9-4D-2.

1. The proposed use is consistent with the General Plan, any applicable specific plans, and all applicable provisions of the Zoning Ordinance. The proposed use of the building is consistent with the General Plan; the proposed land uses are consistent with the Zoning Ordinance.
2. The establishment, maintenance, or operation of the use applied for will not, under the circumstances of the particular case (location, size, design, and operating characteristics), be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or working in the neighborhood of such use or to the general welfare of the City. The site is located near other compatible commercial uses.
3. The site of the proposed use is physically suitable for the type, density, and intensity of the use and related structures being proposed. The site is physically able to support the use. The applicant may be required by ABC to make physical changes to conform to their standards, if needed.
4. It will not be contrary to the specific intent clauses, development regulations, or performance standards established for the zoning district in which it is located. The proposed use and related structures are compatible with other land uses, transportation patterns, and service facilities in the vicinity.
5. There are no park facilities, school facilities, or existing religious land uses within 500 feet of the site.
6. The public convenience or necessity would be served by the granting of the CUP and ABC license.
7. The project was previously reviewed pursuant to CEQA and does not require additional CEQA environmental review pursuant to Public Resources Code Section 21166 and CEQA Guidelines Section 15162.

### **Recommended Conditions:**

Staff recommends the following conditions be applied to the approval of the Conditional Use Permit:

1. The site shall be developed consistent with approvals of Major Site Plan Review No. 2021-03, Conditional Use Permit No. 2021-01 and applicable Development Standards found in the City of Lemoore Zoning Ordinance.
2. The operation shall be conducted in accordance with this Conditional Use Permit. Any deviations from the approvals shall first require approval of an amendment to this Conditional Use Permit.
3. The establishment shall obtain and maintain a valid Type 20 license from Alcoholic Beverage Control (ABC). A change to a license type that is deemed more intensive than a Type 20 license shall require an amendment to this Conditional Use Permit.

4. The establishment shall comply with all federal and state laws regarding the sale of alcohol.
5. Business hours and the sale of alcohol shall comply with ABC regulations.
6. All subsequent uses must meet the requirements found in Section 9-5B-2 and 9-5B-4 of the City of Lemoore Zoning Ordinance related to noise, odor, and vibration, lighting and maintenance.
7. The time limits and potential extensions and expiration of this Conditional Use Permit are established per Section 9-2A-9 of the City of Lemoore Zoning Ordinance.

**Attachments:**

Location Map

Draft Resolution

Resolution No. 2021-06 with Site Plan and Conditional Use Permit Conditions of Approval dated April 12, 2021

# Location Map CUP No. 2021-03



**RESOLUTION NO. 2021-13**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LEMOORE  
APPROVING CONDITIONAL USE PERMIT NO. 2021-03 and FINDING OF PUBLIC CONVENIENCE  
OR NECESSITY TO ALLOW THE SALE OF ALCOHOLIC BEVERAGES FOR OFF-SITE  
CONSUMPTION (TYPE 20 ABC LICENSE) AT 10 NORTH BELLE HAVEN DRIVE  
IN THE CITY OF LEMOORE**

At a Regular Meeting of the Planning Commission of the City of Lemoore duly called and held on September 13, 2021, at 7:00 p.m. on said day, it was moved by Commissioner \_\_\_\_\_, seconded by Commissioner \_\_\_\_\_, and carried that the following Resolution be adopted:

**WHEREAS**, Legacy Realty and Development has requested a conditional use permit (CUP) to allow the sale of alcoholic beverages for off-site consumption at 10 North Belle Haven Drive in the City of Lemoore (APN 023-480-028); and

**WHEREAS**, the proposed site has conditional approval for gas station and convenience store (CUP No. 2021-01); and

**WHEREAS**, the zoning on the parcel is Regional Commercial; and

**WHEREAS**, The project was previously reviewed pursuant to the California Environmental Quality Act (CEQA) and does not require additional CEQA environmental review pursuant to Public Resources Code Section 21166 and CEQA Guidelines Section 15162; and

**WHEREAS**, the Lemoore Planning Commission held a duly noticed public hearing at its September 13, 2021, meeting.

**NOW THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Lemoore hereby makes the following findings regarding the proposed Conditional Use Permit No. 2021-03 based on facts detailed in the September 13, 2021 Staff Report, which is hereby incorporated by reference, as well as the evidence and testimony presented during the Public Hearing:

1. The proposed use is consistent with the General Plan, any applicable specific plans, and all applicable provisions of the Zoning Code.
2. The establishment, maintenance, or operation of the use applied for will not, under the circumstances of the particular case (location, size, design, and operating characteristics), be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or working in the neighborhood of such use or to the general welfare of the City. The site is located near other compatible commercial uses.
3. The site of the proposed use is physically suitable for the type, density, and intensity of the use and related structures being proposed. The applicant may be required by ABC to make physical changes to conform to their standards, if needed.
4. It will not be contrary to the specific intent clauses, development regulations, or performance standards established for the zoning district in which it is located. The

proposed use and related structures are compatible with other land uses, transportation patterns, and service facilities in the vicinity.

5. There are no park facilities, school facilities, or existing religious land uses within 500 feet of the site.
6. The public convenience or necessity would be served by the granting of the CUP and Type 20 ABC license.
7. The project was previously reviewed pursuant to CEQA and does not require additional CEQA environmental review pursuant to Public Resources Code section 21166 and CEQA Guidelines section 15162.

**BE IT FURTHER RESOLVED** that the Planning Commission of the City of Lemoore hereby approves Conditional Use Permit No. 2021-03 subject to the following conditions:

1. The site shall be developed consistent with Major Site Plan Review No. 2021-03 and Conditional Use Permit No. 2021-01 and applicable Development Standards found in the City of Lemoore Zoning Ordinance.
2. The operation shall be conducted in accordance with this Conditional Use Permit. Any deviations from the approvals shall first require approval of an amendment to this Conditional Use Permit.
3. The establishment shall obtain and maintain a valid Type 20 license from Alcoholic Beverage Control (ABC). A change to a license type that is deemed more intensive than a Type 20 license shall require an amendment to this Conditional Use Permit.
4. The establishment shall comply with all federal and state laws regarding the sale of alcohol.
5. Business hours and the sale of alcohol shall comply with ABC regulations.
6. All subsequent uses must meet the requirements found in Section 9-5B-2 and 9-5B-4 of the City of Lemoore Zoning Ordinance related to noise, odor, and vibration, lighting and maintenance.
7. The time limits and potential extensions and expiration of this Conditional Use Permit are established per Section 9-2A-9 of the City of Lemoore Zoning Ordinance.

Passed and adopted at a Regular Meeting of the Planning Commission of the City of Lemoore held on September 13, 2021, by the following votes:

**AYES:**

**NOES:**

**ABSTAINING:**

**ABSENT:**

**APPROVED:**

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**Michael Dey, Vice Chair**

**ATTEST:**

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**Kristie Baley, Commission Secretary**

RESOLUTION NO. 2021-06

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LEMOORE APPROVING  
MAJOR SITE PLAN REVIEW NO. 2021-03 AND CONDITIONAL USE PERMIT NO. 2021-01 TO  
ALLOW A CONVENIENCE STORE WITH FOOD SERVICE AND OTHER RETAIL, A DRIVE THROUGH  
WINDOW, AN ON-SITE CAR WASH, AND A 6-PUMP FUEL STATION  
LOCATED ON THE NORTHEAST CORNER OF BUSH STREET AND  
BELLE HAVEN DRIVE IN THE CITY OF LEMOORE

At a Regular Meeting of the Planning Commission of the City of Lemoore duly called and held on April 12, 2021, at 7:00 p.m. on said day, it was moved by Commissioner Dey, seconded by Commissioner Franklin, and carried that the following Resolution be adopted:

**WHEREAS**, LJQ Partners LLC has requested approval of a Major Site Plan Review and Conditional Use Permit to allow a convenience store with food service and other retail, a drive through window, an on-site car wash, and a 6-pump fuel station located at the northeast corner of Bush Street and Belle Haven Drive in the City of Lemoore (APN 023-470-012 portion); and

**WHEREAS**, the proposed site is a vacant parcel; and

**WHEREAS**, the General Plan designates the parcel as Regional Commercial; and

**WHEREAS**, the zoning on the parcel is Regional Commercial; and

**WHEREAS**, it has been determined that the project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA) per Section 15303 (New Construction and Small Structures) and Section 15332 (Infill Development Projects); and

**WHEREAS**, the Lemoore Planning Commission held a duly noticed public hearing at its April 12, 2021, meeting.

**NOW THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Lemoore hereby makes the following findings regarding the proposed Major Site Plan Review No. 2021-03 and Conditional use Permit No. 2021-01, based on the facts detailed in the April 12, 2021, staff report, which is hereby incorporated by reference, as well as the evidence and testimony presented during the Public Hearing:

1. The proposed project is consistent with the objectives of the general plan and complies with applicable zoning regulations, specific plan provisions, and improvement standards adopted by the City.
2. The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site. The use is compatible with other existing uses near the site.
3. The architecture, character, and scale of the buildings and the site are compatible with the character of buildings on adjoining and nearby properties.
4. The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.
5. There are no potentially significant project-specific impacts peculiar to the site, nor are there potentially significant off-site impacts or cumulative impacts which were not discussed in the prior environmental impact report (EIR) prepared for the Lemoore

General Plan. Mitigation measures and policies in the General Plan and General Plan EIR to protect environmental resources, such as cultural and tribal resources, shall apply to the project.

**BE IT FURTHER RESOLVED** that the Planning Commission of the City of Lemoore finds that the project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA) per Section 15303 (New Construction of Small Structures) and Section 15532 (Infill Development Projects), and approves Major Site Plan Review No. 2021-03 and Conditional Use Permit No. 2021-01 subject to the following conditions:

1. The site shall be developed in conformance with the approved site plan, the Major Site Plan Review No. 2021-03 comments dated April 12, 2021, with attached checklists, applicable City standards and policies, and the Lemoore Municipal Code.
2. The applicant shall submit improvement plans detailing all proposed work. Improvements may be deferred to development of the first parcel.
3. The applicant/property owner shall provide right of way dedication at the southwest and southeast corners of the site to accommodate the ultimate conceptual design of the roundabouts that have been conceptually designed for Bush Street.
4. The applicant/property owner shall provide a reciprocal access easement for access between the two (2) commercial parcels. The recorded copy of the agreement shall be provided to the City prior to issuance of building permits.
5. A 15-foot landscape buffer shall be maintained on the property along Belle Haven Drive. The paving and drive approaches shall be redesigned accordingly, and the setback area shall be landscaped.
6. A 10-foot landscape buffer shall be maintained on the property along Bush Street. The parking area shall be moved north to accommodate the 10-foot buffer area on the site. The area between the property line and the back of sidewalk shall also be landscaped. The landscape/irrigation design should consider the future widening of Bush Street.
7. Per City Engineer recommendation and to comply with City ordinance, the southern-most entry drive shall be narrowed to a 21-foot width and designed for an 'entry only', with designated signage.
8. All fuel tanks shall be buried underground.
9. All signage shall be approved by separate permit. All signage shall be located on private property.
10. Any highway signage shall be approved by separate permit.
11. The master grading and drainage plan shall be prepared by a registered civil engineer or project architect and shall be required with development of first parcel per approved Major Site Plan Review 2021-03 and Public Works/City Engineering comments dated April 12, 2021.

12. The applicant shall underground all existing overhead utilities within the project limits. This condition can be deferred to time of construction.
13. The applicant shall abandon any existing wells per Code and obtain appropriate building permits, as required. This condition can be deferred to time of construction of the site.
14. The applicant shall remove any existing irrigation lines and dispose off-site during site development. This condition can be deferred to time of construction of the site.
15. The applicant shall remove any existing leach fields and septic tanks during site development. This condition can be deferred to time of construction of the site.
16. Major Site Plan Review No. 2021-03 and Conditional use Permit No. 2021-01 shall expire 24 months from the date of Planning Commission approval unless a building permit is approved or the developer files an extension per Section 9-2A-9 of the City of Lemoore Municipal Code and is granted approval by the Planning Commission.

Passed and adopted at a Regular Meeting of the Planning Commission of the City of Lemoore held on April 12, 2021, by the following votes:

**AYES:** Etchegoin, Brewer, Clement, Franklin, Dey, Meade

**NOES:**

**ABSTAINING:**

**ABSENT:** Nix

**APPROVED:**

  
\_\_\_\_\_  
Ron Meade, Chairperson

**ATTEST:**

  
\_\_\_\_\_  
Kristie Baley, Planning Commission Secretary



**APPROVED**  
BY PLANNING COMMISSION

APR 12 2021

RESOLUTION # 2021 - 06

711 West Cinnamon Drive • Lemoore, California 93245 • (559) 924-6744

## Staff Report

Item No: 7

**To:** Lemoore Planning Commission

**From:** Steve Brandt, AICP

**Date:** April 8, 2021

**Meeting Date:** April 12, 2021

**Subject:** **Major Site Plan Review No. 2021-03 and Conditional Use Permit No. 2021-01:** a request by LJQ Partners LLC to develop a convenience store with food service and other retail, a drive through window, an on-site car wash and a 6-pump fuel station located on the northeast corner of Bush Street and Belle Haven Drive. (APN 023-470-012 portion)

### Proposed Motion:

City staff recommends that the Planning Commission adopt Resolution No. 2021-06 approving Major Site Plan Review No. 2021-03 and Conditional Use Permit 2021-01, with the attached findings and conditions.

### Project Proposal:

The applicant is proposing to construct a 4,280 sq. ft. convenience store with food service, and retail sales, with a drive through food service window, a car wash, and a 6-pump fuel station. The site is zoned Regional Commercial. Retail sales, food sales, the convenience store, and the car wash are all allowed uses in this zone. A conditional use permit is required for fuel sales and the drive-thru lane. The drive-thru lane typically would require an administrative use permit, but has been elevated to a conditional use permit to accompany the rest of the proposal.

The site plan proposes two entry/exit driveways from Belle Haven Drive. There would be no access from Bush Street. The site plan shows that the gasoline fuel tanks would be above ground, but the application states they would be underground. City ordinance requires that they be underground. This has been made a condition of approval.

<b>Applicant</b>	LJQ Partners LLC
<b>Location</b>	Northeast corner of Bush Street and Belle Haven Drive
<b>Existing Land Use</b>	Vacant
<b>APN(s)</b>	023-470-012
<b>Zoning</b>	Regional Commercial (RC)
<b>General Plan</b>	Regional Commercial

**Adjacent Land Use, Zone and General Plan Designation**

<u>Direction</u>	<u>Current Use</u>	<u>Zone</u>	<u>General Plan</u>
North	cheese manufacturing facility	ML	Light Industrial
South	vacant	RC	Regional Commercial
East	State highway	N/A	N/A
West	vacant	RC	Regional Commercial

**Access and Right of Way:**

Access to the property is from Belle Haven Drive only. No access will be allowed from Bush Street. Cross access easements between parcel 1 and parcel 2 will be required as a condition of approval. This will allow vehicles to move directly from the convenience store/fueling station to future development to the north.

The City Engineer has determined that the southerly drive approach will be too close to the future roundabout at Bush and Belle Haven to allow full access turning movements. A condition has been added to require that the drive approach be redesigned to only allow northbound right-in entry and no exit. This right-in only movement will not conflict with the future roundabout.

No additional right of way is needed for the temporary roundabout. However, the permanent roundabout conceptual design provided by Caltrans will require some additional right of way at the southwest and southeast corner of the southerly parcel. A condition has been added to require the right of way dedication at this time.

### **Overhead Powerlines:**

There are overhead powerlines running north and south across the site. A condition has been included to require that these lines be undergrounded across the property.

### **Building and Site Design:**

The Zoning Ordinance includes architectural and site design standards for commercial developments. The proposed elevation plans meet the architectural design standards.

There is a requirement for a 15-foot landscape buffer from the Belle Haven Drive property line. A condition has been added to require that the paving be redesigned so that the 15 feet width of landscaping can be provided. A 15-foot landscape buffer is also required from Bush Street. Given that the area in the current right of way of Bush Street is between 17 feet and 25 feet deep, in lieu of the 15-foot buffer, Staff is recommending a 10-foot landscape buffer (as measured from property line) and the landscaping of the area in the right of way between the back of sidewalk and property line. The design of the landscape/irrigation plans should consider the future widening of Bush Street.

### **Environmental Assessment:**

Staff has determined the project to be Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA) Guidelines per Article 19, Section 15303 (New Construction of Small Structures) as well as Section 15332 (Infill Development) given the site meets the criteria for the Class 32 Infill Exemption.

### **Recommended Approval Findings:**

Staff recommends that the Commission make the following findings for approval of the project:

1. The proposed project is consistent with the objectives of the general plan and complies with applicable zoning regulations, specific plan provisions, and improvement standards adopted by the City.
2. The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site. The use is compatible with other existing uses near the site.
3. The architecture, character, and scale of the buildings and the site are compatible with the character of buildings on adjoining and nearby properties.
4. The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.
5. There are no potentially significant project-specific impacts peculiar to the site, nor are there potentially significant off-site impacts or cumulative impacts which were not discussed in the prior environmental impact report (EIR) prepared for the Lemoore General Plan. Mitigation measures and policies in the General Plan and

General Plan EIR to protect environmental resources, such as cultural and tribal resources, shall apply to the project.

**Recommended Conditions:**

1. The site shall be developed in conformance with the approved site plan, the Major Site Plan Review No. 2021-03 comments dated April 12, 2021, with attached checklists, applicable City standards and policies, and the Lemoore Municipal Code.
2. The applicant shall submit improvement plans detailing all proposed work. Improvements may be deferred to development of the first parcel.
3. The applicant/property owner shall provide right of way dedication at the southwest and southeast corners of the site to accommodate the ultimate conceptual design of the roundabouts that have been conceptually designed for Bush Street.
4. The applicant/property owner shall provide a reciprocal access easement for access between the two (2) commercial parcels. The recorded copy of the agreement shall be provided to the City prior to issuance of building permits.
5. A 15-foot landscape buffer shall be maintained on the property along Belle Haven Drive. The paving and drive approaches shall be redesigned accordingly, and the setback area shall be landscaped.
6. A 10-foot landscape buffer shall be maintained on the property along Bush Street. The parking area shall be moved north to accommodate the 10-foot buffer area on the site. The area between the property line and the back of sidewalk shall also be landscaped. The landscape/irrigation design should consider the future widening of Bush Street.
7. Per City Engineer recommendation and to comply with City ordinance, the southern-most entry drive shall be narrowed to a 21-foot width and designed for an 'entry only', with designated signage.
8. All fuel tanks shall be buried underground.
9. All signage shall be approved by separate permit. All signage shall be located on private property.
10. Any highway signage shall be approved by separate permit.
11. The master grading and drainage plan shall be prepared by a registered civil engineer or project architect and shall be required with development of first parcel per approved Major Site Plan Review 2021-03 and Public Works/City Engineering comments dated April 12, 2021.
12. The applicant shall underground all existing overhead utilities within the project limits. This condition can be deferred to time of construction.

13. The applicant shall abandon any existing wells per Code and obtain appropriate building permits, as required. This condition can be deferred to time of construction of the site.
14. The applicant shall remove any existing irrigation lines and dispose off-site during site development. This condition can be deferred to time of construction of the site.
15. The applicant shall remove any existing leach fields and septic tanks during site development. This condition can be deferred to time of construction of the site.
16. Major Site Plan Review No. 2021-03 and Conditional Use Permit No. 2021-01 shall expire 24 months from the date of Planning Commission approval unless a building permit is approved or the developer files an extension per Section 9-2A-9 of the City of Lemoore Municipal Code and is granted approval by the Planning Commission.

**Attachments:**

Site Location

General Plan Map

Zoning Map

Resolution

Draft Site Plan Set dated February 25, 2021

- o Cover Sheet
- o Topographical Survey Demolition Plan
- o Grading Plan
- o Utility Plan
- o Signing Striping and Markings Plan
- o Detail Sheet
- o Exterior Elevations
- o Floor Plan

Site Plan Comments/Checklists/Markups

- o Planning dated April 12, 2021
- o Building dated March 1, 2021
- o Public Works/City Engineering Grading Plan Markups dated March 12, 2021
- o Public Works/City Engineering Utility Plan Markups dated March 12, 2021
- o Public Works/City Engineering Signing, Striping, Markings Markups dated March 12, 2021
- o Fire dated March 1, 2021
- o Public Works/ Waste Water dated April 8, 2021
- o Public Works/Refuse dated April 8, 2021
- o Public Safety dated March 1, 2021

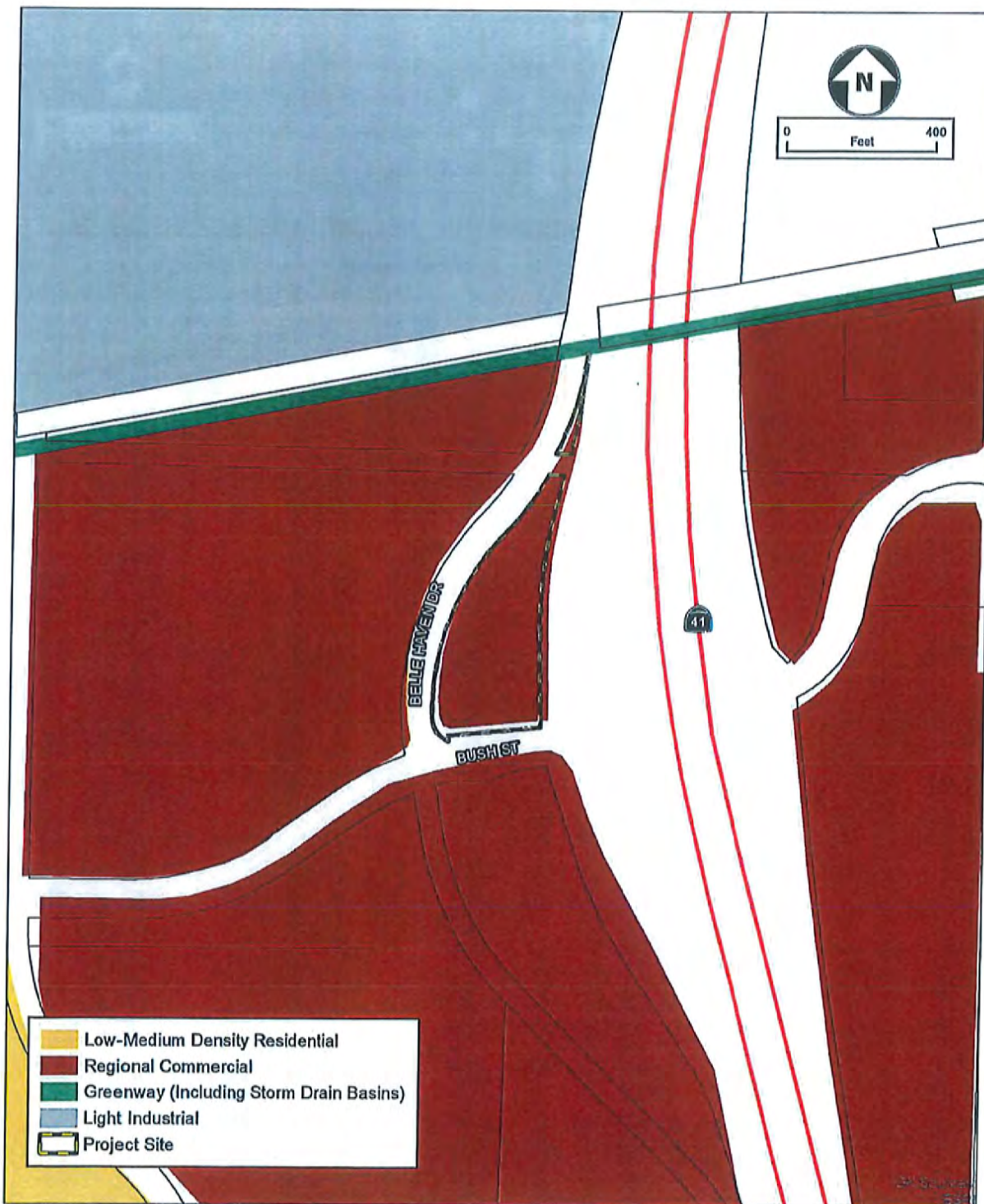
#### Correspondence Received

- o Letter from PG&E dated March 23, 2021
- o Email from Kings Area Rural Transit (KART) dated March 22, 2021
- o Letter from Caltrans with roundabout rendering dated January 21, 2021
- o Utility Plan Notes from AT&T dated March 22, 2021

#### Class 32 Infill Exemption Findings

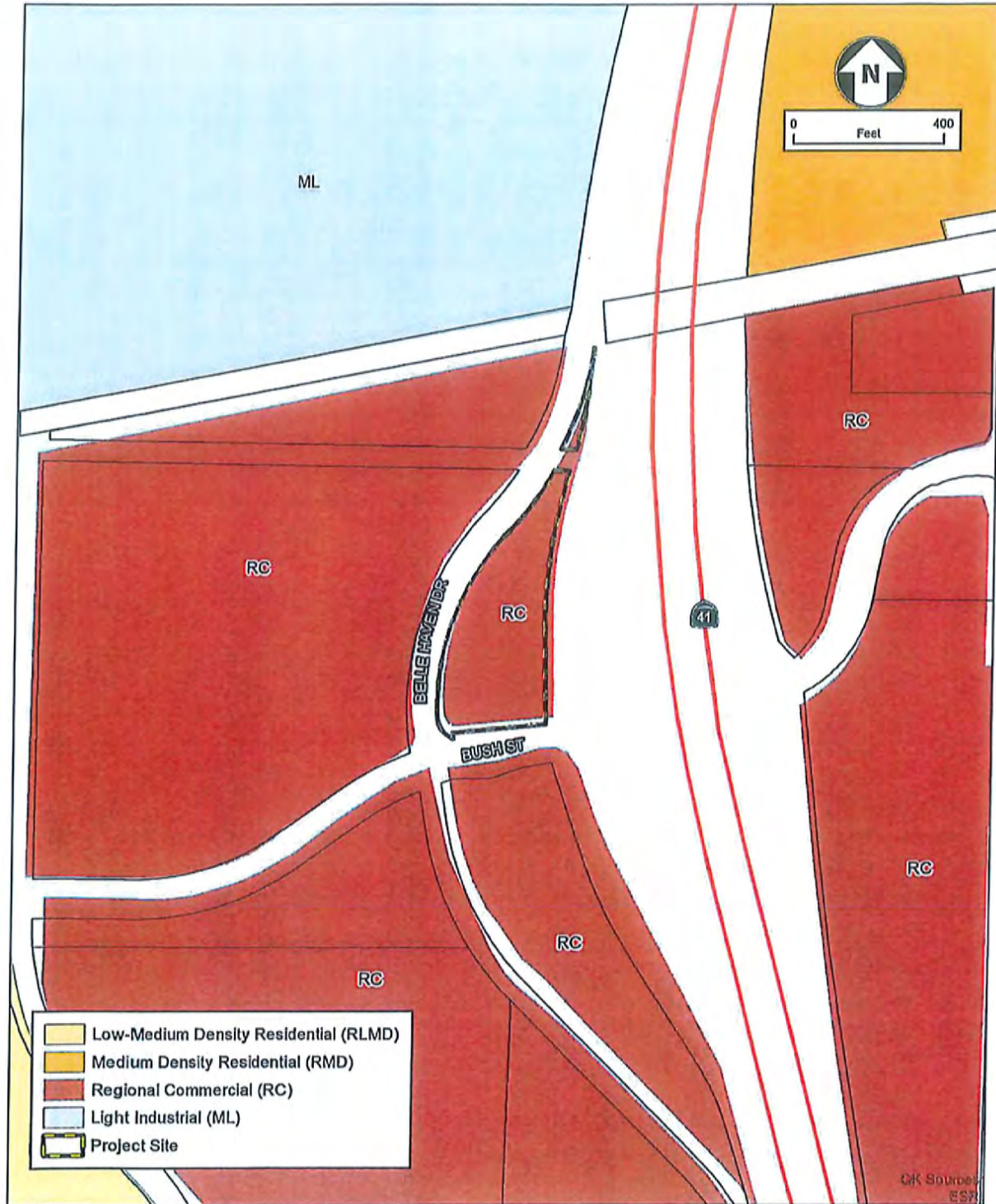
*"In God We Trust"*

## General Plan Map



*"In God We Trust"*

## Zoning Map



*"In God We Trust"*

GENERAL NOTES

1. THE FOLLOWING TERMS USED IN THESE GENERAL NOTES ARE DEFINED AS FOLLOWS. "CITY ENGINEER" REFERS TO THE PERSON(S) IN RESPONSIBLE CHARGE OF ENGINEERING FUNCTIONS FOR THE CITY OF LEMOORE, AND THEIR REPRESENTATIVES. "DEVELOPER" REFERS TO THE PERSON(S)/COMPANY AND THEIR REPRESENTATIVES WHO EXECUTE THE SUBDIVISION IMPROVEMENT AGREEMENT WITH THE CITY. "CONTRACTOR" REFERS COLLECTIVELY TO THE CONTRACTORS AND THEIR SUBCONTRACTORS, AND THEIR REPRESENTATIVES HIRED BY THE DEVELOPER TO PERFORM THE WORK. "DESIGN ENGINEER" REFERS COLLECTIVELY TO THE COMPANY(IES) AND THEIR REPRESENTATIVES HIRED BY THE DEVELOPER TO PROVIDE PROFESSIONAL ENGINEERING AND LAND SURVEYING SERVICES AND TO PREPARE THESE IMPROVEMENT PLANS. "TESTING LABORATORY" REFERS COLLECTIVELY TO THE COMPANY(IES) AND THEIR REPRESENTATIVES HIRED BY THE DEVELOPER TO PERFORM MATERIALS SAMPLING, TESTING AND REPORTING.

2. THE CITY ENGINEER'S APPROVAL OF THESE IMPROVEMENT PLANS IS VALID FOR A PERIOD OF TWELVE (12) MONTHS. CONSTRUCTION PERMITS WILL BE OBTAINED WITHIN THIS PERIOD OR THE IMPROVEMENT PLANS ARE EXPIRED AND MUST BE RESUBMITTED FOR APPROVAL. WORK STILL REMAINING AFTER THE IMPROVEMENT PLANS HAVE EXPIRED MUST WAIT UNTIL AN EXTENSION IS GRANTED OR AN UPDATED SET OF IMPROVEMENT PLANS IS APPROVED AS DETERMINED BY THE CITY ENGINEER. IMPROVEMENT PLAN APPROVAL BY THE CITY DOES NOT GRANT AUTHORITY TO BEGIN CONSTRUCTION.

3. THE DEVELOPER MUST REQUEST AND ATTEND A PRE-CONSTRUCTION MEETING WITH THE CITY ENGINEER PRIOR TO BEGINNING WORK. THE PRE-CONSTRUCTION MEETING MUST BE ATTENDED BY REPRESENTATIVES OF THE DEVELOPER, CONTRACTOR, DESIGN ENGINEER AND TESTING LABORATORY. DEVELOPER IS RESPONSIBLE TO CONTACT AND WRITE ANY AFFECTED UTILITY COMPANIES TO THE MEETING. CONTACT THE CITY ENGINEER AT (559) 739-0440 TO SCHEDULE THE PRE-CONSTRUCTION MEETING.

4. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE TO PROVIDE EMERGENCY TELEPHONE NUMBERS TO THE CITY AT THE PRE-CONSTRUCTION MEETING. THE DEVELOPER/CONTRACTOR SHALL HAVE PERSONNEL AVAILABLE 24-HOURS A DAY TO RESPOND TO EMERGENCIES. IF THE CITY IS REQUIRED TO RESPOND AND HAVE EMERGENCY REPAIRS ON BEHALF OF THE DEVELOPER/CONTRACTOR, THE DEVELOPER/CONTRACTOR IS RESPONSIBLE TO REIMBURSE THE CITY FOR ALL COSTS INCURRED.

5. THE DEVELOPER MUST HAVE A FULLY EXECUTED IMPROVEMENT AGREEMENT AND REIMBURSEMENT AGREEMENT (IF APPLICABLE) WITH THE CITY PRIOR TO BEGINNING WORK UNLESS OTHERWISE AUTHORIZED BY THE CITY MANAGER. THE CITY MANAGER'S DECISION OF THE IMPROVEMENT AGREEMENT'S SUBMITTAL OF BONDS, THE INSURANCE AND INSPECTION FEES, THE CITY MANAGER'S EXECUTION OF THE REIMBURSEMENT AGREEMENT REQUIRES THE AUTHORIZATION OF CITY COUNCIL.

6. THE TESTING LABORATORY AND THEIR INDIVIDUAL STAFF PERFORMING THE TESTS MUST BE CERTIFIED FOR THOSE TESTS BY ASHTO AND/OR CALTRANS. ALL SAMPLING AND TESTING TO BE PERFORMED SHALL BE DIRECTED BY THE CITY ENGINEER. ALL TEST RESULTS SHALL BE IMMEDIATELY FURNISHED TO THE CITY ENGINEER BOTH VERBALLY IN THE FIELD AND FOLLOWING BY MAIL WITHIN 48 HOURS IN A WRITTEN REPORT FORMAT FOR THE CITY'S RECORDS.

7. ALL WORK AT THE TIME IT IS PERFORMED WILL CONFORM TO THE LATEST EDITIONS OF THE CITY OF LEMOORE DESIGN AND IMPROVEMENT STANDARDS AND THE STANDARD SPECIFICATIONS REGARDLESS OF THE STANDARD DETAILS INCLUDED IN THESE IMPROVEMENT PLAN. ALTERNATE DETAILS AND SPECIFICATIONS MAY BE SUBMITTED FOR REVIEW AND ACCEPTANCE BY THE CITY ENGINEER. IF ACCEPTED, ALTERNATE DETAILS WILL BE SHOWN ON A REVISED SET OF THESE IMPROVEMENT PLANS.

8. ALL WORK AND MATERIALS WILL CONFORM TO LATEST EDITIONS OF THE CITY OF LEMOORE STANDARD SPECIFICATIONS AND THE STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT BETWEEN CITY AND STATE SPECIFICATIONS, CITY SPECIFICATIONS WILL GOVERN, UNLESS THE WORK IS WITHIN A STATE RIGHT-OF-WAY.

9. ALL MATERIALS TO BE USED FOR STREET CONSTRUCTION SHALL BE SAMPLED AND TESTED IN ACCORDANCE WITH CITY OF LEMOORE STANDARD SPECIFICATIONS SECTION ON CONTROL OF MATERIALS - SAMPLING AND TESTS. THE PROCEDURES AND METHODS USED TO SAMPLE, TEST MATERIALS, AND REPORT TEST RESULTS WILL BE DETERMINED BY THE CITY ENGINEER. FOR ALL PHASES OF CONSTRUCTION, THE TYPE, SCHEDULING, FREQUENCY AND LOCATION OF ALL MATERIALS TESTING AND SAMPLING WILL BE DETERMINED BY THE CITY ENGINEER.

10. ALL REQUIRED PERMITS MUST BE ISSUED PRIOR TO COMMENCING WORK. ENCROACHMENT PERMITS COVER OFF-SITE WORK WITHIN EXISTING RIGHT-OF-WAYS AND EASEMENTS. SITE IMPROVEMENT PERMITS COVER ON-SITE WORK SUCH AS GRADING, UTILITIES, NEW STREETS, PARKING LOTS AND LANDSCAPING. GRADING PERMITS COVER ON-SITE WORK FOR ROUGH GRADING ONLY. BUILDING PERMITS COVER ON-SITE STRUCTURES. THE CITY'S ENCROACHMENT PERMIT POLICY MANUAL SHOULD BE CONSULTED FOR DETAILED INFORMATION ON TOP REQUIREMENTS. TOPS WILL BE STAMPED APPROVED BY THE CITY AND A COPY RETURNED TO THE CONTRACTOR. A COPY OF ALL APPROVED TOPS MUST REMAIN ON THE JOB SITE AT ALL TIMES.

11. THE CONTRACTOR WILL SUBMIT ANY NECESSARY TRAFFIC CONTROL PLAN (TOP) AS REQUIRED BY THE CITY IN CONJUNCTION WITH THE ENCROACHMENT PERMITS FOR THE WORK. TRAFFIC CONTROL WILL CONFORM TO THE CALIFORNIA MUTCD. THE CITY'S ENCROACHMENT PERMIT POLICY MANUAL SHOULD BE CONSULTED FOR DETAILED INFORMATION ON TOP REQUIREMENTS. TOPS WILL BE STAMPED APPROVED BY THE CITY AND A COPY RETURNED TO THE CONTRACTOR. A COPY OF ALL APPROVED TOPS MUST REMAIN ON THE JOB SITE AT ALL TIMES.

12. THE CITY ENGINEER DOES NOT WARRANT ANY QUANTITIES SHOWN ON THESE PLANS.

13. ANY WORK CONCEALED WITHOUT INSPECTION WILL BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE DEVELOPER'S/CONTRACTOR'S EXPENSE.

14. DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR PRESERVATION AND OR PERPETUATION OF ALL EXISTING MONUMENTS WHICH CONTROL SUBDIVISION, TRACTS, BOUNDARIES, STREETS, HIGHWAYS, OR OTHER RIGHT-OF-WAY, EASEMENTS, OR PROVIDE SURVEY CONTROL, WHICH WILL BE DISTURBED OR REMOVED DUE TO CONTRACTORS' WORK INCLUDING FEES, BONDS, PERMITS, ETC.

15. THE CONTRACTOR WILL NOTIFY THE CITY AT LEAST 10 WORKING DAYS PRIOR TO COMMENCING WORK SO THAT THE CITY MAY PRESERVE, THE LOCATIONS AND ELEVATIONS OF EXISTING MONUMENTS AND BENCH MARKS WITHIN THE PUBLIC RIGHT OF WAY WHICH WILL BE DISTURBED OR REMOVED DUE TO CONTRACTORS' WORK. THE CITY'S PRESERVATION OF THE EXISTING MONUMENTS AND BENCHMARKS MUST BE COMPLETED PRIOR TO THE CONTRACTOR COMMENCING WORK. THE CONTRACTOR MUST RESERVE NOTIFICATION FROM THE CITY.

16. DEVELOPER/CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE DESIGN ENGINEER TO RESET MONUMENTS OR PROVIDE PERMANENT WITNESS MONUMENTS AND FILE THE REQUIRED DOCUMENTATION WITH THE CITY ENGINEER PURSUANT TO BUSINESS AND PROFESSIONS CODE SECTION 8771.

17. THE LATEST CITY ENGINEER APPROVED VERSION OF THESE IMPROVEMENT PLANS MUST BE AVAILABLE ON THE JOB SITE AT ALL TIMES. A REPRESENTATIVE OF THE DEVELOPER/CONTRACTOR (CAPABLE OF COMMUNICATING WITH THE CITY'S REPRESENTATIVES) WILL BE ON THE JOB AT ALL TIMES THE WORK IS BEING PURSUED.

18. DEVELOPER/CONTRACTOR IS RESPONSIBLE TO ARRANGE FOR THE RELOCATION OF ALL EXISTING UTILITIES THAT MAY INTERFERE WITH THE WORK. THE DEVELOPER/CONTRACTOR MUST SUBMIT THE UTILITY RELOCATION PLANS AND A UTILITY RELOCATION SCHEDULE TO THE CITY WHEN THE UTILITY RELOCATION INTERFERES WITH THE CONSTRUCTION OF ARTERIAL/COLLECTOR STREETS.

19. ALL UNDERGROUND STORAGE TANKS WILL BE REMOVED PER CITY OF LEMOORE AND COUNTY OF KINGS REQUIREMENTS. A BUILDING PERMIT WILL BE OBTAINED FOR THE REMOVAL PRIOR TO START OF WORK.

20. ALL WELLS WILL BE ABANDONED PER CITY OF LEMOORE AND COUNTY OF KINGS REQUIREMENTS. A BUILDING PERMIT WILL BE OBTAINED FOR THE ABANDONMENT PRIOR TO START OF WORK.

21. EXISTING IRRIGATION RISERS, IRRIGATION PIPE, AND SEPTIC SYSTEMS WILL BE REMOVED.

22. PRIOR TO THE CITY ENGINEER'S ACCEPTANCE OF THE WORK, THE DESIGN ENGINEER WILL SUBMIT A CERTIFICATION OF PAD ELEVATIONS FOR LOTS LOCATED IN A FEMA SPECIAL FLOOD HAZARD AREA.

23. ALL TRENCHES AND EXCAVATIONS OUTSIDE THE LIMITS OF THE STREETS, RESULTING FROM THE REMOVAL OF UNDERGROUND STRUCTURES AND THE INSTALLATION OF UTILITIES WILL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION.

24. THE CURB ALONG ALL RETURNS SHALL BE DEPRESSED TO ALLOW CITY STANDARD ADA RAMP CONSTRUCTION. THE CURB AT PLANNED DRIVEWAY APPROACH LOCATIONS MAY BE DEPRESSED TO A MAXIMUM WIDTH OF 24 FEET TO ACCOMMODATE A TWO-CAR DRIVEWAY. IT IS THE DEVELOPER'S AND DESIGN ENGINEER'S RESPONSIBILITY TO LOCATE THE DRIVEWAY APPROACH LOCATIONS. AT THE TIME OF BUILDING PERMIT ISSUANCE ON EACH LOT, THE CITY RESERVES THE RIGHT TO CORRECT THE DRIVEWAY APPROACH LOCATION AND WIDTH BASED ON THE LOT PLAN SUBMITTED TO THE CITY.

25. CONTRACTOR IS RESPONSIBLE TO IMPLEMENT AND MAINTAIN THE STORY WATER POLLUTION PREVENTION PLAN (SWPPP) AND CONFORM TO REQUIREMENTS OF THE GENERAL CONSTRUCTION PERMIT. A COPY OF THE GENERAL CONSTRUCTION PERMIT AND WOOD SHALL BE VISIBLE AT THE JOB SITE AND A COPY OF THE SWPPP SHALL BE AVAILABLE ON THE JOB SITE AT ALL TIMES.

26. IN ACCORDANCE WITH THE SWPPP, THE DEVELOPER/CONTRACTOR IS RESPONSIBLE TO CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES IN ORDER TO REDUCE OR ELIMINATE THE TRACKING OF SEDIMENT ONTO PUBLIC STREETS. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTION DITCHES, PIPES PROTECTIVE BERMES, CONCRETE CHANNELS OR OTHER DEVICES DESIGNED TO PROTECT IMPROVEMENTS, WHETHER EXISTING OR PROPOSED, FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS.

27. DEVELOPER/CONTRACTOR IS RESPONSIBLE TO COMPLY WITH SAN JOAQUIN VALLEY AIR POLLUTION CONTROL DISTRICT (SAVAPCD) REGULATION VII TO LIMIT FUGITIVE DUST. SUBMIT A DUST CONTROL PLAN TO THE SAVAPCD WHEN REQUIRED BY REGULATION VII.

28. DEVELOPER/CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL OTHER PERMITS AND MEET ANY REQUIREMENTS SET FORTH BY OTHER AGENCIES OR UTILITIES, WHICH HAVE JURISDICTION, INCLUDING OSHA.

29. EXCAVATIONS WILL BE ADEQUATELY SHORED, BRACED AND SHEETED SO THAT THE EARTH WILL NOT SLIDE OR SETTLE AND SO THAT ALL EXISTING IMPROVEMENTS OF ANY KIND WILL BE FULLY PROTECTED FROM DAMAGE. WHERE THE EXCAVATION FOR A CONDUIT TRENCH, AND/OR STRUCTURE IS FIVE FEET OR MORE IN DEPTH, THE CONTRACTOR WILL PROVIDE ADEQUATE SHEETING, WHICH WILL CONFORM TO THE APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE STATE OF CALIFORNIA, DEPARTMENT OF INDUSTRIAL RELATIONS, DIVISION OF INDUSTRIAL SAFETY. THE CONTRACTOR WILL ALWAYS COMPLY WITH OSHA REQUIREMENTS.

30. IF ARCHAEOLOGICAL MATERIALS ARE UNCOVERED DURING GRADING, TRENCHING OR OTHER EXCAVATION, EARTHWORK WITHIN 100 FEET OF THESE MATERIALS WILL BE STOPPED UNTIL A PROFESSIONAL ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGY (SCA) AND/OR THE SOCIETY OF PROFESSIONAL ARCHAEOLOGY (SOPA) HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND SUGGEST APPROPRIATE MITIGATION MEASURES, IF THEY ARE DEEMED NECESSARY.

31. REGULATORY PERMITS AND NECESSARY APPROVALS FROM THE GOVERNING BODIES AND THEIR OFFICIALS MUST BE OBTAINED PRIOR TO PROCEEDING WITH ANY WORK IN THE VICINITY OF EXISTING DITCHES, CREEKS AND ASSOCIATED IRRIGATION FACILITIES WHETHER OR NOT SHOWN ON THESE IMPROVEMENT PLANS.

32. FIRE ACCESS TO BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION

STANDARD GENERAL NOTES

1. THE CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR FURTHER INCUMBENT AND HOLD OBLIGATIONS TO MAINTAIN ACCESS TO ALL ADJACENT AREAS AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXEMPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF ENGINEER.

2. THE CONTRACTOR SHALL ACCEPT THE SITE IN ITS PRESENT CONDITION AND DEMOLISH AND OR REMOVE FROM THE AREA OF DESIGNATED PROJECT EARTHWORK ALL STRUCTURE, BOTH SURFACE AND SUBSURFACE, TREES, BRUSH, ROOTS, DEBRIS, ORGANIC MATTER, AND ALL OTHER MATTER DETERMINED BY THE INSPECTOR TO BE DELETERIOUS. SUCH MATERIAL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.

3. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR SAFETY, TRAFFIC CONTROL AND ALL TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH THE "MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE ZONES," LATEST EDITION AS PUBLISHED BY THE STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION.

4. THE CONTRACTOR SHALL POST EMERGENCY TELEPHONE NUMBERS FOR POLICE, FIRE, AMBULANCE AND THOSE AGENCIES RESPONSIBLE FOR MAINTENANCE OF UTILITIES IN THE VICINITY OF JOBSITE.

5. ALL RETURN RADI AND CURB DATA ARE TO FACE OF CURB UNLESS SHOWN OR NOTED OTHERWISE.

6. ALL QUANTITIES AND PAY ITEMS ARE AND WILL BE BASED ON HORIZONTAL MEASUREMENTS

7. LENGTHS OF SANITARY SEWERS AND STORM DRAINS ARE HORIZONTAL DISTANCES FROM CENTER TO CENTER OF STRUCTURES, ROUNDED OFF TO THE NEAREST FOOT.

8. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORDED INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEES MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AT LEAST 2 WORKING DAYS IN ADVANCE OF CONSTRUCTION TO FIELD LOCATE UTILITIES. CALL UNDERGROUND SERVICE ALERT (U.S.A.) AT 1-800-427-2862. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR NOTICED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTORS FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED AND MERGED INTO THE CONTRACT ANT PRICE.

9. ALL EXISTING UTILITIES AND IMPROVEMENT THAT BECOME DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE LOCAL AGENCY ENGINEER, AT THE CONTRACTORS SOLE EXPENSE.

10. ANY RELOCATION OF PUBLIC UTILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH ANY AND ALL REQUIREMENTS OF THE UTILITY COMPANY, INCLUDING FEES, BONDS, PERMITS, AND WORKING CONDITIONS, ETC. THIS WORK SHALL BE DONE AT THE EXPENSE OF THE UTILITY COMPANY. THE OWNER SHALL PAY THE COST OF ALL SUCH RELOCATION WORK INCLUDING FEES, BONDS, PERMITS, ETC.

11. IF ARCHAEOLOGICAL MATERIALS ARE UNCOVERED DURING GRADING, TRENCHING OR OTHER EXCAVATION, EARTHWORK WITHIN 100 FEET OF THESE MATERIALS SHALL BE STOPPED UNTIL A PROFESSIONAL ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGY (SCA) AND/OR THE SOCIETY OF PROFESSIONAL ARCHAEOLOGY (SOPA) HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND SUGGEST APPROPRIATE MITIGATION MEASURES, IF THEY ARE DEEMED NECESSARY.

12. CREEKS, IN DOES NOT SPECIFY NOR RECOMMEND THE USE OR INSTALLATION OF ANY MATERIAL OR EQUIPMENT WHICH IS MADE FROM OR WHICH CONTAINS ASBESTOS FOR USE IN THE CONSTRUCTION OF THESE IMPROVEMENTS. ANY PARTY INSTALLING OR USING SUCH MATERIALS OR EQUIPMENT SHALL BE SOLELY RESPONSIBLE FOR ALL INJURIES, DAMAGES, OR LIABILITIES OF ANY KIND CAUSED BY THE USE OF SUCH MATERIAL OR EQUIPMENT. THE PROVISIONS OF THIS NOTE SHALL APPLY UNLESS THEY ARE EXPRESSLY WAIVED IN WRITING BY CREEKS, INC.

13. SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT CREEKS, INC. (559) 802-3032 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.

14. ALL ASPHALT CONCRETE PAVING SHALL BE APPLIED TO DRY GROUND IN DRY WEATHER WITH TEMPERATURES ABOVE 50 DEGREES AND RISING. ALL WORK RELATED TO PAVING SHALL CONFORM TO STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARDS, SPECIFICATIONS, AND CITY OF LEMOORE REQUIREMENTS.

PROJECT SPECIFIC NOTES

1. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION SURVEYOR THREE WORKING DAYS PRIOR TO THE NEED FOR CONSTRUCTION SURVEY STAKES.

2. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER.

3. COMPACTION TESTING SHALL BE PERFORMED IN ACCORDANCE WITH ASTM D-1557.

4. ALL MANHOLE COVERS AND WATER VALVE COVERS TO BE LEFT A MINIMUM OF 0.5 FEET BELOW THE AGGREGATE BASE MATERIAL UNTIL COMPLETION OF THE ASPHALT PAVING, WHERE APPLICABLE.

5. FINAL INSPECTION AND ACCEPTANCE OF THE WORK WITHIN THE STREET RIGHT OF WAY WILL BE BY THE CITY OF LEMOORE.

6. DUST CONTROL

(A) PRE-CONSTRUCTION: THAT MATERIAL EXCAVATED OR GRADED BE SUFFICIENTLY WATERED TO PREVENT EXCESSIVE AMOUNT OF DUST. WATERING SHOULD OCCUR AT LEAST TWICE A DAY WITH COMPLETE COVERAGE, PREFERABLY IN THE LATE MORNING AND AFTER WORK IS COMPLETED FOR THE DAY. THAT CLEARING, GRADING, EARTH MOVING, OR EXCAVATION ACTIVITIES CEASE DURING PERIODS OF HIGH WINDS GREATER THAN 20 MPH. THAT EARTH MATERIAL TRANSPORTED OFF-SITE BE EITHER SUFFICIENTLY WATERED OR SECURELY COVERED TO PREVENT EXCESSIVE AMOUNTS OF DUST. THAT AREAS DISTURBED BY CLEARING, EARTH MOVING, OR EXCAVATION ACTIVITIES BE MINIMIZED AT ALL TIMES. THAT WHERE ACCEPTABLE TO THE PRE-DEPARTMENT, WHEEL CONTROL SHOULD BE ACCOMPLISHED BY MOWING INSTEAD OF DISCING, THEREBY LEAVING THE GROUND UNDISTURBED AND WITH A MULCH COVERING.

(B) DURING CONSTRUCTION: AFTER CLEARING, GRADING, EARTH MOVING OR EXCAVATION OPERATIONS, DURING THE CONSTRUCTION PHASE, FUGITIVE EMISSIONS SHOULD BE CONTROLLED BY THE FOLLOWING METHODS:

- THAT NON-ACTIVE PORTIONS OF THE CONSTRUCTION SITE BE RESTRICTED FROM VEHICULAR MOVEMENT.
- THAT ACTIVE PORTIONS OF THE SITE SHOULD BE SUFFICIENTLY WATERED TO PREVENT EXCESSIVE AMOUNTS OF DUST

(C) GENERAL FUGITIVE DUST: AT ALL TIMES, FUGITIVE DUST EMISSIONS SHOULD BE CONTROLLED USING THE FOLLOWING METHODS:

- THAT ON SITE VEHICLE SPEED SHOULD BE LIMITED TO 15 MPH
- THAT AREAS WITH VEHICLE TRAFFIC BE WATERED PERIODICALLY OR HAVE PETROLEUM-BASED PALLIATIVES APPLIED FOR STABILIZING OF DUST EMISSIONS
- THAT DURING ROUGH GRADING AND CONSTRUCTION, STREETS NEXT TO THE PROJECT SITE BE SWEEPED AT LEAST ONCE PER DAY, OR AS REQUIRED TO REMOVE SILT WHICH MAY HAVE ACCUMULATED FROM CONSTRUCTION ACTIVITIES
- THAT DURING ROUGH GRADING AND CONSTRUCTION, ACCESS TO THE SITE SHOULD REQUIRE THE BUILDING OF AN APPROX 100 FEET FROM ADJACENT PAVED ROADWAYS. THAT APPROX SHOULD BE PAVED OR HAVE PETROLEUM-BASED PALLIATIVE APPLIED.

(D) OZONE PRECURSORS: AT ALL TIMES, OZONE PRECURSOR EMISSIONS SHOULD BE CONTROLLED BY THE FOLLOWING METHODS:

- THAT ALL INTERNAL COMBUSTION ENGINE DRIVE EQUIPMENT BE PROPERLY MAINTAINED AND WELL TUNED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.

8. AN ON-SITE PRE-CONSTRUCTION MEETING BETWEEN ALL PARTIES INVOLVED IN THE CONSTRUCTION AND INSPECTION OF THE IMPROVEMENTS MUST BE ARRANGED BY THE CONTRACTOR.

7. CONTRACTOR SHALL REFER TO ELECTRICAL, MECHANICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION REGARDING SITE UTILITIES.

8. ALL TRENCHES SHALL BE COMPLETELY BACKFILLED PRIOR TO THE END OF THE WORK DAY WHICH THEY ARE CONSTRUCTED. TRENCHES AT ALL CROSSINGS IN TRAFFIC AREAS SHALL HAVE TEMPORARY PAVEMENT INSTALLED PRIOR TO THE END OF WORK DAY IN WHICH THEY ARE CONSTRUCTED. STEEL PLATES MAY BE SUBSTITUTED FOR TEMPORARY PAVEMENT, IF REQUESTED BY THE CONTRACTOR AND APPROVED BY THE CITY ENGINEER. FOR PURPOSES OF DEFINING TRENCHES, ALL EXCAVATION FOR INSTALLING PIPES ARE TRENCHES UNLESS THEY MEET THE FOLLOWING:

- ARE 5 FEET OR LESS IN DEPTHS AS MEASURES FROM THE ORIGINAL GROUND SURFACE
- HAVE 1 TO 1 SIDE SLOPES
- ARE 10 FEET OR WIDER AT THEIR BASE
- ARE LOCATED OUTSIDE OF DEVELOPED STREET RIGHTS OF WAY

CONSTRUCTION NOTES-GRADING

1. ALL GRADING SHALL BE DONE IN CONFORMANCE WITH THE STATE OF CALIFORNIA BUILDING CODE, LATEST EDITION. THE CITY OF LEMOORE IMPROVEMENT STANDARDS, APPLICABLE SECTION OF THE CAL TRANS STANDARD SPECIFICATIONS, LATEST EDITION, AND SOILS REPORT (RMA GEOTECHNICAL PROJECT NO. 200-0962-0)

2. CONTRACTOR SHALL NOTIFY THE PROJECT INSPECTOR 48 HOURS BEFORE STARTING DEMOLITION AND GRADING WORK.

3. THE GRAD SHALL CONSIST OF ALL EARTHWORK RELATED TO THE SITE, ALL DEMOLITION, CLEANING, GRUBBING, STRIPPING, ROUGH GRADING, EXCAVATION, IMPORT AND/OR EXPORT OF FILL, PROCESSING, PLACEMENT, AND COMPACTION OF FILL MATERIALS, PLACEMENT OF AGGREGATE BASE MATERIAL AND ALL WORK NECESSARY TO COMPLETE THE GRADING TO CONFORM TO THE LINES, GRADES AND SLOPES AS SHOWN ON THESE PLANS.

4. SITE CONDITIONS: THE CONTRACTOR SHALL VISIT THE SITE EXAMINE AND NOTE ALL CONDITIONS AS TO THE CHARACTER AND EXTENT OF WORK INVOLVED

5. ALL ORGANIC MATERIAL, RUBBLE OR OTHER DELETERIOUS MATERIAL SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED.

6. ALL FILL AND UPPER 8" OF EXISTING SUB GRADE AT PAVED AREAS SHALL BE COMPACTED TO 95% RELATIVE COMPACTION IN ACCORDANCE WITH ASTM D-1557. EXISTING SUBGRADE TO BE COMPACTED PRIOR TO PLACING FILL, CONCRETE OR AGGREGATE BASE.

7. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR BUILDING PAD PREPARATION.

8. ANY EXISTING FILL AND/OR DISTURBED SUBGRADE MATERIAL SHALL MEET THE COMPACTION REQUIREMENTS STATED IN NOTE 8 ABOVE. ALL ORGANIC MATERIAL, RUBBLE OR OTHER DELETERIOUS MATERIAL SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED.

9. IMPORT MATERIAL (IF ANY) USED AS ENGINEERED FILL SHALL CONSIST OF NON EXPANSIVE, INORGANIC GRANULAR SOILS CONFORMING TO THE FOLLOWING CRITERIA:

MAXIMUM PARTICLE SIZE	3/8"
PERCENT PASSING 3/8" SIEVE	100%
PERCENT PASSING NO. 200 SIEVE	10-40%
MAXIMUM WATER SOLUBLE SULFATE (SO4) IN SOIL, % BY WEIGHT	2.0%
MAXIMUM PLASTICITY INDEX	8
MAXIMUM UBC EXPANSION INDEX	13
MINIMUM RESISTANCE VALUE	40

10. BACKFILL, OR ON-SITE UNDERGROUND UTILITIES PLACED ON THE SITE SHALL BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 90% IN LANDSCAPE AREAS. ALL BACKFILL IN TRENCHES IN PAVED AND OTHER AREAS TO BE COMPACTED ACCORDING TO THE CITY OF LEMOORE STANDARD DETAILS.

11. ALL SPOIL PILES SHALL HAVE SIDE SLOPES AS REQUIRED FOR SAFETY BY THE PUBLIC WORKS INSPECTOR

SANITARY SEWER NOTES:

1. SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE PIPE (PVC) WITH INTEGRAL BELL AND SPIGOT JOINTS MEETING THE REQUIREMENTS OF ASTM D3034 FOR SDR35 OR SDR35. PIPE SHALL BE INSTALLED IN COMPLIANCE WITH THE MANUFACTURER'S RECOMMENDED CONSTRUCTION PRACTICE FOR PLASTIC SEWER PIPE. UPON COMPLETION OF BACKFILL AND COMPACTION TRENCHES, THE CONTRACTOR, AT HIS OWN EXPENSE SHALL PULL A PROPERLY SIZED MANHOLE THROUGH INSTALLED MAIN LINES. 8 INCHES INSIDE DIAMETER AND LARGER, TO DEMONSTRATE THE MAXIMUM PIPE DEFLECTION DOES NOT EXCEED 3%, IF EXCESSIVE PIPE DEFLECTION OBSTRUCTS PASSAGE OF THE MANHOLE, THE CONTRACTOR SHALL EXCAVATE AND MAKE SUITABLE REPAIRS.

2. SANITARY SEWER MANHOLES SHALL BE CONSTRUCTED AS SHOWN ON DETAILED DRAWINGS.

3. TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH PROJECT SPECIFIC NOTES AND DETAILED DRAWINGS.

4. SANITARY SEWER LATERAL CONNECTION TO MAIN LINE SHALL BE IN ACCORDANCE WITH CITY OF LEMOORE STANDARDS.

STORM DRAIN NOTES

1. OFF-SITE STORM DRAIN PIPE MATERIALS AND INSTALLATION WITHIN CITY STREET RIGHT-OF-WAY SHALL MEET THE REQUIREMENTS OF THE CITY OF LEMOORE 2010 PUBLIC WORKS IMPROVEMENT STANDARD AND SPECIFICATIONS.

2. ON-SITE STORM DRAIN PIPE SHALL BE ANY OF THE FOLLOWING:--

3. REINFORCED CONCRETE PIPE (RCP) MEETING THE REQUIREMENTS OF ASTM C76, LATEST REVISION WITH THE CLASS AS SPECIFIED BELOW. JOINTS SHALL BE RUBBER GASKET CONFORMING TO ASTM C443, LATEST REVISION.

PIPE CLASS	DEPTH OF COVER IN FEET
I	1 OR LESS
II	GREATER THAN 4 UP TO 9
III	GREATER THAN 9 UP TO 14
IV	GREATER THAN 14 UP TO 20
V	GREATER THAN 20 UP TO 30

PIPE DIAMETER (IN)	COVER (IN)
1 TO 4	18 (NON TRAFFIC AREAS)
1 TO 4	24 (TRAFFIC AREAS)
6	36
8	36
10	36
12	42

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OWNER/DEVELOPER

C-001. COVER SHEET

C-002. TOPOGRAPHIC SURVEY & DEMOLITION

C-003. GRADING PLAN

C-004. UTILITY PLAN

C-005. STRIPING, SIGNING, & MARKINGS PLAN

C-006. CIVIL DETAILS

CIVIL SHEET INDEX

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH CITY REQUIREMENTS. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS APPROVAL SHALL NOT PREVENT THE CITY ENGINEER FROM REQUIRING CORRECTION OF ERRORS OR OMISSIONS IN PLANS FOUND TO BE IN VIOLATION OF ANY LAW OR ORDINANCE.

JOEL R. JOHNER, P.E., F.L.S.

CITY ENGINEER

DATE

NOTE TO OWNER AND CONTRACTOR

THIS PLAN HAS BEEN PREPARED WITH THE INTENT THAT CREEKS, INC. WILL BE PERFORMING THE CONSTRUCTION STAKING FOR THE COMPLETE PROJECT. IF, HOWEVER ANOTHER ENGINEER AND/OR SURVEYING FIRM SHOULD BE EMPLOYED TO USE THESE PLANS FOR THE PURPOSE OF CONSTRUCTION STAKING, NOTICE IS HEREBY GIVEN THAT THE FIRM OF CREEKS, INC. WILL NOT ASSUME ANY RESPONSIBILITY FOR ERRORS OR OMISSIONS, IF ANY, WHICH MIGHT OCCUR AND WHICH COULD HAVE BEEN AVOIDED, CORRECTED OR MITIGATED IF CREEKS HAD PERFORMED THE STAKING WORK.

BENCHMARK

17" O.N.W. REF. BY CONCRETE 10TH & ST. ELEV. 218.8 (NVD)

City of Lemoore Water Service

Phone: (559) 924-4744  
711 W. Crimmon Drive  
Lemoore, CA 93245

Concast Cable  
Construction Supervisor: Jon Butner  
Phone: (559) 994-7958  
Email: jon.butner@concastcable.com

AT&T California  
Project Manager: Erin Pictol  
Phone: (559) 739-4649  
Fax: (559) 822-0263  
Email: EPictol@att.net  
P.O. Box 2555  
217 W. Acequia Ave.  
Visalia, CA 93291

Pacific Gas & Electric (PG&E)  
Area Manager: Mervyn Larrago  
208 W. "D" St.  
Lemoore, CA 93245  
Phone: (559) 981-2108

Southern California Gas Company  
Project Manager: Chad Mueller  
Phone: (559) 739-2241  
Email: cmueller@southerngas.com  
404 N. Tipton St.  
Visalia, CA 93292

Service Lines Domestic and Irrigation Service Lines and Meter Connections Shall Be Constructed in Accordance with City of Lemoore Improvement Standard Specifications and Details, AS APPLICABLE FOR THE SERVICE.

10. WATER METERS-ALL METERS SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH CITY OF LEMOORE REQUIREMENTS.

11. CONNECTIONS TO EXISTING WATER MAINS SHALL BE IN ACCORDANCE WITH CITY OF LEMOORE REQUIREMENTS.

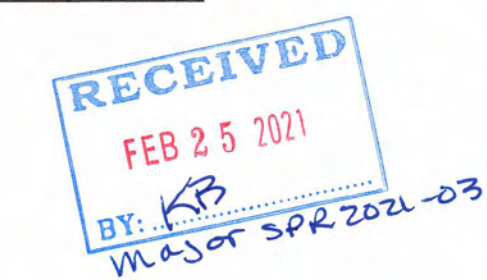
12. MINIMUM COVER SHALL BE BETWEEN THE TOP OF THE PIPE AND FINISHED GRADE AS FOLLOWS.

13. REDUCED PRESSURE BACKFLOW DEVICES SHALL BE INSTALLED ON ALL DOMESTIC WATER AND IRRIGATION SERVICES. SEE LANDSCAPE DRAWINGS FOR IRRIGATION BACKFLOW DEVICES.

14. EXISTING ASPHALT PAVEMENT



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TOPOGRAPHIC SURVEY  
& DEMOLITION PLAN  
**C002**

GENERAL DEMOLITION NOTES

- CONTRACTOR TO REMOVE AND DISPOSE OF ALL VEGETATION, CONCRETE, IRRIGATION SYSTEMS, ASPHALT, AGGREGATE BASE, SOIL, FENCES, STRUCTURES, ETC. WITHIN APPROXIMATE LIMITS OF CLEARING, GRUBBING, AND DEMOLITION, UNLESS OTHERWISE NOTED ON THESE PLANS.
- ALL SAWCUTS TO BE A NEAT, CLEAN ON GRADE EDGE.
- ANY EXISTING MANHOLES AND/OR WATER VALVES ENCOUNTERED WHETHER OR NOT SHOWN ON THESE PLANS SHALL BE PROTECTED AND ADJUSTED TO FINISH GRADE UNLESS NOTE OTHERWISE.
- A CITY OF LEMOORE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK IN THE CITY RIGHT OF WAY. CONTRACTOR SHALL PULL ENCROACHMENT PERMIT PRIOR TO THE COMMENCEMENT OF WORK IN THE RIGHT OF WAY.
- ANY EXISTING UTILITY BOXES OR BASINS ENCOUNTERED, WHETHER THEY ARE SHOWN OR NOT, SHALL BE PROTECTED IN PLACE AND ADJUSTED TO FINISH GRADE.

DEMOLITION KEYNOTES (THIS SHEET ONLY)

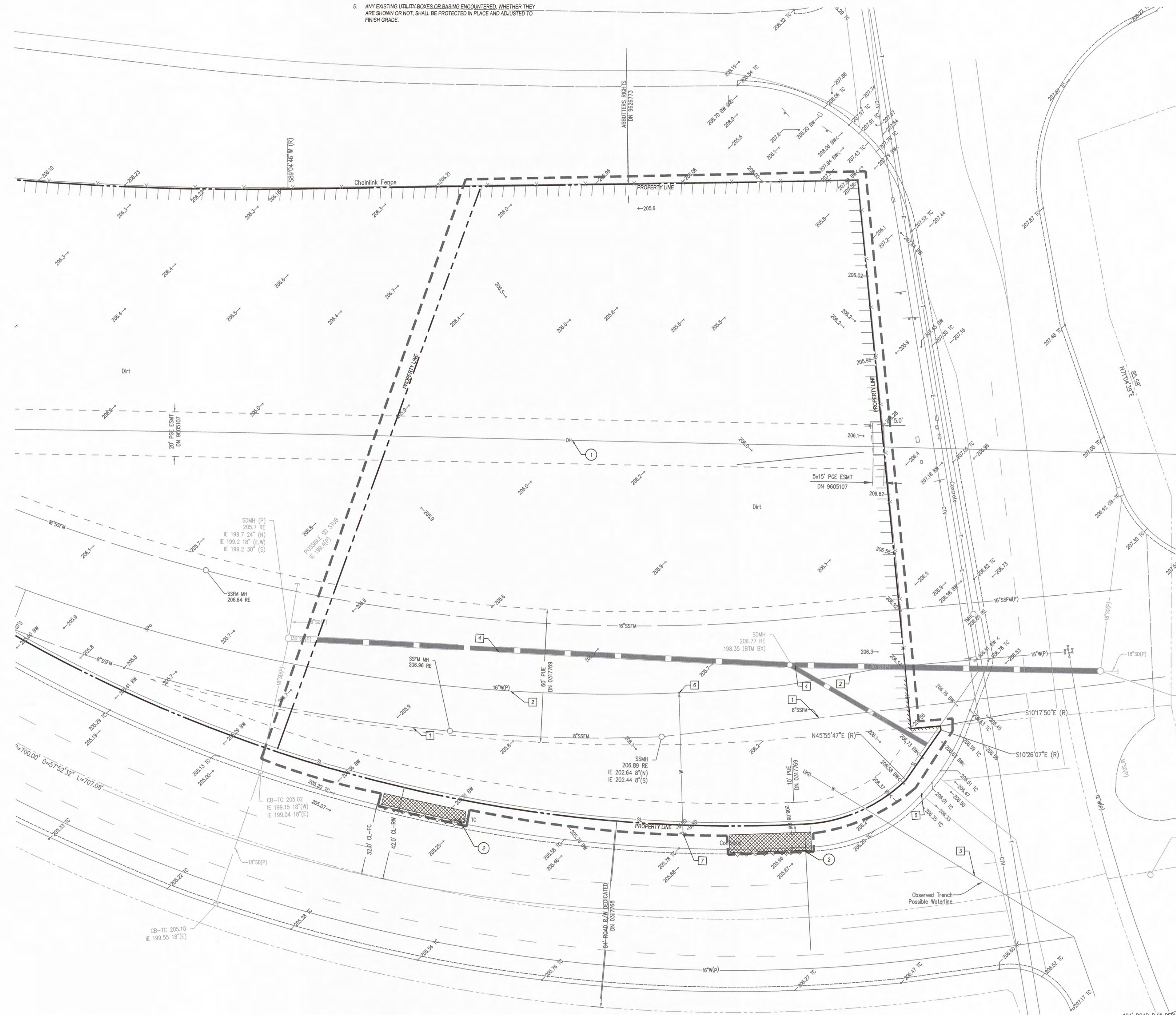
- EXIST. OVERHEAD LINES TO BE REMOVED AND RELOCATED BY OTHERS
- REMOVE EXIST. CONCRETE AND CURB & GUTTER

PROTECTION KEYNOTES (THIS SHEET ONLY)

- PROTECT EXIST. SEWER MAIN UNLESS OTHERWISE NOTED ON PLANS
- PROTECT EXIST. WATER MAIN
- CONTRACTOR TO FIELD VERIFY AND PROTECT IN PLACE POSSIBLE WATERLINE
- PROTECT IN PLACE EXIST. STORM DRAIN MAIN
- PROTECT EXIST. CURB & GUTTER
- PROTECT EXIST. WATER METER RAISE TO FINISH GRADE
- PROTECT IN PLACE EXIST. FIRE HYDRANT

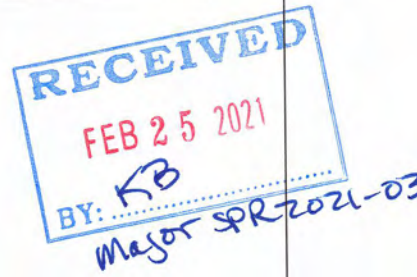
LEGEND (THIS SHEET ONLY)

- LIMITS OF DEMOLITION
- DEMO EXIST. CURB
- UTILITY EASEMENT
- DEMO EXIST. PAVEMENT





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GRADING PLAN

C003

GENERAL NOTES

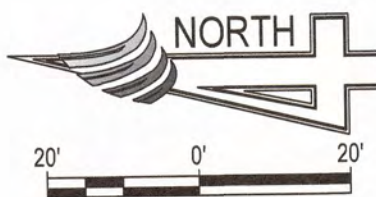
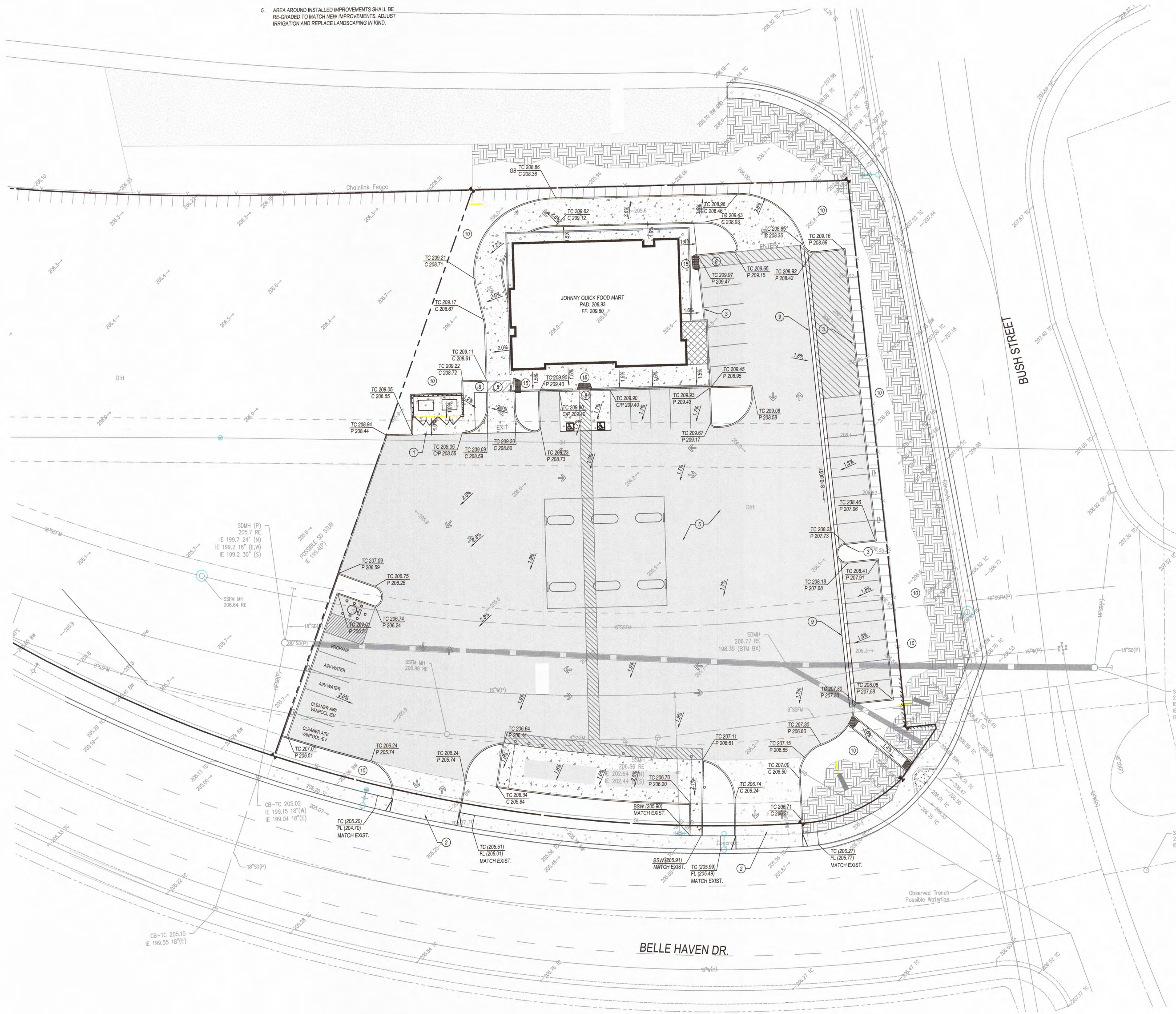
- FIELD VERIFY ALL ELEVATION SHOWN WHERE PROPOSED IMPROVEMENTS ABUT EXISTING IMPROVEMENTS PRIOR TO CONSTRUCTION. IMMEDIATELY NOTIFY PROJECT ENGINEER OF ANY DISCREPANCIES.
- DRY UTILITIES WHETHER SHOWN OR NOT, SHALL BE PROTECTED IN PLACE, UNLESS OTHERWISE NOTED. ACCESS BOXES AND VALVES SHALL BE ADJUSTED TO GRADE.
- CONTRACTOR SHALL REMOVE & DISPOSE OF ALL EXIST. CONCRETE IMPROVEMENTS NECESSARY TO INSTALL NEW IMPROVEMENTS. SEE CURB RAMP AND ALLEY APPROACH DETAILS FOR ADDITIONAL INFORMATION.
- ALL NEW CONCRETE IMPROVEMENTS SHALL BE DOWNLOADED INTO EXISTING CONCRETE IMPROVEMENTS PER CITY STANDARD DETAILS AND .
- AREA AROUND INSTALLED IMPROVEMENTS SHALL BE RE-GRADED TO MATCH NEW IMPROVEMENTS. ADJUST IRRIGATION AND REPLACE LANDSCAPING IN KIND.
- SAWCUT ALL EXIST. ASPHALT EDGES AT MATCH POINTS TO A CLEAN EDGE.
- SANITARY SEWER AND WATER ARE SHOWN ON THIS SECTION FOR INFORMATION ONLY. SEE SHEETS .
- EXIST. POWER / UTILITY POLES MUST BE BRACED DURING CONSTRUCTION OF ADJACENT UNDERGROUND IMPROVEMENTS AS REQUIRED BY THE UTILITY COMPANY.
- ALL EXISTING STORM DRAIN LATERALS NO LONG BEING USED SHALL BE COMPLETELY REMOVED FROM ROADWAY AND DISPOSED OF BACKFILL PER CITY STD.

GRADING PLAN KEY NOTES (THIS SHEET ONLY)

- INSTALL TRASH ENCLOSURE PER CITY STD. M-6
- INSTALL COMMERCIAL DRIVE APPROACH PER CITY STD. P-6
- CONSTRUCT 8" LANDSCAPE CURB PER CITY STD. P1-A
- CONSTRUCT CURB & GUTTER PER CITY STD. P-1
- CONSTRUCT CONCRETE SIDEWALK PER CITY STD. P-3
- INSTALL PAVEMENT SECTION (2.5' AC / 1.5' AB / 6" NATIVE, R-57)
- INSTALL STRUCTURAL CONC. SECTION (8" PCC / 12" C30, R-57)
- CROSS SLOPE TO NOT EXCEED 2% AND RUNNING SLOPE TO NOT EXCEED 5%
- INSTALL V GUTTER PER CITY STD. C-7
- CONTRACTOR TO GRADE ON SITE SWALE IN LANDSCAPE AREAS
- MONUMENT SIGN. SEE SEPARATE ARCHITECTURAL PLANS FOR DETAILS
- ADA ISLE RAMP LANDING NOT TO EXCEED 2% IN ANY DIRECTION

GRADING PLAN LEGEND (THIS SHEET ONLY)

- EXIST. ASPHALT CONCRETE
- EXIST. CONCRETE
- PROPOSED CONCRETE
- PROPOSED ASPHALT CONCRETE (2.5' AC / 1.5' AB / 12" NATIVE, R-40, T1, H-5)
- PROPOSED ASPHALT CONCRETE (3.0' AC / 1.5' AB / 12" NATIVE, R-57, T1, H-5)
- PROPOSED DETECTABLE WARNING SURFACE PER CITY STD. P-2



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Draft Utility Plan for Major SPR 2021-03 - PC Meeting April 12, 2021

GENERAL UTILITY NOTES:

1. ANY EXISTING MANHOLES AND/OR WATER VALVES ENCOUNTERED WHETHER OR NOT SHOWN ON THESE PLANS SHALL BE PROTECTED AND ADJUSTED TO FINISH GRADE UNLESS NOTE OTHERWISE.
2. A CITY OF LEMOORE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK IN THE CITY RIGHT OF WAY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PERMIT PRIOR TO THE COMMENCEMENT OF WORK IN THE RIGHT OF WAY.
3. STREET LIGHT(S) ON-SITE TO BE COORDINATED WITH MEP PLANS.
4. STREET LIGHT(S) OFF-SITE TO BE COORDINATED WITH UTILITY COMPANY.

UTILITY KEYNOTES:

WATER SYSTEM

ALL WATER LATERAL SIZES SHALL BE AS SHOWN ON PLAN (CONFORM WITH BUILDING PLUMBING PLAN).

SANITARY SEWER

CONSTRUCT SANITARY SEWER CLEANOUT, SIZE AS SHOWN ON PLAN. SEE DETAIL SHEETS \_\_\_\_ & \_\_\_\_

STORM DRAINAGE

INSTALL V-64 AREA DRAIN. SEE DETAIL \_\_\_\_ ON SHEET \_\_\_\_

INSTALL V-64 AREA DRAIN. SEE DETAIL \_\_\_\_ ON SHEET \_\_\_\_

WATER SYSTEM CONSTRUCTION NOTES:

1. ALL WATER PIPE SHALL BE SCHEDULE \_\_\_\_ PVC UNLESS NOTE OTHERWISE.
2. CONTRACTOR TO PROVIDE ALL FITTINGS/TEES/WYES NECESSARY, IN ORDER TO PROVIDE AN IN-PLACE WORKING DOMESTIC AND FIRE WATER SYSTEM.
3. CONSTRUCT THRUST BLOCKS FOR SYSTEM AS REQUIRED BY MANUFACTURER AND CALIFORNIA WATER SERVICE COMPANY.
4. WATER MAINS SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM AND ONE FOOT HIGHER THAN STORM AND SANITARY SEWERS LOCATED PARALLEL TO THE MAIN, IF FEASIBLE. CENTER A 20 FOOT LENGTH AT ALL STORM AND SANITARY SEWER CROSSINGS. MINIMUM SEPARATION BETWEEN SEWER AND WATER MAIN SHALL BE ONE FOOT UNLESS OTHERWISE INDICATED.

5. ALL WATER MAINS TO HAVE A MINIMUM OF 3.5' OF COVER TO THE TOP OF PIPE.
6. ANY EXISTING WATER VALVES ENCOUNTERED WHETHER OR NOT SHOWN ON THESE PLANS SHALL BE PROTECTED AND RAISED TO FINISH GRADE.
7. CONTRACTOR TO COORDINATE PLACEMENT OF DOMESTIC WATER METERS WITH CALIFORNIA WATER SERVICE COMPANY.

SANITARY SEWER CONSTRUCTION NOTES:

1. ALL SANITARY SEWER LATERALS SHALL BE \_\_\_\_ AS NOTE ON PLAN. SEE DETAIL SHEETS \_\_\_\_ & \_\_\_\_
2. SANITARY SEWER PIPE SIZE AND SLOPE AS SHOWN. ALL SANITARY SEWER PIPE SHALL BE SDR-35 PVC MEETING THE REQUIREMENTS OF ASTM D2034.
3. CONTRACTOR TO PROVIDE ALL FITTINGS/TEES/WYES TO PROVIDE AN IN-PLACE WORKING SANITARY SEWER DISPOSAL SYSTEM.

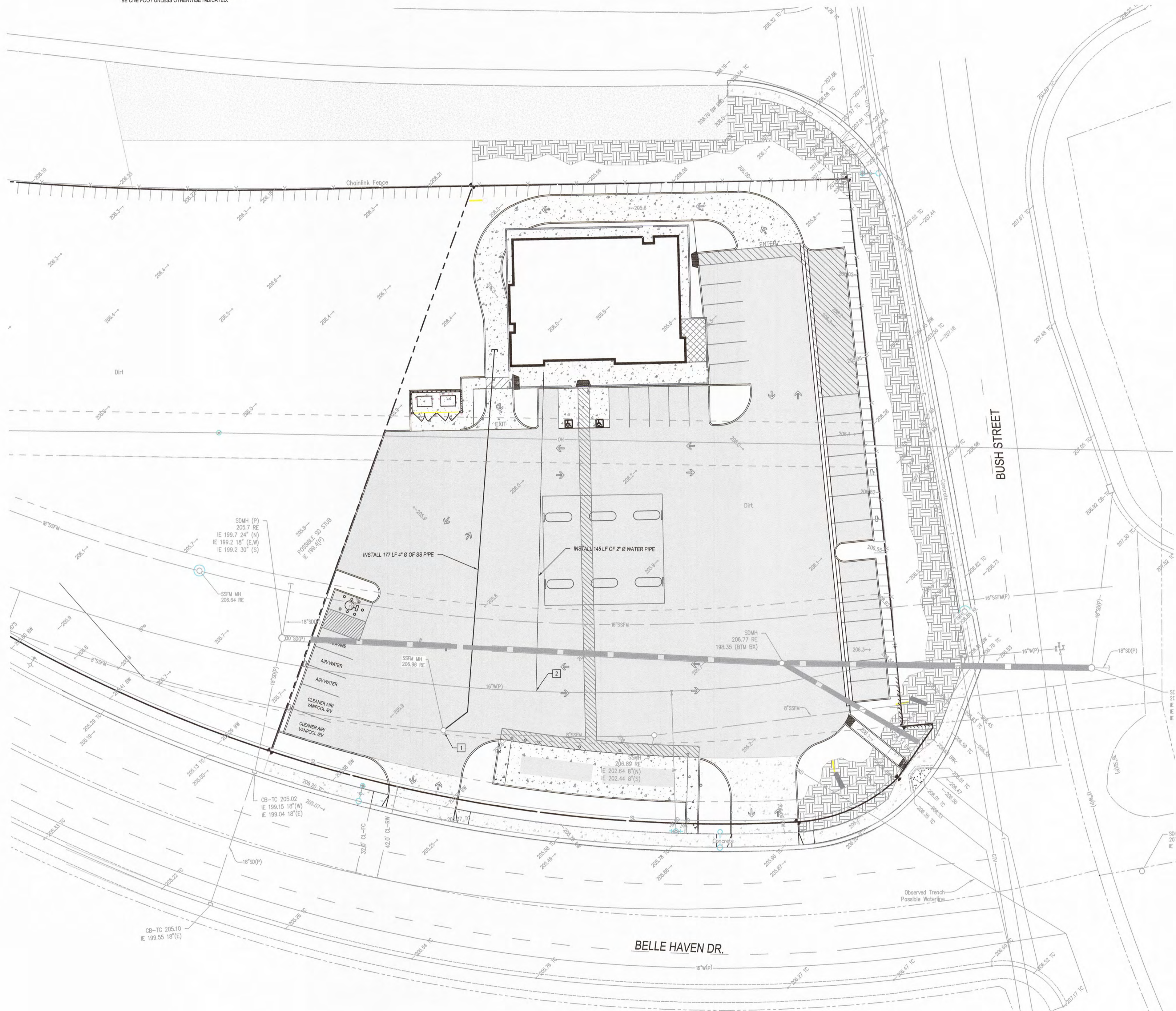
4. ALL SEWER PIPES TO HAVE THE FOLLOWING MINIMUM SLOPE, UNLESS SHOWN OTHERWISE:  
8" = 0.0030  
6" = 0.0050  
4" = 0.0100  
3" = 0.0200
5. ANY EXISTING MANHOLES ENCOUNTERED WHETHER OR NOT SHOWN ON THESE PLANS SHALL BE PROTECTED AND RAISED TO FINISH GRADE.

STORM DRAINAGE NOTES:

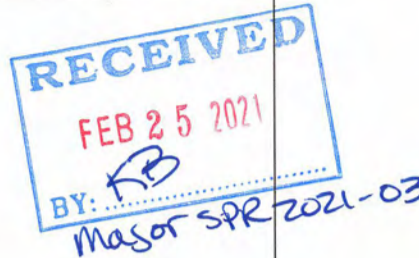
1. CONTRACTOR TO PROVIDE ALL FITTINGS/TEES/WYES TO PROVIDE AN IN-PLACE WORKING STORM DRAINAGE SYSTEM.
2. INSTALL COBBLE RIP-RAP AROUND AREA DRAINS (TYPICAL).

KEYNOTES:

1. TIE-IN TO EXIST. SS MAIN PER CITY STD. S-4. CONTRACTOR TO FIELD VERIFY INVERT.
2. TIE-IN TO EXIST. WATER MAIN PER CITY STD. W-1. CONTRACTOR TO FIELD VERIFY INVERT.



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UTILITY PLAN

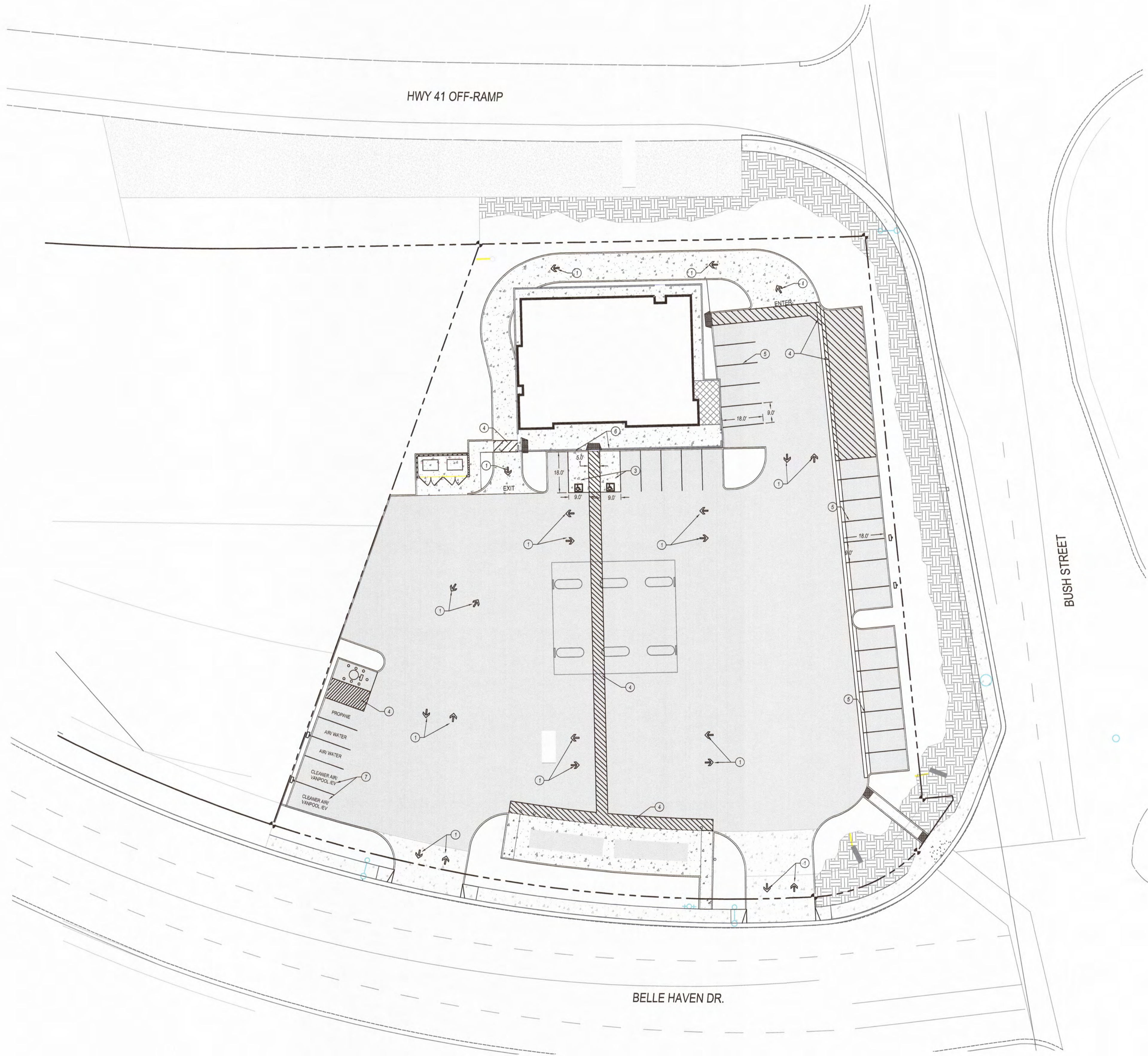
C004

GENERAL SIGNING, STRIPING & MARKING NOTES

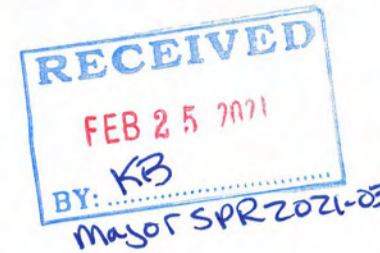
1. ALL EXISTING PAVEMENT DELINEATION IN CONFLICT WITH PROPOSED PAVEMENT DELINEATION SHALL BE REMOVED BY LIGHTLY GRINDING OR OTHER APPROVED METHODS WHICH WILL CAUSE THE LEAST POSSIBLE DAMAGE TO THE PAVEMENT. IN AREAS OF EXISTING PAVEMENT TO REMAIN, A SLURRY SEAL SHALL BE APPLIED TO THE AFFECTED AREA.
2. ALL STRIPING WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD PLANS AND SPECIFICATIONS, THE 2018 CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (2018 CALIFORNIA MUTCD), UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.
3. THE CONTRACTOR IS RESPONSIBLE TO RECORD AND DOCUMENT AS NECESSARY EXISTING STRIPING, PAVEMENT MARKERS AND MARKINGS. BLUE DOT MARKERS FOR FIRE HYDRANTS IN ORDER TO REPLACE THE STRIPING, PAVEMENT MARKERS AND MARKERS IN KIND.

SIGNING, STRIPING, AND MARKING KEYNOTES: (THIS SHEET ONLY)

1. PAINT TRAFFIC DIRECTION ARROW, SOLID AND WHITE TYPE (110) ARROW PER CALTRANS STANDARD PLAN A244
2. 4" TYP. WHITE STRIPES PER CITY OF LEMOORE STANDARDS
3. INSTALL ACCESSIBLE PARKING PER CALTRANS STANDARD PLAN RSP A30A
4. PAINT 4" DIAGONAL STRIPING AT 3' O.C. MAX PER CAL TRANS STATE STANDARD A24F
5. INSTALL PARKING MARKINGS PER CALTRANS STATE STANDARD A30A
6. INSTALL R99 (CA) AND R99B (CA) SIGN OR EQUIVALENT AT VAN ACCESSIBLE STALL PER CALTRANS STANDARD PLAN A30A
7. EV STALLS FOR FUTURE INSTALLATION



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SIGNING, STRIPING,  
& MARKINGS PLAN  
C005



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BY: KB  
Major SPR 2021-03

# MG2

01/22/2021



Architectural elevation drawing of a building facade. The drawing shows a multi-story structure with a central entrance door and a large window above it. The facade is divided into horizontal bands. Key features include:

- Central entrance door with a transom window.
- Large window above the door.
- Series of horizontal bands with varying heights.
- Central vertical axis labeled "A1 A361".
- Various elevation markers and dimensions.
- Labels "STC-01" and "STC-02" for different sections.
- Dimensions in feet and inches.
- Orientation: Building facade on the left, ground level on the right.

Architectural elevation drawing of a building facade. The drawing includes a sign for "JOHNNY QUIRK FOOD STORES" and a "TYPICAL REVEAL" detail. The facade features a parapet, a truss, and a door. The drawing is annotated with various callouts and dimensions, including "A1 A3B1", "A3 A3B1", "D1 A4B2", "STC-01", "STC-02", "STC-03", "STC-04", "STC-05", "STC-06", "STC-07", "STC-08", "STC-09", "STC-10", "STC-11", "STC-12", "STC-13", "STC-14", "STC-15", "STC-16", "STC-17", "STC-18", "STC-19", "STC-20", "STC-21", "STC-22", "STC-23", "STC-24", "STC-25", "STC-26", "STC-27", "STC-28", "STC-29", "STC-30", "STC-31", "STC-32", "STC-33", "STC-34", "STC-35", "STC-36", "STC-37", "STC-38", "STC-39", "STC-40", "STC-41", "STC-42", "STC-43", "STC-44", "STC-45", "STC-46", "STC-47", "STC-48", "STC-49", "STC-50", "STC-51", "STC-52", "STC-53", "STC-54", "STC-55", "STC-56", "STC-57", "STC-58", "STC-59", "STC-60", "STC-61", "STC-62", "STC-63", "STC-64", "STC-65", "STC-66", "STC-67", "STC-68", "STC-69", "STC-70", "STC-71", "STC-72", "STC-73", "STC-74", "STC-75", "STC-76", "STC-77", "STC-78", "STC-79", "STC-80", "STC-81", "STC-82", "STC-83", "STC-84", "STC-85", "STC-86", "STC-87", "STC-88", "STC-89", 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**C6** SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

MITCHELL C. SMITH



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[illegible]

## EXTERIOR ELEVATIONS

A201



## SITE PLAN REVIEW COMMENTS



DATE: April 12, 2021  
SITE PLAN NO: Major Site Plan Review No. 2021-03  
PROJECT TITLE: Lemoore Johnny Quick  
DESCRIPTION: Fuel Station, 4,280 sq. ft. Mini-Mart & Drive Through  
APPLICANT: LJQ Partners, LLC  
PROPERTY OWNER: Pat Vincent Ricchiuti  
LOCATION: 1.5 acres NEC N. Belle Haven Drive and W. Bush Street  
APN(S): 023-470-012 and 023-480-028

## PLANNING

**Planning/Zoning - The following comments are applicable when checked. Comments in *italics* are specific to the project.**

- ☒ General Plan Land Use Element land use designation(s): *Regional Commercial*
- ☒ General Plan Circulation Element adjacent street(s): *Bush Street and Belle Haven Drive are arterial streets*
- ☒ Zoning designation: *Regional Commercial*
- ☒ Proposed land use: *convenience store with food service and retail, drive-thru, car wash, fuel sales*
- ☒ Allowed use *convenience store with food service and retail, car wash* ☐ Not allowed use
- ☒ Requires a conditional use permit: *fuel sales and drive-thru.*

- ☒ Setbacks and heights:

	Required	Proposed	
Front – west – Belle Haven Drive	<i>0 feet from building, and 15-foot landscape buffer from Arterial</i>	<i>10 feet</i>	<input type="checkbox"/> Acceptable <input checked="" type="checkbox"/> Revise
Interior Side – north	<i>0 feet</i>	<i>0 feet</i>	<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise
Street Side – south – Bush Street	<i>0 feet from building, and 15-foot landscape buffer from Arterial</i>	<i>5 feet</i>	<input type="checkbox"/> Acceptable <input checked="" type="checkbox"/> Revise
Rear - east	<i>0 feet</i>	<i>5 feet</i>	<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise
Height	<i>N/A</i>	<i>28 feet</i>	<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise

*Minimum 15-foot landscape setback needs to be maintained on Belle Haven Drive, measured from property line. Also landscape area between existing sidewalk and property line.*

*For Bush Street, in lieu of providing 15 feet on the site, provide a minimum 10-foot landscape buffer, as measured from property line, and also landscape all of right of way along Bush Street between existing back of sidewalk and property line. The right of way landscape/irrigation design shall consider that Bush Street will be widened by about 10 feet in the future.*

- ☐ Open Space Requirements:
- ☒ Off-street Parking required: *3.5 per 1000 sq.ft. of building is required.  $3.5 / 1,000 * 4,280 \text{ sq.ft.} = 15 \text{ spaces required.}$*
- ☒ Parking: ☒ Minimum Parking is met. ☐ Parking is needed.

*26 spaces are provided.*

*Drive approaches should be 150 feet from corner unless approved by City Engineer.*

*Shared vehicle access with Parcel Two will be a condition of the CUP and Parcel Map.*

*Bicycle parking facilities in parking lots shall be provided for nonresidential and multi-family uses as provided in this section. Bicycle parking facilities shall comply with the California building code*

## SITE PLAN REVIEW COMMENTS



DATE: April 12, 2021  
SITE PLAN NO: Major Site Plan Review No. 2021-03  
PROJECT TITLE: Lemoore Johnny Quick  
DESCRIPTION: Fuel Station, 4,280 sq. ft. Mini-Mart & Drive Through  
APPLICANT: LJQ Partners, LLC  
PROPERTY OWNER: Pat Vincent Ricchiuti  
LOCATION: 1.5 acres NEC N. Belle Haven Drive and W. Bush Street  
APN(S): 023-470-012 and 023-480-028

### ☒ Outdoor lighting: *Required in parking area.*

General Lighting Requirements: The requirements listed below shall apply to all outdoor lighting:

- Nuisance Prevention: All outdoor lighting shall be designed, located, installed, and maintained in order to prevent glare, light trespass, and light pollution.
- Shielding: Except as otherwise exempt, all outdoor lighting shall be recessed and/or constructed with full downward shielding in order to reduce light and glare impacts on trespass to adjoining properties and public rights of way. Each fixture shall be directed downward and away from adjoining properties and public rights of way, so that no light fixture directly illuminates an area outside of the project site.
- Level of Illumination: Outdoor lighting shall be designed to illuminate at the minimum level necessary for safety and security and to avoid harsh contrasts in lighting levels between the project site and adjacent properties.
- Maximum Height Of Freestanding Outdoor Light Fixtures: The maximum height of freestanding outdoor light fixtures less than ten feet (10') from a property line abutting residential development shall be eighteen feet (18'). Otherwise, the maximum height for freestanding outdoor light structures shall be twenty four feet (24'). Height shall be measured from the finish grade, inclusive of the pedestal, to the top of the fixture. The designated approving authority may allow greater heights upon finding that there are special circumstances that affect the feasibility of meeting this standard.
- Energy Efficient Fixtures Required: Outdoor lighting shall utilize energy efficient fixtures and lamps, such as high pressure sodium, metal halide, low pressure sodium, hard wired compact fluorescent, or other lighting technology that is of equal or greater efficiency. All new outdoor lighting fixtures shall be energy efficient with a rated average bulb life of not less than ten thousand (10,000) hours.
- Accent Lighting: Architectural features may be illuminated by uplighting, provided that the lamps are low intensity to produce a subtle lighting effect and no glare or light trespass is produced. Wherever feasible, solar powered fixtures should be used.

☒ Elevations: ☒ Approved ☐ Revise and resubmit

☐ Fences, walls, and hedges: ☐ Approved ☐ Revise and resubmit

☐ Screening: ☐ Acceptable ☐ Revise and resubmit

☒ Landscaping: ☒ Plans required at Building Permit submittal ☐ Plans submitted ☐ Revise and resubmit

Landscape Plans will be checked for compliance with MWEL, including but not limited to the following conditions:

- Plan shall include square footages of landscaped area shown, water use calculations, and the material to be utilized.
- Water use classifications shall be based on WUCOLS IV.
- All other landscaped areas shown as landscaped shall be landscaped.
- Landscaping shall meet all other applicable requirements of Title 9, Article D1 of the Zoning Ordinance.

☒ Street trees are required per City standards and the approved street tree list.

☒ Existing address must be changed to be consistent with City address.

### Entitlements

☒ Major Site Plan Review is required for this project.

☒ A Use Permit is required for this project.

☐ A Zone Variance is required for this project.

☐ A Tentative Subdivision Map is required for this project.

☒ A Tentative Parcel Map is required for this project.

SITE PLAN REVIEW COMMENTS



DATE: April 12, 2021  
SITE PLAN NO: Major Site Plan Review No. 2021-03  
PROJECT TITLE: Lemoore Johnny Quick  
DESCRIPTION: Fuel Station, 4,280 sq. ft. Mini-Mart & Drive Through  
APPLICANT: LJQ Partners, LLC  
PROPERTY OWNER: Pat Vincent Ricchiuti  
LOCATION: 1.5 acres NEC N. Belle Haven Drive and W. Bush Street  
APN(S): 023-470-012 and 023-480-028

- ☐ A Lot Line Adjustment is required for this project. Lot Line Adjustment application is required to be processed simultaneously since building is placed on property line.
- ☐ A Zone Change is required for this project.
- ☐ A General Plan Amendment is required for this project.
- ☐ Other discretionary action required for this project:

**Environmental Technical Documents**

- ☐ Air Impact Analysis required.
- ☐ Acoustical Analysis required.
- ☐ Biologic survey required.
- ☐ Cultural Records Search required.
- ☐ Traffic Impact Assessment required.
- ☐ Vehicle Trip Generation Estimates required.
- ☐ Covenant required.

☒ Additional comments: *All signage needs to be located within the boundaries of the designated property. Signage to be approved by a separate permit and must be consistent with the Zoning Ordinance.*

//s/ KB  
Authorized signature

4-8-2021  
Date

Steve Brandt, AICP City Planner  
Printed name

**SITE PLAN REVIEW COMMENTS**



DATE: March 1, 2021  
SITE PLAN NO: Major Site Plan Review No. 2021-03  
PROJECT TITLE: Lemoore Johnny Quick  
DESCRIPTION: Fuel Station, 4,280 sq. ft. Mini-Mart & Drive Through  
APPLICANT: LJQ Partners, LLC  
PROPERTY OWNER: Pat Vincent Ricchiuti  
LOCATION: 1.5 acres NEC N. BelleHaven Drive and W. Bush Street  
APN(S): 023-470-012 and 023-480-028

**BUILDING**

The following comments are applicable when checked:

- ☒ These are general comments and DO NOT constitute a complete plan check for your specific project. Please refer to the applicable California Code and local ordinances for additional requirements.
- ☐ Business Tax certification is required. *For information call (559) 924-6744 ext. 712*
- ☒ A building permit will be required. *For information call (559) 924-6744 ext. 730*
  - ☐ Submit 3 sets of professionally prepared plans and 2 sets of calculations (Small Tenant Improvements).
  - ☒ Submit 5 sets of plans signed by an architect or engineer. Must comply with 2019 California Building Code
- ☒ Indicate abandoned wells, septic systems and excavations on construction plans.

**You are responsible to ensure compliance with the following checked items:**

- ☒ Meet State and Federal Americans with Disabilities Act (ADA) requirements.
- ☒ A path of travel, parking and common area must comply with ADA Requirements.
- ☐ All accessible units must meet ADA Requirements.
- ☐ Maintain sound transmission control between units minimum of 50 STC.
- ☒ Maintain fire-resistive requirements at property lines.
- ☐ Demolition permit and deposit is required. *For information call (559) 924-6744 ext. 730*
- ☒ Obtain required permits from San Joaquin Valley Air Pollution Control District.  
*For information call (559) 230-6000*
- ☒ Location of cashier must provide clear view of gas pump island.
- ☒ Treatment connection charge to be assessed based on use.
- ☒ Plans must be approved by the Kings County Health Department. *For information call (559) 584-1411*
- ☐ Project is located in flood zone \_\_\_\_\_. ☐ Hazardous materials report.
- ☒ Arrange for an onsite inspection. *For information call (559) 924-6744 ext. 730 (Inspection fees may apply.)*
- ☒ School Development fees: *For information call (559) 924-6744 ext. 730*
- ☒ Park Development fee \$\_\_\_\_\_ per unit collected with building permits.
- ☐ Existing address must be changed to be consistent with City address. *Call (559) 924-6744 ext. 740*

Additional comments: \_\_\_\_\_  
\_\_\_\_\_

☐ No comments. Acceptable as submitted.

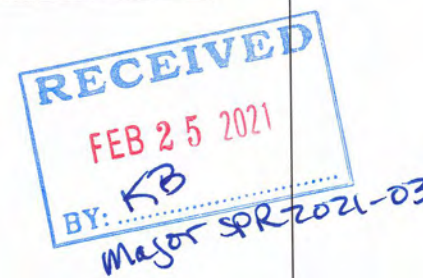
//s// FR  
Authorized signature

3-12-2021  
Date

Frank Rivera, Public Works Director  
Printed name



NORTH-EAST  
CORNER OF BELL  
HAVEN DRIVE AND  
BUSH STREET  
LEMOORE, CA 93245



1101 Second Ave, Ste 100  
Seattle, WA 98101  
206 962 6500  
MG2.com



CONSTRUCTION  
DOCUMENTS

BACKGROUND  
DRAWINGS

LICENSED NAME, ARCHITECT



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DATE DESCRIPTION

DATE	DESCRIPTION

20-6114-1A  
PM: JOHN LEUK  
DRAWN BY: Author  
12/04/20

GRADING PLAN

C003

GENERAL NOTES

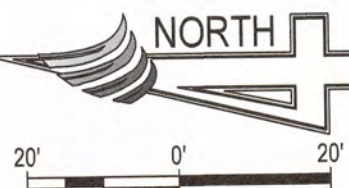
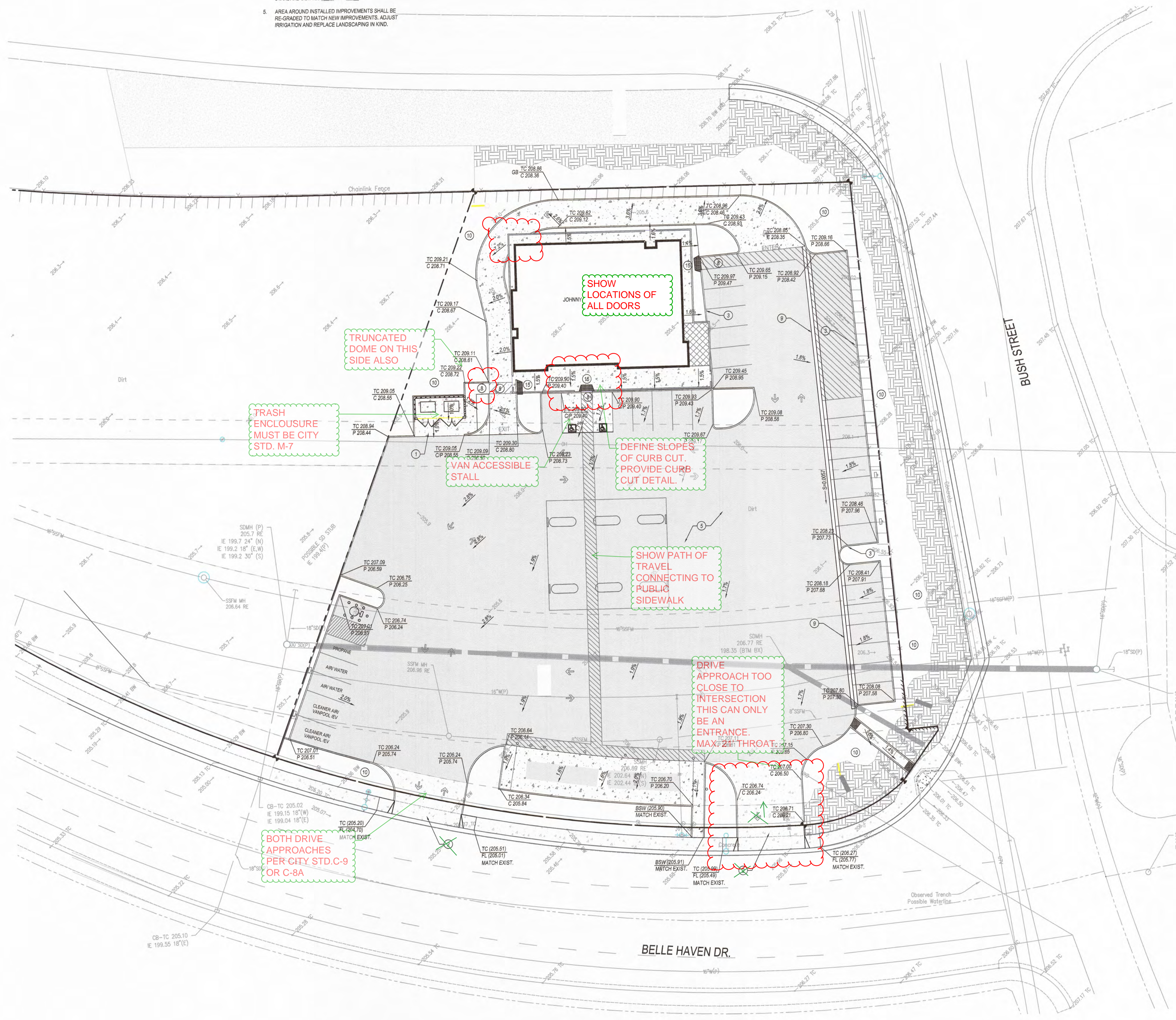
1. FIELD VERIFY ALL ELEVATION SHOWN WHERE PROPOSED IMPROVEMENTS ABUT EXISTING IMPROVEMENTS PRIOR TO CONSTRUCTION. IMMEDIATELY NOTIFY PROJECT ENGINEER OF ANY DISCREPANCIES.
2. DRY UTILITIES WHETHER SHOWN OR NOT, SHALL BE PROTECTED IN PLACE, UNLESS OTHERWISE NOTED. ACCESS BOXES AND VALVES SHALL BE ADJUSTED TO GRADE.
3. CONTRACTOR SHALL REMOVE & DISPOSE OF ALL EXIST. CONCRETE IMPROVEMENTS NECESSARY TO INSTALL NEW IMPROVEMENTS. SEE CURB RAMP AND ALLEY APPROACH DETAILS FOR ADDITIONAL INFORMATION.
4. ALL NEW CONCRETE IMPROVEMENTS SHALL BE DOWNLOADED INTO EXISTING CONCRETE IMPROVEMENTS PER CITY STANDARD DETAILS AND .
5. AREA AROUND INSTALLED IMPROVEMENTS SHALL BE RE-GRADED TO MATCH NEW IMPROVEMENTS. ADJUST IRRIGATION AND REPLACE LANDSCAPING IN KIND.
6. SAWCUT ALL EXIST. ASPHALT EDGES AT MATCH POINTS TO A CLEAN EDGE.
7. SANITARY SEWER AND WATER ARE SHOWN ON THIS SECTION FOR INFORMATION ONLY. SEE SHEETS .
8. EXIST. POWER / UTILITY POLES MUST BE BRACED DURING CONSTRUCTION OF ADJACENT UNDERGROUND IMPROVEMENTS AS REQUIRED BY THE UTILITY COMPANY.
9. ALL EXISTING STORM DRAIN LATERALS NO LONG BEING USED SHALL BE COMPLETELY REMOVED FROM ROADWAY AND DISPOSED OF BACKFILL PER CITY STD.

GRADING PLAN KEY NOTES: (THIS SHEET ONLY)

1. INSTALL TRASH ENCLOSURE PER CITY STD. M-6.
2. INSTALL COMMERCIAL DRIVE APPROACH PER CITY STD. P-4.
3. CONSTRUCT 8" LANDSCAPE CURB PER CITY STD. P-1-A.
4. CONSTRUCT CURB & GUTTER PER CITY STD. P-1.
5. CONSTRUCT CONCRETE SIDEWALK PER CITY STD. P-3.
6. INSTALL PAVEMENT SECTION (2.5' AC 1/3" AB / 1" NATIVE, R=57).
7. INSTALL STRUCTURAL CONC. SECTION (8" PCC / 12" C30, R=57).
8. CROSS SLOPE TO NOT EXCEED 2% AND RUNNING SLOPE TO NOT EXCEED 5%.
9. INSTALL V GUTTER PER CITY STD. C-7.
10. CONTRACTOR TO GRADE ON SITE SWALE IN LANDSCAPE AREAS.
11. MONUMENT SIGN. SEE SEPARATE ARCHITECTURAL PLANS FOR DETAILS.
12. ADA ISLE RAMP LANDING NOT TO EXCEED 2% IN ANY DIRECTION.

GRADING PLAN LEGEND: (THIS SHEET ONLY)

- EXIST. ASPHALT CONCRETE
- EXIST. CONCRETE
- PROPOSED CONCRETE
- PROPOSED ASPHALT CONCRETE (2.5' AC 1/3" AB / 1" NATIVE, R=57, T=1.4, S)
- PROPOSED ASPHALT CONCRETE (3.0' AC 1/3" AB / 1" NATIVE, R=57, T=1.4, S)
- PROPOSED DETECTABLE WARNING SURFACE PER CITY STD. P-2



GENERAL UTILITY NOTES:

1. ANY EXISTING MANHOLES AND/OR WATER VALVES ENCOUNTERED WHETHER OR NOT SHOWN ON THESE PLANS SHALL BE PROTECTED AND ADJUSTED TO FINISH GRADE UNLESS NOTE OTHERWISE.
2. A CITY OF LEMOORE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK IN THE CITY RIGHT OF WAY. CONTRACTOR SHALL OBTAIN PERMIT PRIOR TO THE COMMENCEMENT OF WORK IN THE RIGHT OF WAY.
3. STREET LIGHT(S) ON-SITE TO BE COORDINATED WITH MEP PLANS.
4. STREET LIGHT(S) OFF-SITE TO BE COORDINATED WITH UTILITY COMPANY.

UTILITY KEYNOTES:

**WATER SYSTEM**  
ALL WATER LATERAL SIZES SHALL BE AS SHOWN ON PLAN (CONFORM WITH BUILDING PLUMBING PLAN).

**SANITARY SEWER**  
CONSTRUCT SANITARY SEWER CLEANOUT, SIZE AS SHOWN ON PLAN. SEE DETAIL SHEETS \_\_\_\_ & \_\_\_\_.

**STORM DRAINAGE**  
INSTALL V-64 AREA DRAIN. SEE DETAIL \_\_\_\_ ON SHEET \_\_\_\_.

WATER SYSTEM CONSTRUCTION NOTES:

1. ALL WATER PIPE SHALL BE SCHEDULE \_\_\_\_ PVC.
2. CONTRACTOR TO PROVIDE ALL FITTINGS/TEES/WYES NECESSARY, IN ORDER TO PROVIDE AN IN-PLACE WORKING DOMESTIC AND FIRE WATER SYSTEM.
3. CONSTRUCT THRUST BLOCKS FOR SYSTEM AS REQUIRED BY MANUFACTURER AND CALIFORNIA WATER SERVICE COMPANY.
4. WATER MAINS SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM AND ONE FOOT HIGHER THAN STORM AND SANITARY SEWERS LOCATED PARALLEL TO THE MAIN, IF FEASIBLE. CENTER A 20 FOOT LENGTH AT ALL STORM AND SANITARY SEWER CROSSINGS. MINIMUM SEPARATION BETWEEN SEWER AND WATER MAIN SHALL BE ONE FOOT UNLESS OTHERWISE INDICATED.
5. ALL WATER MAINS TO HAVE A MINIMUM OF 3.5' OF COVER TO THE TOP OF PIPE.
6. ANY EXISTING WATER VALVES ENCOUNTERED WHETHER OR NOT SHOWN ON THESE PLANS SHALL BE PROTECTED AND RAISED TO FINISH GRADE.
7. CONTRACTOR TO COORDINATE PLACEMENT OF DOMESTIC WATER METERS WITH CALIFORNIA WATER SERVICE COMPANY.

SANITARY SEWER CONSTRUCTION NOTES:

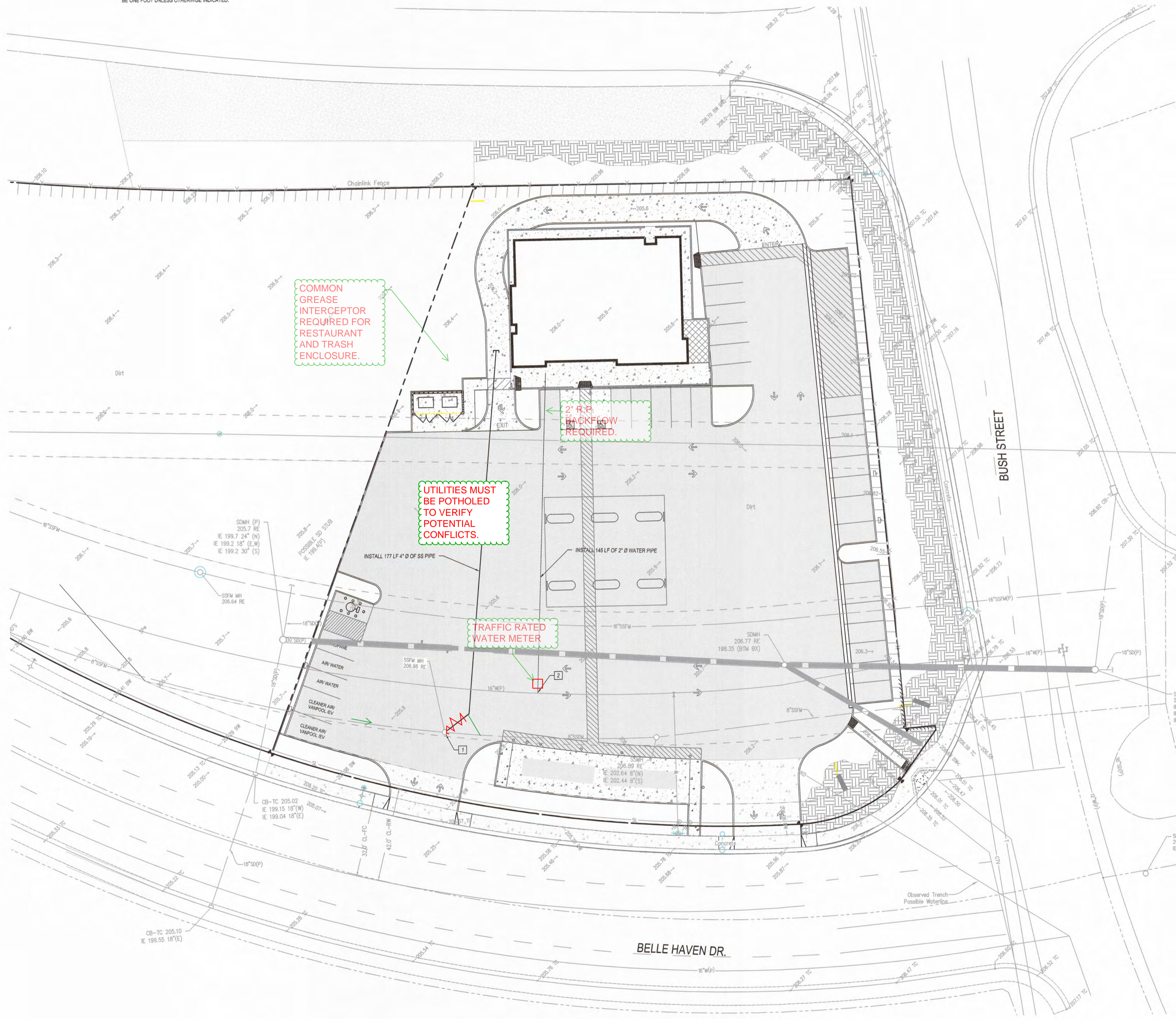
1. ALL SANITARY SEWER LATERALS SHALL BE \_\_\_\_ AS NOTE ON PLAN. SEE DETAIL SHEETS \_\_\_\_ & \_\_\_\_.
2. SANITARY SEWER PIPE SIZE AND SLOPE AS SHOWN. ALL SANITARY SEWER PIPE SHALL BE SDR-35 PVC MEETING THE REQUIREMENTS OF ASTM D2034.
3. CONTRACTOR TO PROVIDE ALL FITTINGS/TEES/WYES TO PROVIDE AN IN-PLACE WORKING SANITARY SEWER DISPOSAL SYSTEM.
4. ALL SEWER PIPES TO HAVE THE FOLLOWING MINIMUM SLOPE, UNLESS SHOWN OTHERWISE:  
8" = 0.0030  
6" = 0.0050  
4" = 0.010  
3" = 0.020
5. ANY EXISTING MANHOLES ENCOUNTERED WHETHER OR NOT SHOWN ON THESE PLANS SHALL BE PROTECTED AND RAISED TO FINISH GRADE.

STORM DRAINAGE NOTES:

1. CONTRACTOR TO PROVIDE ALL FITTINGS/TEES/WYES TO PROVIDE AN IN-PLACE WORKING STORM DRAINAGE SYSTEM.
2. INSTALL COBBLE RIP-RAP AROUND AREA DRAINS (TYPICAL).

KEYNOTES:

1. TIE-IN TO EXIST. SS MAIN PER CITY STD. S-4. CONTRACTOR TO FIELD VERIFY INVERT.
2. TIE-IN TO EXIST. WATER MAIN PER CITY STD. W-1. CONTRACTOR TO FIELD VERIFY INVERT.



NORTH-EAST  
CORNER OF BELL  
HAVEN DRIVE AND  
BUSH STREET  
LEMOORE, CA 93245



1101 Second Ave, Ste 100  
Seattle, WA 98101  
206 962 6500  
MG2.com



CONSTRUCTION  
DOCUMENTS

BACKGROUND  
DRAWINGS

LICENSED NAME, ARCHITECT



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DATE	DESCRIPTION

20-6114-1A  
PM: JOHN LEUK  
DRAWN BY: Author  
12/04/20

UTILITY PLAN

C004

GENERAL SIGNING, STRIPING & MARKING NOTES

- 1. ALL EXISTING PAVEMENT DELINEATION IN CONFLICT WITH PROPOSED PAVEMENT DELINEATION SHALL BE REMOVED BY LIGHTLY GRINDING OR OTHER APPROVED METHODS WHICH WILL CAUSE THE LEAST POSSIBLE DAMAGE TO THE PAVEMENT. IN AREAS OF EXISTING PAVEMENT TO REMAIN, A SLURRY SEAL SHALL BE APPLIED TO THE AFFECTED AREA.
- 2. ALL STRIPING WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD PLANS AND SPECIFICATIONS, THE 2018 CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (2018 CALIFORNIA MUTCD), UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.
- 3. THE CONTRACTOR IS RESPONSIBLE TO RECORD AND DOCUMENT AS NECESSARY EXISTING STRIPING, PAVEMENT MARKERS AND MARKINGS. BLUE DOT MARKERS FOR FIRE HYDRANTS IN ORDER TO REPLACE THE STRIPING, PAVEMENT MARKERS AND MARKERS IN KIND.

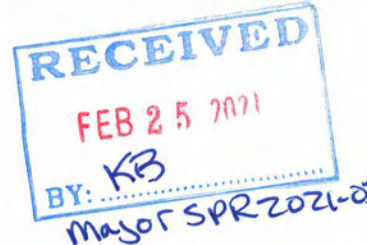
SIGNING, STRIPING, AND MARKING KEYNOTES: (THIS SHEET ONLY)

- 1. PAINT TRAFFIC DIRECTION ARROW, SOLID AND WHITE TYPE 1 (10) ARROW PER CALTRANS STANDARD PLAN A244
- 2. 4" TYP. WHITE STRIPES PER CITY OF LEMOORE STANDARDS
- 3. INSTALL ACCESSIBLE PARKING PER CALTRANS STANDARD PLAN RSP A30A
- 4. PAINT 4" DIAGONAL STRIPING AT 3' O.C. MAX PER CAL TRANS STATE STANDARD A24F
- 5. INSTALL PARKING MARKINGS PER CALTRANS STATE STANDARD A30A
- 6. INSTALL R99 (CA) AND R99B (CA) SIGN OR EQUIVALENT AT VAN ACCESSIBLE STALL PER CALTRANS STANDARD PLAN A30A
- 7. EV STALLS FOR FUTURE INSTALLATION

PC Meeting April 12, 2021



NORTH-EAST  
CORNER OF BELL  
HAVEN DRIVE AND  
BUSH STREET  
LEMOORE, CA 93245



1101 Second Ave, Ste 100  
Seattle, WA 98101  
206 962 6500  
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CONSTRUCTION  
DOCUMENTS

BACKGROUND  
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LICENSED NAME, ARCHITECT

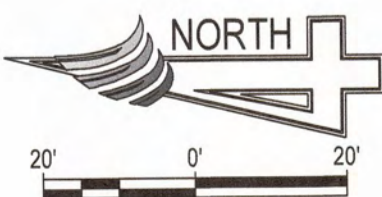
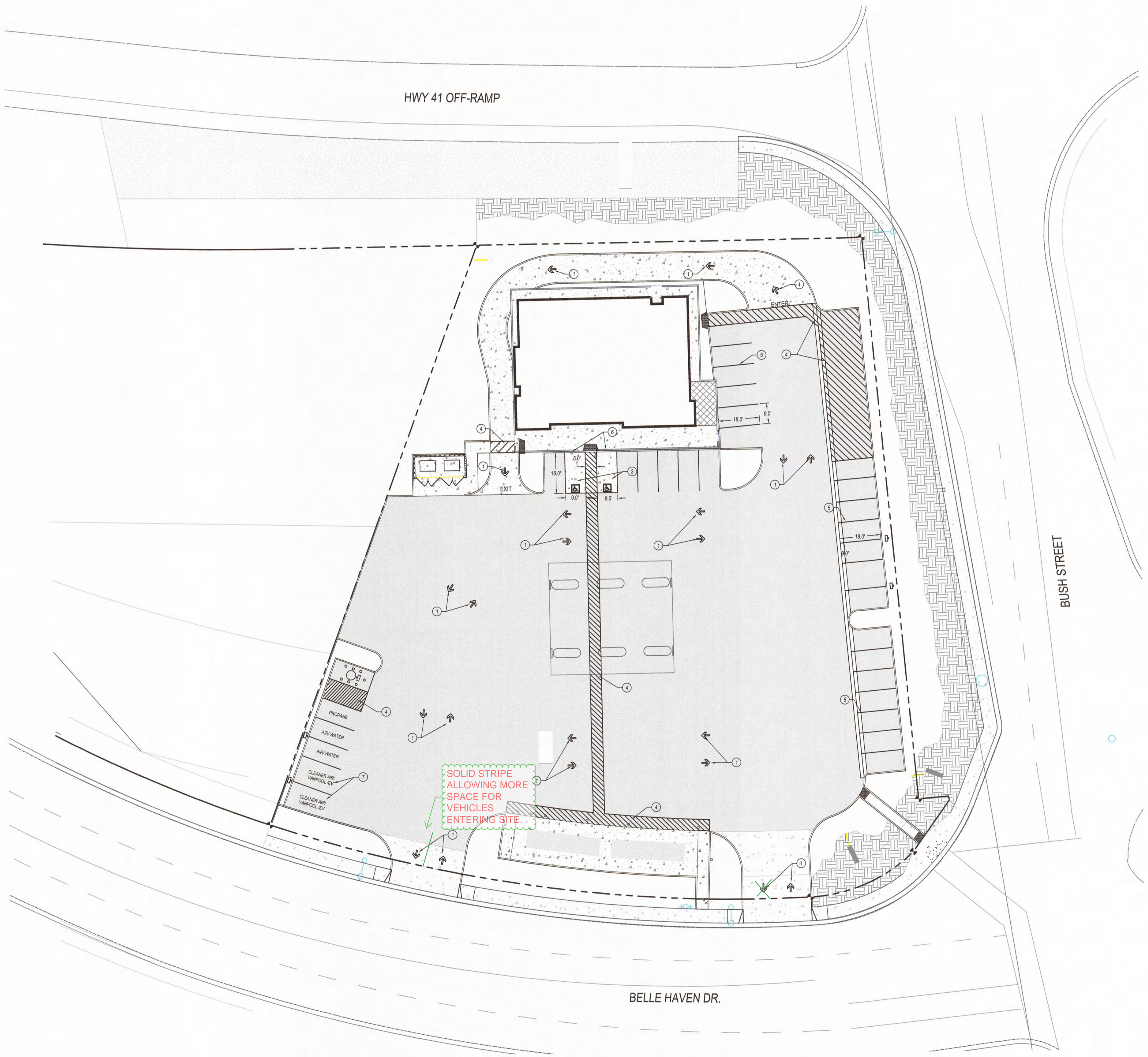


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DATE	DESCRIPTION

20-6114-1A  
PM: JOHN LEUK  
DRAWN BY: Author  
12/04/20

SIGNING, STRIPING,  
& MARKINGS PLAN  
C005



NOT FOR  
CONSTRUCTION

BIM 360//JOHNNY-QUICK-STORE-3D-Model-114-01-1A-202114-01\_Legacy-Johnny Quick MiniMap\_F220.rvt

12/18/2020 8:49:36 AM

## SITE PLAN REVIEW COMMENTS



DATE:	March 1, 2021
SITE PLAN NO:	Major Site Plan Review No. 2021-03
PROJECT TITLE:	Lemoore Johnny Quick
DESCRIPTION:	Fuel Station, 4,280 sq. ft. Mini-Mart & Drive Through
APPLICANT:	LJQ Partners, LLC
PROPERTY OWNER:	Pat Vincent Ricchiuti
LOCATION:	1.5 acres NEC N. BelleHaven Drive and W. Bush Street
APN(S):	023-470-012 and 023-480-028

## FIRE DEPARTMENT

The following comments are applicable when checked:

- ☐ Refer to previous comments dated \_\_\_\_\_.
- ☐ More information is needed before a Site Plan Review can be conducted. Please submit plans with more detail.
- ☐ No fire protection items required for parcel map or lot line adjustment; however, any future projects will be subject to fire protection requirements.
- ☒ Address numbers must be placed on the exterior of the building in such a position as to be clearly and plainly visible from the street. Numbers will be at least 6 inches high and shall be of a color to contrast with their background. If multiple addresses served by a common driveway, the range of numbers shall be posted at the roadway / driveway.
- ☐ No additional fire hydrants are required for this project; however, additional fire hydrants may be required for any future development.
- ☒ There is / are 4 fire hydrants required for this project. One hydrant shall be installed every \_\_\_\_\_ ft. (see marked plans for fire hydrant locations).
- ☒ The turning radius for emergency fire apparatus is 20 feet inside radius and 43 feet outside radius. Ensure that the turns identified to you during site plan comply with these requirements. An option is a hammer-head constructed to City of Lemoore standards.
- ☐ An access road is required and shall be a minimum of 20 feet wide. The road shall be an all-weather driving surface accessible prior to and during construction.
- ☐ Buildings or portions of buildings or facilities exceeding 30 feet in height above the lowest level of fire department vehicle access shall be provided with an approved fire apparatus access roads capable of accommodating fire department aerial apparatus. Access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders. Access routes shall be located within a minimum of 15 feet and maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building.
- ☐ A fire lane is required for this project. The location will be given to you during the site plan meeting.
- ☒ A Knox Box key lock system is required. Applications are available at the City of Lemoore Fire Department Administrative Office. NOTE: Knox boxes shall be ordered using an approved application from Lemoore Fire Department Administrative Office, 711 W. Cinnamon Drive. Please allow adequate time for shipping and installation.
- ☐ The security gates, if to be locked, shall be locked with a typical chain and lock that can be cut with a common bolt cutter, or the developer may opt to provide a Knox Box key lock system. Applications are available at the Lemoore Fire Department Administrative Office.
- ☐ That portion of the building that is built upon a property line shall be constructed as to comply with Section 503.4 and Table 5-A of the California Building Code.
- ☐ Commercial dumpsters with 1.5 cubic yards or more shall not be stored or placed within 5 feet of combustible walls, openings, or a combustible roof eave line except when protected by a fire sprinkler system.
- ☐ If you handle hazardous material in amounts that exceed the exempt amounts listed on Table 3-D of the California Building Code, you are required to submit an emergency response plan to the Kings County Health

SITE PLAN REVIEW COMMENTS



DATE:	March 1, 2021
SITE PLAN NO:	Major Site Plan Review No. 2021-03
PROJECT TITLE:	Lemoore Johnny Quick
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APPLICANT:	LJQ Partners, LLC
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LOCATION:	1.5 acres NEC N. BelleHaven Drive and W. Bush Street
APN(S):	023-470-012 and 023-480-028

Department. Prior to the building final inspection, we will require a copy of the plan and any Material Safety Data Sheets.

- ☒ An automatic fire sprinkler system is required for this building. A fire hydrant is required within 50 feet of the fire department connection. The fire hydrant, fire department connection and the PIV valve should be located together and minimum 25 feet from the building, if possible. The caps on the FDC shall be Knox locking caps.
- ☒ All hardware on exit doors shall comply with Chapter 10 of the California Fire Code. This includes all locks, latches, bolt locks, and panic and exit hardware.
- ☒ Provide illuminated exit signs and emergency lighting throughout the building.
- ☐ All Fire and Life Safety systems located within the building shall be maintained.
- ☒ An automatic fire extinguishing system for protection of the kitchen grease hood and ducts is required.
- ☐ City of Lemoore Fire Department Impact Fee. *For information call (559) 924-6730*
- ☐ City of Lemoore Fire Department Permit Fee – complete application during Building Department permit process.

Additional comments: *Bollards around the propane tank are needed, Fire Access road needed around the back as well, there is 2 hydrant on property now but will need 2 additional. As for the building there is a door inside that swings out and blocks the exit door-can change to swing in?*

☐ No comments. Acceptable as submitted.

Bruce German

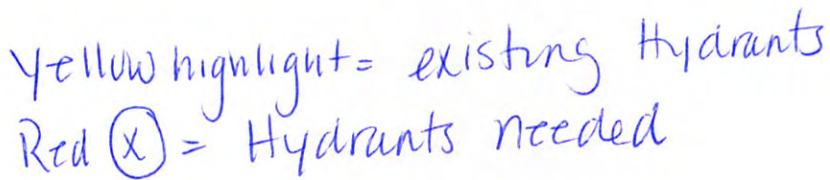
Authorized signature

03/10/2021

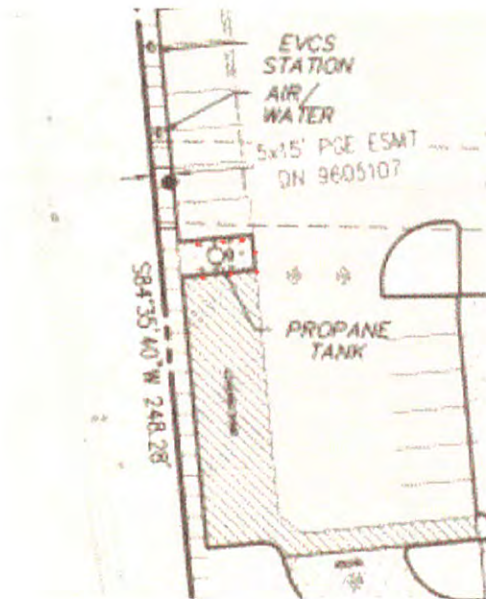
Date

Bruce German and Faith Faria

Printed name

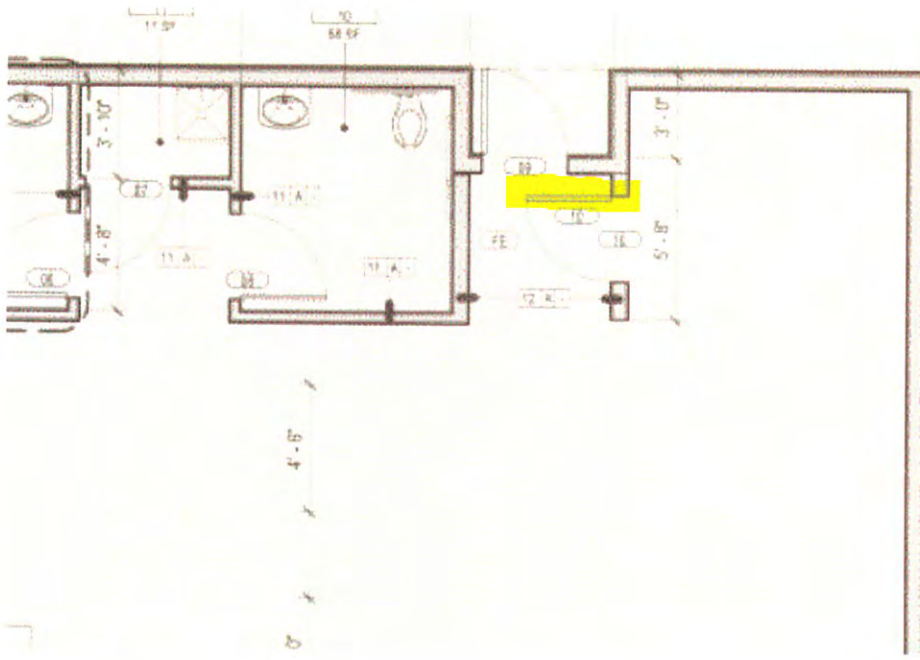






Red dots = Bollards around propane tank





yellow highlight =  
Swinging Door



**SITE PLAN REVIEW COMMENTS**



DATE: April 8, 2021  
SITE PLAN NO: Major Site Plan Review No. 2021-03  
PROJECT TITLE: Lemoore Johnny Quick  
DESCRIPTION: Fuel Station, 4,280 sq. ft. Mini-Mart & Drive Through  
APPLICANT: LJQ Partners, LLC  
PROPERTY OWNER: Pat Vincent Ricchiuti  
LOCATION: 1.5 acres NEC N. BelleHaven Drive and W. Bush Street  
APN(S): 023-470-012 and 023-480-028

**WASTE WATER**

The following comments are applicable when checked:

- ☒ Wastewater discharge permit application required.
- ☒ Sand and grease interceptor – 3 compartment required. \_\_\_\_\_
- ☒ Grease interceptor required. \_\_\_\_\_
- ☒ Garbage grinder required – \_\_\_\_ hp. Maximize. Size to be determined at building permit
- ☐ Submission of dry process declaration required. \_\_\_\_\_
- ☒ No single pass cooling water is permitted. \_\_\_\_\_

Additional comments: \_\_\_\_\_

☐ No comments. Acceptable as submitted.

\_\_\_\_\_  
//s// *KB*  
Authorized signature

\_\_\_\_\_  
April 8, 2021  
Date

\_\_\_\_\_  
Jeff Cowart, PE, City Engineer  
Printed name

**SITE PLAN REVIEW COMMENTS**



DATE: April 8, 2021  
SITE PLAN NO: Major Site Plan Review No. 2021-03  
PROJECT TITLE: Lemoore Johnny Quick  
DESCRIPTION: Fuel Station, 4,280 sq. ft. Mini-Mart & Drive Through  
APPLICANT: LJQ Partners, LLC  
PROPERTY OWNER: Pat Vincent Ricchiuti  
LOCATION: 1.5 acres NEC N. BelleHaven Drive and W. Bush Street  
APN(S): 023-470-012 and 023-480-028

**REFUSE**

The following comments are applicable when checked:

- ☒ Type of refuse service not indicated.
- ☒ You are responsible for all cardboard and other bulky recyclables to be broken down before depositing in recycle containers.
- ☐ Refuse enclosure not to City of Lemoore Standards.
- ☐ Refuse enclosure(s) must be M-7 single dumpster enclosure(s).
- ☒ Refuse enclosure(s) must be M-6 double dumpster enclosure(s). *Room for minimum 2 dumpsters.*
- ☒ Refuse enclosure gates required.
- ☐ You must provide combination or keys for access to locked gates / bins.
- ☐ Location of bin enclosure not acceptable. Relocate to: \_\_\_\_\_.
- ☒ Inadequate number of bins to provide sufficient service.
- ☐ Drive approach too narrow for refuse truck access. *Provide vehicle turning movement layout.*
- ☐ Area not adequate to allowing refuse truck turning radius: *Based on vehicle turning movement layout.*
  - ☐ Commercial \_\_\_\_ ft. outside \_\_\_\_ ft. inside; ☐ Residential \_\_\_\_ ft. outside \_\_\_\_ ft. inside.
- ☒ Paved areas should be engineered to withstand a 55,000 lb. refuse truck.
- ☐ Hammerhead turnaround required at: \_\_\_\_\_.
- ☐ Cul-de-sac must be built per City of Lemoore Standards.
- ☐ Refuse enclosures are for City refuse containers only.
- ☒ Refuse enclosure gates must open 180 degrees and hinges mounted in front of post.
- ☒ Concrete slab required in front of enclosure per Lemoore City Standards.
- ☒ Area in front of refuse enclosures must be striped with NO PARKING.
- ☐ Refuse enclosure to be designed and located for STAB service (DIRECT ACCESS).
- ☐ You will be required to roll container out to curb for service.
- ☐ Roll off compactors must have a clearance of 3 feet from any wall on both sides and there must be a minimum of 53 feet clearance in front of the compactor to allow truck service.

Additional comments: fast food service will require a grease interceptor that serves trash enclosure grease bin floor drain and gas stations food service facility.

☐ No comments. Acceptable as submitted.

//s// FR  
Authorized signature

Frank Rivera, Public Works Director  
Printed name

4-8-2021  
Date

**SITE PLAN REVIEW COMMENTS**



DATE: March 1, 2021  
SITE PLAN NO: Major Site Plan Review No. 2021-03  
PROJECT TITLE: Lemoore Johnny Quick  
DESCRIPTION: Fuel Station, 4,280 sq. ft. Mini-Mart & Drive Through  
APPLICANT: LJQ Partners, LLC  
PROPERTY OWNER: Pat Vincent Ricchiuti  
LOCATION: 1.5 acres NEC N. BelleHaven Drive and W. Bush Street  
APN(S): 023-470-012 and 023-480-028

**PUBLIC SAFETY**

The following comments are applicable when checked:

☐ Public Safety Impact Fee:

Ordinance No.:

Effective Date:

Impact fees shall be imposed by the City of Lemoore pursuant to this Ordinance as a condition of, or in conjunction with, the approval of a development project. "New Development or Development Project" means any new building, structure or improvement of any parcels of land upon which no like building, structure or improvement previously existed. NOTE: Refer to Engineering Site Plan comments for fee estimation.

☐ Not enough information provided. Please provide the following information:

\_\_\_\_\_

☐ Access controlled / restricted etc.:

\_\_\_\_\_

☐ Landscaping concerns:

\_\_\_\_\_

☐ Lighting concerns:

\_\_\_\_\_

☐ Line of sight issues:

\_\_\_\_\_

☐ Surveillance issues:

\_\_\_\_\_

☐ Territorial reinforcement – define property lines (private / public space):

\_\_\_\_\_

☐ Traffic concerns:

\_\_\_\_\_


☐ Request opportunity to comment or make recommendations as to safety issues as plans are developed.

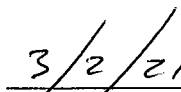
\_\_\_\_\_

☐ Additional comments: \_\_\_\_\_

\_\_\_\_\_

☒ No comments. Acceptable as submitted.

  
\_\_\_\_\_  
Authorized signature

  
\_\_\_\_\_  
Date

\_\_\_\_\_  
Michael Kendall, Police Chief  
Printed name

March 23, 2021

Kristie Baley  
City of Lemoore  
711 W Cinnamon Dr  
Lemoore, CA 93245

Ref: Gas and Electric Transmission and Distribution

Dear Kristie Baley,

Thank you for submitting the Major Site Plan 2021-03 plans for our review. PG&E will review the submitted plans in relationship to any existing Gas and Electric facilities within the project area. If the proposed project is adjacent/or within PG&E owned property and/or easements, we will be working with you to ensure compatible uses and activities near our facilities.

Attached you will find information and requirements as it relates to Gas facilities (Attachment 1) and Electric facilities (Attachment 2). Please review these in detail, as it is critical to ensure your safety and to protect PG&E's facilities and its existing rights.

Below is additional information for your review:

1. This plan review process does not replace the application process for PG&E gas or electric service your project may require. For these requests, please continue to work with PG&E Service Planning: [https://www.pge.com/en\\_US/business/services/building-and-renovation/overview/overview.page](https://www.pge.com/en_US/business/services/building-and-renovation/overview/overview.page).
2. If the project being submitted is part of a larger project, please include the entire scope of your project, and not just a portion of it. PG&E's facilities are to be incorporated within any CEQA document. PG&E needs to verify that the CEQA document will identify any required future PG&E services.
3. An engineering deposit may be required to review plans for a project depending on the size, scope, and location of the project and as it relates to any rearrangement or new installation of PG&E facilities.

Any proposed uses within the PG&E fee strip and/or easement, may include a California Public Utility Commission (CPUC) Section 851 filing. This requires the CPUC to render approval for a conveyance of rights for specific uses on PG&E's fee strip or easement. PG&E will advise if the necessity to incorporate a CPUC Section 851 filing is required.

This letter does not constitute PG&E's consent to use any portion of its easement for any purpose not previously conveyed. PG&E will provide a project specific response as required.

Sincerely,

Plan Review Team  
Land Management

## **Attachment 1 – Gas Facilities**

There could be gas transmission pipelines in this area which would be considered critical facilities for PG&E and a high priority subsurface installation under California law. Care must be taken to ensure safety and accessibility. So, please ensure that if PG&E approves work near gas transmission pipelines it is done in adherence with the below stipulations. Additionally, the following link provides additional information regarding legal requirements under California excavation laws: <https://www.usanorth811.org/images/pdfs/CA-LAW-2018.pdf>

1.     **Standby Inspection:** A PG&E Gas Transmission Standby Inspector must be present during any demolition or construction activity that comes within 10 feet of the gas pipeline. This includes all grading, trenching, substructure depth verifications (potholes), asphalt or concrete demolition/removal, removal of trees, signs, light poles, etc. This inspection can be coordinated through the Underground Service Alert (USA) service at 811. A minimum notice of 48 hours is required. Ensure the USA markings and notifications are maintained throughout the duration of your work.
2.     **Access:** At any time, PG&E may need to access, excavate, and perform work on the gas pipeline. Any construction equipment, materials, or spoils may need to be removed upon notice. Any temporary construction fencing installed within PG&E's easement would also need to be capable of being removed at any time upon notice. Any plans to cut temporary slopes exceeding a 1:4 grade within 10 feet of a gas transmission pipeline need to be approved by PG&E Pipeline Services in writing PRIOR to performing the work.
3.     **Wheel Loads:** To prevent damage to the buried gas pipeline, there are weight limits that must be enforced whenever any equipment gets within 10 feet of traversing the pipe.

Ensure a list of the axle weights of all equipment being used is available for PG&E's Standby Inspector. To confirm the depth of cover, the pipeline may need to be potholed by hand in a few areas.

Due to the complex variability of tracked equipment, vibratory compaction equipment, and cranes, PG&E must evaluate those items on a case-by-case basis prior to use over the gas pipeline (provide a list of any proposed equipment of this type noting model numbers and specific attachments).

No equipment may be set up over the gas pipeline while operating. Ensure crane outriggers are at least 10 feet from the centerline of the gas pipeline. Transport trucks must not be parked over the gas pipeline while being loaded or unloaded.

4.     **Grading:** PG&E requires a minimum of 36 inches of cover over gas pipelines (or existing grade if less) and a maximum of 7 feet of cover at all locations. The graded surface cannot exceed a cross slope of 1:4.
5.     **Excavating:** Any digging within 2 feet of a gas pipeline must be dug by hand. Note that while the minimum clearance is only 12 inches, any excavation work within 24 inches of the edge of a pipeline must be done with hand tools. So to avoid having to dig a trench entirely with hand tools, the edge of the trench must be over 24 inches away. (Doing the math for a 24 inch

wide trench being dug along a 36 inch pipeline, the centerline of the trench would need to be at least 54 inches [ $24/2 + 24 + 36/2 = 54$ ] away, or be entirely dug by hand.)

Water jetting to assist vacuum excavating must be limited to 1000 psig and directed at a 40° angle to the pipe. All pile driving must be kept a minimum of 3 feet away.

Any plans to expose and support a PG&E gas transmission pipeline across an open excavation need to be approved by PG&E Pipeline Services in writing PRIOR to performing the work.

6. Boring/Trenchless Installations: PG&E Pipeline Services must review and approve all plans to bore across or parallel to (within 10 feet) a gas transmission pipeline. There are stringent criteria to pothole the gas transmission facility at regular intervals for all parallel bore installations.

For bore paths that cross gas transmission pipelines perpendicularly, the pipeline must be potholed a minimum of 2 feet in the horizontal direction of the bore path and a minimum of 12 inches in the vertical direction from the bottom of the pipe with minimum clearances measured from the edge of the pipe in both directions. Standby personnel must watch the locator trace (and every ream pass) the path of the bore as it approaches the pipeline and visually monitor the pothole (with the exposed transmission pipe) as the bore traverses the pipeline to ensure adequate clearance with the pipeline. The pothole width must account for the inaccuracy of the locating equipment.

7. Substructures: All utility crossings of a gas pipeline should be made as close to perpendicular as feasible ( $90^\circ \pm 15^\circ$ ). All utility lines crossing the gas pipeline must have a minimum of 12 inches of separation from the gas pipeline. Parallel utilities, pole bases, water line 'kicker blocks', storm drain inlets, water meters, valves, back pressure devices or other utility substructures are not allowed in the PG&E gas pipeline easement.

If previously retired PG&E facilities are in conflict with proposed substructures, PG&E must verify they are safe prior to removal. This includes verification testing of the contents of the facilities, as well as environmental testing of the coating and internal surfaces. Timelines for PG&E completion of this verification will vary depending on the type and location of facilities in conflict.

8. Structures: No structures are to be built within the PG&E gas pipeline easement. This includes buildings, retaining walls, fences, decks, patios, carports, septic tanks, storage sheds, tanks, loading ramps, or any structure that could limit PG&E's ability to access its facilities.

9. Fencing: Permanent fencing is not allowed within PG&E easements except for perpendicular crossings which must include a 16 foot wide gate for vehicular access. Gates will be secured with PG&E corporation locks.

10. Landscaping: Landscaping must be designed to allow PG&E to access the pipeline for maintenance and not interfere with pipeline coatings or other cathodic protection systems. No trees, shrubs, brush, vines, and other vegetation may be planted within the easement area. Only those plants, ground covers, grasses, flowers, and low-growing plants that grow unsupported to a maximum of four feet (4') in height at maturity may be planted within the easement area.

11. Cathodic Protection: PG&E pipelines are protected from corrosion with an “Impressed Current” cathodic protection system. Any proposed facilities, such as metal conduit, pipes, service lines, ground rods, anodes, wires, etc. that might affect the pipeline cathodic protection system must be reviewed and approved by PG&E Corrosion Engineering.

12. Pipeline Marker Signs: PG&E needs to maintain pipeline marker signs for gas transmission pipelines in order to ensure public awareness of the presence of the pipelines. With prior written approval from PG&E Pipeline Services, an existing PG&E pipeline marker sign that is in direct conflict with proposed developments may be temporarily relocated to accommodate construction work. The pipeline marker must be moved back once construction is complete.

13. PG&E is also the provider of distribution facilities throughout many of the areas within the state of California. Therefore, any plans that impact PG&E’s facilities must be reviewed and approved by PG&E to ensure that no impact occurs which may endanger the safe operation of its facilities.

## **Attachment 2 – Electric Facilities**

It is PG&E's policy to permit certain uses on a case by case basis within its electric transmission fee strip(s) and/or easement(s) provided such uses and manner in which they are exercised, will not interfere with PG&E's rights or endanger its facilities. Some examples/restrictions are as follows:

1. **Buildings and Other Structures:** No buildings or other structures including the foot print and eave of any buildings, swimming pools, wells or similar structures will be permitted within fee strip(s) and/or easement(s) areas. PG&E's transmission easement shall be designated on subdivision/parcel maps as **"RESTRICTED USE AREA – NO BUILDING."**
2. **Grading:** Cuts, trenches or excavations may not be made within 25 feet of our towers. Developers must submit grading plans and site development plans (including geotechnical reports if applicable), signed and dated, for PG&E's review. PG&E engineers must review grade changes in the vicinity of our towers. No fills will be allowed which would impair ground-to-conductor clearances. Towers shall not be left on mounds without adequate road access to base of tower or structure.
3. **Fences:** Walls, fences, and other structures must be installed at locations that do not affect the safe operation of PG&E's facilities. Heavy equipment access to our facilities must be maintained at all times. Metal fences are to be grounded to PG&E specifications. No wall, fence or other like structure is to be installed within 10 feet of tower footings and unrestricted access must be maintained from a tower structure to the nearest street. Walls, fences and other structures proposed along or within the fee strip(s) and/or easement(s) will require PG&E review; submit plans to PG&E Centralized Review Team for review and comment.
4. **Landscaping:** Vegetation may be allowed; subject to review of plans. On overhead electric transmission fee strip(s) and/or easement(s), trees and shrubs are limited to those varieties that do not exceed 15 feet in height at maturity. PG&E must have access to its facilities at all times, including access by heavy equipment. No planting is to occur within the footprint of the tower legs. Greenbelts are encouraged.
5. **Reservoirs, Sumps, Drainage Basins, and Ponds:** Prohibited within PG&E's fee strip(s) and/or easement(s) for electric transmission lines.
6. **Automobile Parking:** Short term parking of movable passenger vehicles and light trucks (pickups, vans, etc.) is allowed. The lighting within these parking areas will need to be reviewed by PG&E; approval will be on a case by case basis. Heavy equipment access to PG&E facilities is to be maintained at all times. Parking is to clear PG&E structures by at least 10 feet. Protection of PG&E facilities from vehicular traffic is to be provided at developer's expense AND to PG&E specifications. Blocked-up vehicles are not allowed. Carports, canopies, or awnings are not allowed.
7. **Storage of Flammable, Explosive or Corrosive Materials:** There shall be no storage of fuel or combustibles and no fueling of vehicles within PG&E's easement. No trash bins or incinerators are allowed.

8. Streets and Roads: Access to facilities must be maintained at all times. Street lights may be allowed in the fee strip(s) and/or easement(s) but in all cases must be reviewed by PG&E for proper clearance. Roads and utilities should cross the transmission easement as nearly at right angles as possible. Road intersections will not be allowed within the transmission easement.

9. Pipelines: Pipelines may be allowed provided crossings are held to a minimum and to be as nearly perpendicular as possible. Pipelines within 25 feet of PG&E structures require review by PG&E. Sprinklers systems may be allowed; subject to review. Leach fields and septic tanks are not allowed. Construction plans must be submitted to PG&E for review and approval prior to the commencement of any construction.

10. Signs: Signs are not allowed except in rare cases subject to individual review by PG&E.

11. Recreation Areas: Playgrounds, parks, tennis courts, basketball courts, barbecue and light trucks (pickups, vans, etc.) may be allowed; subject to review of plans. Heavy equipment access to PG&E facilities is to be maintained at all times. Parking is to clear PG&E structures by at least 10 feet. Protection of PG&E facilities from vehicular traffic is to be provided at developer's expense AND to PG&E specifications.

12. Construction Activity: Since construction activity will take place near PG&E's overhead electric lines, please be advised it is the contractor's responsibility to be aware of, and observe the minimum clearances for both workers and equipment operating near high voltage electric lines set out in the High-Voltage Electrical Safety Orders of the California Division of Industrial Safety (<https://www.dir.ca.gov/Title8/sb5g2.html>), as well as any other safety regulations. Contractors shall comply with California Public Utilities Commission General Order 95 ([http://www.cpuc.ca.gov/gos/GO95/go\\_95\\_startup\\_page.html](http://www.cpuc.ca.gov/gos/GO95/go_95_startup_page.html)) and all other safety rules. No construction may occur within 25 feet of PG&E's towers. All excavation activities may only commence after 811 protocols has been followed.

Contractor shall ensure the protection of PG&E's towers and poles from vehicular damage by (installing protective barriers) Plans for protection barriers must be approved by PG&E prior to construction.

13. PG&E is also the owner of distribution facilities throughout many of the areas within the state of California. Therefore, any plans that impact PG&E's facilities must be reviewed and approved by PG&E to ensure that no impact occurs that may endanger the safe and reliable operation of its facilities.

## Kristie Baley

---

**Subject:** Notification - Major Site Plan Review 2021-03 - Johnny Quik - Fuel Station, Car Wash, Convenience Store, Quick Service Food with Drive Through - TPM

**From:** Pedreiro, Mark <Mark.Pedreiro@co.kings.ca.us>

**Sent:** Monday, March 22, 2021 9:46 AM

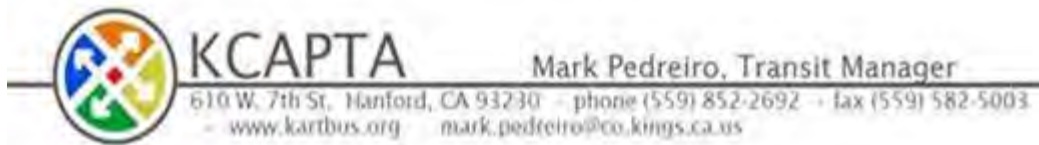
**To:** Kristie Baley <kbaley@lemoore.com>

**Cc:** Dow, Angie <Angie.Dow@co.kings.ca.us>; Gonzalez, Oscar <Oscar.Gonzalez@co.kings.ca.us>

**Subject:** RE: Notification - Major Site Plan Review 2021-03 - Johnny Quik - Fuel Station, Car Wash, Convenience Store, Quick Service Food with Drive Through - TPM

Kristie,

KART currently has a bus stop at this location. KART would like consideration for a bus stop. A section of sidewalk 7' wide from curb to rear of sidewalk. At 7'x8' we can fit a sign, bench, and meet 4' ADA clearance. A bus pull out would be recommended for safe pickup of passengers and to not impede traffic. Thank you.



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**Subject:** FW: Notification - Major Site Plan Review 2021-03 - Johnny Quik - Fuel Station, Car Wash, Convenience Store, Quick Service Food with Drive Through - TPM

The City of Lemoore Community Development Department is reviewing a request LQ Partners, LLC to construct a 4,280 sq. ft. convenience store with food service and retail inside (to include drive through outside) and a 6 pump fuel station with underground tanks (to include a car wash) on a 1.5 acre portion of the vacant parcel located on the north-east corner of W. Bush Street and N. Belle Haven Drive (APNs 023-470-012 and 023-480-028). The property is currently zoned Regional Commercial. Because the project will not include development of the entire parcel, a tentative parcel map has also been received for this project.

The convenience store and car wash are permitted uses; however, the fuel station requires a conditional use permit and the drive-through requires an administrative use permit. A duly noticed public hearing will be held to review this project and accept public comment during a meeting of the Planning Commission (approving authority). It has been determined that this project is exempt from CEQA review.

The tentative parcel map, utility plan, floor plan and elevations, as well as a vicinity map can be accessed from the link below. This link expires in 6 days. Please provide any comments you wish to be included in the City's staff report by 4:30 p.m. on Friday April 2, 2021.

<https://www.dropbox.com/t/pfyf1RWmw3t1RdvI>

For more information, please contact the Community Development Department by responding to this email or you may contact staff by phone at 924-6744, ext. 740.

Kind Regards,

Kristie Baley  
*Planning Technician*  
711 W. Cinnamon Drive  
Lemoore, CA 93245  
559.924.6744 ext. 740



**DEPARTMENT OF TRANSPORTATION****DISTRICT 6 OFFICE**

1352 WEST OLIVE AVENUE

P.O. BOX 12616

FRESNO, CA 93778-2616

PHONE (559) 445-5868

FAX (559) 488-4088

TTY 711

www.dot.ca.gov

*Making Conservation  
a California Way of Life*

January 21, 2021

06-KIN-41-40.986

Site Plan Review

Johnny Quik Food Store Lemoore

**Revised**

Ms. Judy Holwell  
City of Lemoore  
711 W. Cinnamon Dr.  
Lemoore, CA 92345

Dear Ms. Holwell:

This comment letter supersedes our previous comment letter dated December 29, 2020.

Thank you for the opportunity to review Site Plan Review (SPR) A-1.0, proposing a new 3,280 square feet convenience store and a 12 vehicle fueling positions gas station. The project site is located on the corner of Bell Haven Drive and Bush Street at the State Route (SR) 41 southbound offramp in the City of Lemoore, in Kings County.

The mission of Caltrans is to provide a safe, sustainable, integrated and efficient transportation system to enhance California's economy and livability. The Local Development -Intergovernmental Review (LD-IGR) Program reviews land use projects and plans through the lenses of our mission and state planning priorities of infill, conservation, and travel-efficient development. To ensure a safe and efficient transportation system, we encourage early consultation and coordination with local jurisdictions and project proponents on all development projects that utilize the multimodal transportation network.

Caltrans provides the following comments consistent with the State's smart mobility goals that support a vibrant economy and sustainable communities:

**Trip Generation**

- Based on ITE Trip Generation, 10<sup>th</sup> Edition Manual, the project may generate approximately 150 A.M. and 168 P.M. peak hour trips.

**SR 41/Bush Avenue Interchange:**

- It is expected that most trips would use the SR 41/Bush Avenue interchange. The storage space between Bell Haven Drive and the southbound SR 41 offramp is approximately 225-feet.

- This interchange has been heavily impacted by recent and past development. It is expected that the cumulative traffic from continuous development will lead to the need for improvements at this interchange.

#### **SR 41/ Bush Avenue Interchange PSR-PDS**

Caltrans prepared a Project Study Report-Project Development Support (PSR-PDS) to request approval of a locally funded project to proceed to Project Approval and Environmental Document phase. The purpose of this proposed project is to study various alternatives to improve the existing Bush Street Interchange on SR 41 in Kings County. This interchange improvement would accommodate existing and future traffic and development needs in the City of Lemoore. The roundabout alternative appears to be preferred alternative and

This alternative would reconfigure the existing diamond interchange into a series of three roundabouts on Bush Street at the intersections of Belle Haven Drive, northbound SR41 ramps and southbound SR 41 ramps. The first roundabout at Bush Street and Belle Haven Drive is necessary due to its proximity and potential traffic influence with the SR 41 ramp intersections. The roundabouts consist of two lanes in the east-west directions and one lane in the north-south directions. The roundabout drawing is attached.

The proposed lane configuration on Bush Street for this alternative within the structure area would also impact the existing slope paving near the abutment footings. In order to accommodate the proposed roadway widening, a retaining wall will also be required with a concrete barrier being proposed in front of the wall. The anticipated maximum wall height for this alternative is assumed to be 12 feet and the length is assumed to be 210 feet for each wall.

Due to a larger area occupied by the roundabout on Bush Street and ramp intersections, ramp terminal modifications would be required for all four ramps. The northbound and the southbound off-ramps would also require a slight curve approaching the ramp terminal to slow the vehicle's speed entry.

There are variations to the roundabout alternative that will be further developed in the subsequent phases of this project if it remains a viable alternative.

A temporary improvement has been identified for the SR 41/Bush Street interchange. There have been discussions between the City of Lemoore and Caltrans for the temporary roundabouts at the ramp location and the Bush Street/Bell Haven Drive intersection. Therefore, it is recommended that the City of Lemoore preserve the right-of-way of the temporary roundabouts due to the project being within the vicinity.

### **Site Plan**

The project proponent should be looking at setbacks, landscaping and corner cut off areas at the intersections of Bell Haven and the SB ramp to accommodate the larger diameter of the ultimate roundabout.

### **VMT Discussion**

- Alternative transportation policies should be applied to the development. An assessment of multi-modal facilities should be conducted to develop an integrated multi-modal transportation system to serve and help alleviate traffic congestion caused by the project and related development in this area of the City. The assessment should include the following:
  - Pedestrian walkways should link this proposal to an internal project area walkway, transit facilities, as well as other walkways in the surrounding area.
  - The project should consider bicycles as an alternative mode of transportation and offer internal amenities to encourage bicycle use which could include parking and security.
- Consider bicyclist and pedestrian comfort when designing facilities.
  - Bush Street currently includes a Class 1 bike lane and to the south of the Project's frontage is an existing transit stop. (see City of Lemoore Circulation Element, page 4-25).
- Caltrans supports the installation of electric vehicle parking, which assists with California's climate goals of reducing greenhouse gas emissions.
- Any work expected to impact or be constructed in the State right-of-way will need to seek approval from the District 6 Office of Encroachment Permits.

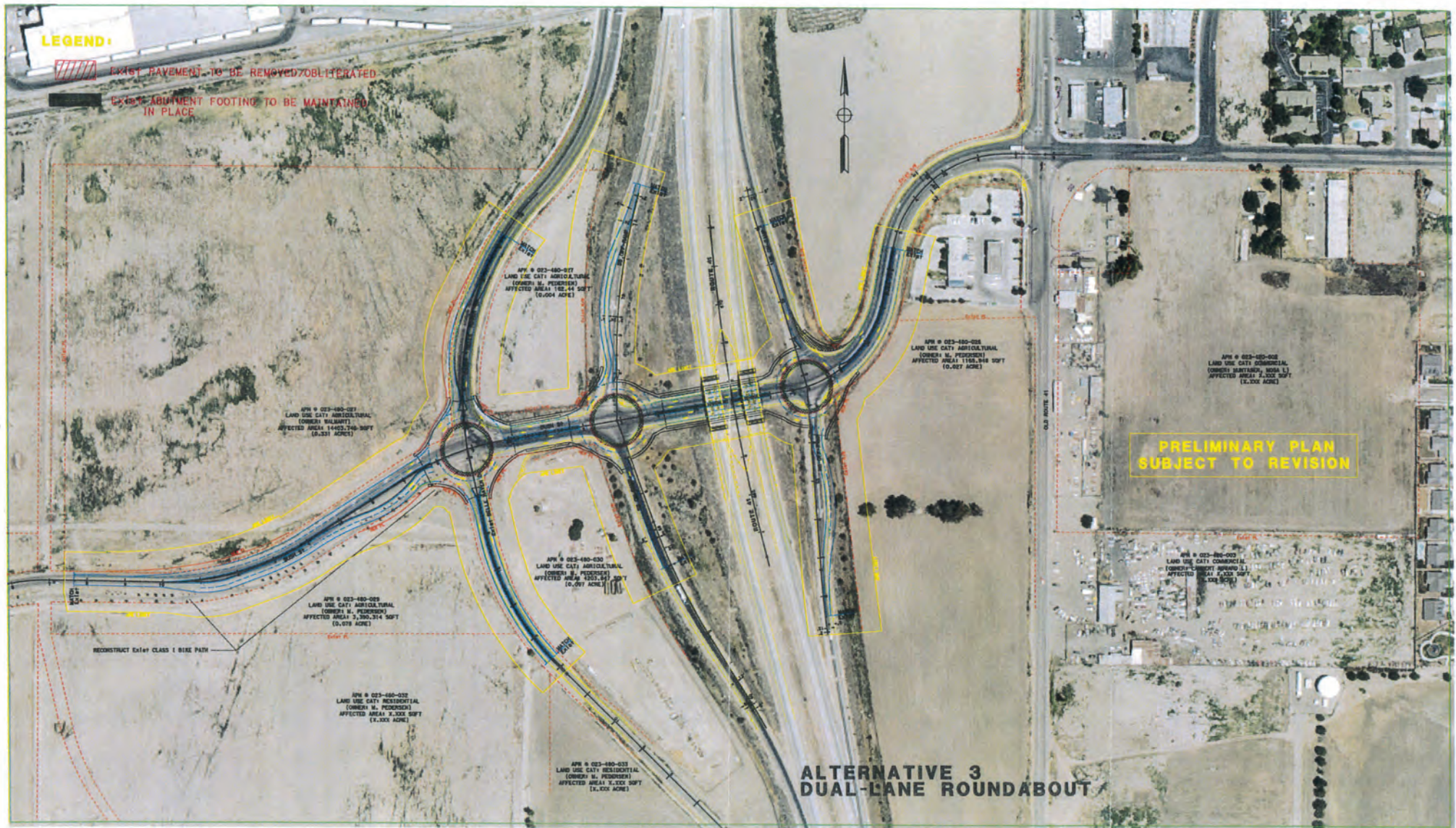
If you have any further questions, contact Nicholas Isla at (559)444-2583 or [Nicholas.isla@dot.ca.gov](mailto:Nicholas.isla@dot.ca.gov).

Sincerely,



David Padilla, Branch Chief  
Transportation Planning – North

Attachment-Alternative 3-Dual-Lane Roundabout



## Kristie Baley

---

**Subject:** FW: Notification - Major Site Plan Review 2021-03 - Johnny Quik - Fuel Station, Car Wash, Convenience Store, Quick Service Food with Drive Through - TPM  
**Attachments:** Major SPR 2021-03 4 Utility Plan ATT NOTES.pdf

**From:** WILSON, MICHAEL A <MW7046@att.com>  
**Sent:** Monday, March 22, 2021 3:21 PM  
**To:** Kristie Baley <kbaley@lemoore.com>  
**Cc:** Judy Holwell <jholwell@lemoore.com>; Steve Brandt <Steve.Brandt@qkinc.com>  
**Subject:** RE: Notification - Major Site Plan Review 2021-03 - Johnny Quik - Fuel Station, Car Wash, Convenience Store, Quick Service Food with Drive Through - TPM

Please forward the attached to the developer, builder, and/or owner.

There is an overhead utility path that must be relocated. I don't want it to be a last-minute thing. Cost of relocation is 100% billable to developer/owner, and will take approx 6-8 months start to finish.

Thank you.

**Michael Wilson**  
**Manager / Engineer**  
(559) 739-6423

---

**From:** Kristie Baley <[kbaley@lemoore.com](mailto:kbaley@lemoore.com)>  
**Sent:** Monday, March 22, 2021 9:03 AM  
**To:** WILSON, MICHAEL A <[MW7046@att.com](mailto:MW7046@att.com)>;

**Subject:** Notification - Major Site Plan Review 2021-03 - Johnny Quik - Fuel Station, Car Wash, Convenience Store, Quick Service Food with Drive Through - TPM

Good Morning,

The City of Lemoore Community Development Department is reviewing a request LJO Partners, LLC to construct a 4,280 sq. ft. convenience store with food service and retail inside (to include drive through outside) and a 6 pump fuel station with underground tanks (to include a car wash) on a 1.5 acre portion of the vacant parcel located on the north-east corner of W. Bush Street and N. Belle Haven Drive (APNs 023-470-012 and 023-480-028). The property is currently zoned Regional Commercial. Because the project will not include development of the entire parcel, a tentative parcel map has also been received for this project.

The convenience store and car wash are permitted uses; however, the fuel station requires a conditional use permit and the drive-through requires an administrative use permit. A duly noticed public hearing will be held to review this project and accept public comment during a meeting of the Planning Commission (approving authority). It has been determined that this project is exempt from CEQA review.

The tentative parcel map, utility plan, floor plan and elevations, as well as a vicinity map can be accessed from the link below. This link expires in 6 days. Please provide any comments you wish to be included in the City's staff report by 4:30 p.m. on Friday April 2, 2021.

<https://www.dropbox.com/t/pfyf1RWmw3t1RdvI>

For more information, please contact the Community Development Department by responding to this email or you may contact staff by phone at 924-6744, ext. 740.

Kind Regards,

Kristie Baley  
*Planning Technician*  
711 W. Cinnamon Drive  
Lemoore, CA 93245  
559.924.6744 ext. 740



1. ANY EXISTING MANHOLES AND/OR WATER VALVES ENCOUNTERED WHETHER OR NOT SHOWN ON THESE PLANS SHALL BE PROTECTED AND ADJUSTED TO FINISH GRADE UNLESS NOTE OTHERWISE."
2. A CITY OF LEMOORE, ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK IN THE CITY RIGHT OF WAY, CONTRACTOR PULL ENCROACHMENT PERMIT PRIOR TO THE COMMENCEMENT OF WORK IN THE RIGHT OF WAY
3. STREET LIGHT(S) ON-SITE TO BE COORDINATED WITH MEP PLANS.
4. STREET LIGHT(S) OFF-SITE TO BE COORDINATED WITH UTILTY COMPANY.

- WATER SYSTEM
- ALL WATER LATERAL SIZES SHALL BE AS SHOWN ON PLAN  
(CONFIRM WITH BUILDING PLUMBING PLAN).
- SANITARY SEWER
- CONSTRUCT SANITARY SEWER CLEANOUT, SIZE AS SHOWN  
ON PLAN. SEE DETAIL, SHEETS \_\_\_ & \_\_\_
- STORM DRAINAGE
- INSTALL V-64 AREA DRAIN. SEE DETAIL \_\_\_ ON SHEET \_\_\_
- INSTALL V-64 AREA DRAIN. SEE DETAIL \_\_\_ ON SHEET \_\_\_

1. ALL WATER PIPE SHALL BE:  
 \_\_\_\_\_ SCHEDULE \_\_\_\_\_ PVC  
 \_\_\_\_\_ " \_\_\_\_\_" \_\_\_\_\_ PVC
2. CONTRACTOR TO PROVIDE ALL FITTINGS/TEES/WYES NECESSARY, IN ORDER TO PROVIDE AN IN-PLACE WORKING DOMESTIC AND FIRE WATER SYSTEM.
3. CONSTRUCT THRUST BLOCKS FOR SYSTEM AS REQUIRED BY MANUFACTURER AND CALIFORNIA WATER SERVICE COMPANY.
4. WATER MAINS SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM AND ONE FOOT HIGHER THAN STORM AND SANITARY SEWERS LOCATED PARALLEL TO THE MAIN, IF FEASIBLE. CENTER A 20 FOOT LENGTH AT ALTERNATE AND SANITARY SEWER CROSSINGS. MINIMUM SEPARATION BETWEEN SEWER AND WATER MAIN SHALL BE ONE FOOT UNLESS OTHERWISE INDICATED.

5. ALL WATER MAINS TO HAVE A MINIMUM OF 3.5' OF COVER TO THE TOP OF PIPE.
6. ANY EXISTING WATER VALVES ENCOUNTERED WHETHER OR NOT SHOWN ON THESE PLANS SHALL BE PROTECTED AND RAISED TO FINISH GRADE.
7. CONTRACTOR TO COORDINATE PLACEMENT OF DOMESTIC WATER METERS WITH CALIFORNIA WATER SERVICE COMPANY.

1. ALL SANITARY SEWER LATERALS SHALL BE        " AS NOTE OF PLAN. SEE DETAIL, SHEETS        &
2. SANITARY SEWER PIPE, SIZE AND SLOPE AS SHOWN. ALL SANITARY SEWER PIPE SHALL BE SDR-35 PVC MEETING THE REQUIREMENTS OF ASTM D3034.
3. CONTRACTOR TO PROVIDE ALL FITTINGS/TEES/WYES TO PROVIDE AN IN-PLACE WORKING SANITARY SEWER DISPOSAL SYSTEM.

4. ALL SEWER PIPES TO HAVE THE FOLLOWING MINIMUM SLOPE, UNLESS SHOWN OTHERWISE:
- |             |
|-------------|
| 8" = 0.0030 |
| 6" = 0.0050 |
| 4" = 0.010  |
| 3" = 0.020  |
5. ANY EXISTING MANHOLES ENCOUNTERED WHETHER OR NOT SHOWN ON THESE PLANS SHALL BE PROTECTED AND RAISED TO FINISH GRADE.

1. CONTRACTOR TO PROVIDE ALL FITTINGS/TEES/WELDS TO PROVIDE AN IN-PLACE WORKING STORM DRAINAGE SYSTEM.
2. INSTALL COBBLE RIP-RAP AROUND AREA DRAINS (TYPICAL).

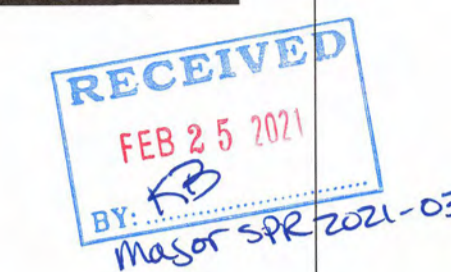
- 2 TIE-IN TO EXIST. WATER MAIN PER CITY STD. W-1.  
CONTRACTOR TO FIELD VERIFY INVERT



Received from AT&T 3-22-21



NORTH-EAST  
CORNER OF BELL  
HAVEN DRIVE AND  
BUSH STREET  
LEMOORE, CA 93245



1101 Second Ave, Ste 100  
Seattle, WA 98101  
206 962 6500  
MG2.com

# MG2

CONSTRUCTION  
DOCUMENTS

## BACKGROUND DRAWINGS

LICENSED NAME, ARCHITECT



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[illegible]

20-6114-1A  
PM: JOHN LEUK  
DRAWN BY: Author  
12/04/20

## UTILITY PLAN

C004

March 30, 2021

Kristie Baley  
City of Lemoore  
Community Development Department  
711 W. Cinnamon Drive  
Lemoore, CA 93245

**Project: Site Plan Review 2021-03 – Johnny Quik**

**District CEQA Reference No: 20210296**

Dear Ms. Baley,

The San Joaquin Valley Unified Air Pollution Control District (District) has reviewed the project referenced above from the City of Lemoore (City). The project consists of construction of a 4,280 square foot convenience store with 6 pump fuel station (Project). The Project is located on the north-east corner of W. Bush Street and N. Belle Haven Drive, in Lemoore, CA (APN 023-470-012 and 023-480-028).

**Project Scope**

The Project consists of construction of a 4,280 square foot convenience store with food service and retail inside (to include a drive through outside) and a 6 pump fuel station with underground tanks (to include a car wash) on a 1.5 acre portion of the vacant parcel located on the north-east corner of W. Bush Street and N. Belle Haven Drive. The property is currently zoned Regional Commercial.

The District's initial review of the Project concludes that emissions resulting from construction and/or operation of the Project may exceed the following thresholds of significance: 100 tons per year of carbon monoxide (CO), 10 tons per year of oxides of nitrogen (NOx), 10 tons per year of reactive organic gases (ROG), 27 tons per year of oxides of sulfur (SOx), 15 tons per year of particulate matter of 10 microns or less in size (PM10), or 15 tons per year of particulate matter of 2.5 microns or less in size (PM2.5).

Other potential significant air quality impacts related to Toxic Air Contaminants (see information below under Health Risk Assessment), Ambient Air Quality Standards, Hazards and Odors, may require assessments and mitigation. More information can be found in the District's Guidance for Assessing and Mitigating Air Quality Impacts at:

**Samir Sheikh**  
Executive Director/Air Pollution Control Officer

---

**Northern Region**  
4800 Enterprise Way  
Modesto, CA 95356-8718  
Tel: (209) 557-6400 FAX: (209) 557-6475

**Central Region (Main Office)**  
1990 E. Gettysburg Avenue  
Fresno, CA 93726-0244  
Tel: (559) 230-6000 FAX: (559) 230-6061

**Southern Region**  
34946 Flyover Court  
Bakersfield, CA 93308-9725  
Tel: (661) 392-5500 FAX: (661) 392-5585

[https://www.valleyair.org/transportation/GAMAQI\\_12-26-19.pdf](https://www.valleyair.org/transportation/GAMAQI_12-26-19.pdf)

The District recommends that a more detailed preliminary review of the Project be conducted for the Project's construction and operational emissions. The additional environmental review of the Project's potential impact on air quality should consider the following items:

**1) Project Related Criteria Pollutant Emissions**

**1a) Construction Emissions:**

Construction emissions are short-term emissions and should be evaluated separately from operational emissions. Equipment exhaust, as well as fugitive dust emissions should be quantified. For reference, the District's annual criteria thresholds of significance for construction are listed above.

The District recommends that the City consider the use of the cleanest reasonably available off-road construction practices (i.e. eliminating unnecessary idling) and fleets, as set forth in §2423 of Title 13 of the California Code of Regulations, and Part 89 of Title 40 Code of Federal Regulations as a mitigation measure to reduce Project related impacts from construction related exhaust emissions.

**1b) Operational Emissions:**

Emissions from stationary sources and mobile sources should be analyzed separately. For reference, the District's annual criteria thresholds of significance for operational emissions are listed above.

**1c) Recommended Model:** Project related criteria pollutant emissions from construction and operational sources should be identified and quantified. Emissions analysis should be performed using CalEEMod (**California Emission Estimator Model**), which uses the most recent approved version of relevant Air Resources Board (ARB) emissions models and emission factors. CalEEMod is available to the public and can be downloaded from the CalEEMod website at: [www.caleemod.com](http://www.caleemod.com).

**1d) Operational Related Emissions – Under-fired Charbroilers**

Projects for restaurants with under-fired charbroilers may pose the potential for immediate health risk, particularly when located in densely developed locations near sensitive receptors. Since the cooking of meat can release carcinogenic PM<sub>2.5</sub> species like polycyclic aromatic hydrocarbons, controlling emissions from

new under-fired charbroilers will have a substantial positive impact on public health.

Charbroiling emissions often occur in populated areas, near schools and residential neighborhoods, resulting in high exposure levels for sensitive Valley residents. The air quality impacts on neighborhoods near restaurants with under-fired charbroilers can be significant on days when meteorological conditions are stable, when dispersion is limited and emissions are trapped near the surface within the surrounding neighborhoods. This potential for neighborhood-level concentration of emissions during evening or multi-day stagnation events raises environmental concerns.

Furthermore, reducing commercial charbroiling emissions is essential to achieving attainment of multiple federal PM<sub>2.5</sub> standards and associated health benefits in the Valley. Therefore, the District recommends that the environmental document/assessment include a measure requiring the assessment and potential installation, as technologically feasible, of particulate matter emission control systems for new large restaurants operating under-fired charbroilers. The District is available to assist the City and project proponents with this assessment. Additionally, to ease the financial burden for Valley businesses, the District is currently offering substantial incentive funding that covers the full cost of purchasing, installing, and maintaining the system for up to two years. Please contact the District at (559) 230-5800 or [technology@valleyair.org](mailto:technology@valleyair.org) for more information.

#### **1e) Health Risk Screening/Assessment**

Located approximately 350 meters north-east of the Project, there are two sensitive receptors (i.e. residential units). The Health Risk Assessment should evaluate the risk associated with sensitive receptors in the area and mitigate any potentially significant risk to help limit emission exposure to sensitive receptors.

A Health Risk Screening/Assessment identifies potential Toxic Air Contaminants (TAC's) impact on surrounding sensitive receptors such as hospitals, daycare centers, schools, work-sites, and residences. TAC's are air pollutants identified by the Office of Environmental Health Hazard Assessment/California Air Resources Board (OEHHA/CARB) that pose a present or potential hazard to human health. A common source of TACs can be attributed to diesel exhaust emitted from both mobile and stationary sources. List of TAC's identified by OEHHA/CARB can be found at: <https://ww2.arb.ca.gov/resources/documents/carb-identified-toxic-air-contaminants>

The District recommends the development project(s) be evaluated for potential health impacts to surrounding receptors (on-site and off-site) resulting from operational and multi-year construction TAC emissions.

- i) The District recommends conducting a screening analysis that includes all sources of emissions. A screening analysis is used to identify projects which may have a significant health impact. A prioritization, using the latest approved California Air Pollution Control Officer's Association (CAPCOA) methodology, is the recommended screening method. A prioritization score of 10 or greater is considered to be significant and a refined Health Risk Assessment (HRA) should be performed.

For your convenience, the District's prioritization calculator can be found at:  
[http://www.valleyair.org/busind/pto/emission\\_factors/Criteria/Toxics/Utilities/PRIORITIZATION%20RMR%202016.XLS](http://www.valleyair.org/busind/pto/emission_factors/Criteria/Toxics/Utilities/PRIORITIZATION%20RMR%202016.XLS).

- ii) The District recommends a refined HRA for development projects that result in a prioritization score of 10 or greater. Prior to performing an HRA, it is recommended that development project applicants contact the District to review the proposed modeling protocol. A development project would be considered to have a significant health risk if the HRA demonstrates that the project related health impacts would exceed the District's significance threshold of 20 in a million for carcinogenic risk and 1.0 for the Acute and Chronic Hazard Indices, and would trigger all feasible mitigation measures. The District recommends that development projects which result in a significant health risk not be approved.

For HRA submittals, please provide the following information electronically to the District for review:

- HRA AERMOD model files
- HARP2 files
- Summary of emissions source locations, emissions rates, and emission factor calculations and methodology.

More information on toxic emission factors, prioritizations and HRAs can be obtained by:

- E-Mailing inquiries to: [hramodeler@valleyair.org](mailto:hramodeler@valleyair.org); or
- Contacting the District by phone for assistance at (559) 230-6000; or
- Visiting the District's website (Modeling Guidance) at:  
[http://www.valleyair.org/busind/pto/Tox\\_Resources/AirQualityMonitoring.htm](http://www.valleyair.org/busind/pto/Tox_Resources/AirQualityMonitoring.htm).

#### **1f) Ambient Air Quality Analysis**

An ambient air quality analysis (AAQA) uses air dispersion modeling to determine if emissions increases from a project will cause or contribute to a violation of the ambient air quality standards. For development projects the District recommends that an AAQA be performed for the project if emissions exceed 100 pounds per day of any pollutant.

If an AAQA is performed, the analysis should include emissions from both project specific permitted and non-permitted equipment and activities. The District recommends consultation with District staff to determine the appropriate model and input data to use in the analysis.

Specific information for assessing significance, including screening tools and modeling guidance is available online at the District's website [www.valleyair.org/ceqa](http://www.valleyair.org/ceqa).

#### **1g) Voluntary Emission Reduction Agreement**

If the Project is expected to have a significant impact, the District recommends the environmental document/assessment also include a discussion on the feasibility of implementing a Voluntary Emission Reduction Agreement (VERA) for this project.

A VERA is a mitigation measure by which the project applicant provides pound-for-pound mitigation of emissions increases through a process that develops, funds, and implements emission reduction projects, with the District serving a role of administrator of the emissions reduction projects and verifier of the successful mitigation effort. To implement a VERA, the project applicant and the District enter into a contractual agreement in which the project applicant agrees to mitigate Project specific emissions by providing funds for the District's incentives programs. The funds are disbursed by the District in the form of grants for projects that achieve emission reductions. Thus, project-specific regional impacts on air quality can be fully mitigated. Types of emission reduction projects that have been funded in the past include replacement of old heavy-duty trucks with new, cleaner, heavy-duty trucks, electrification of stationary internal combustion engines (such as agricultural irrigation pumps), and replacement of older school buses.

In implementing a VERA, the District verifies the actual emission reductions that have been achieved as a result of completed grant contracts, monitors the

emission reduction projects, and ensures the enforceability of achieved reductions. After the project is mitigated, the District certifies to the Lead Agency that the mitigation is completed, providing the Lead Agency with an enforceable mitigation measure demonstrating that project-specific regional emissions have been mitigated to less than significant. To assist the Lead Agency and project applicant in ensuring that the environmental document is compliant with CEQA, the District recommends the environmental document/assessment includes an assessment of the feasibility of implementing a VERA.

Additional information on implementing a VERA can be obtained by contacting District CEQA staff at by email at [CEQA@valleyair.org](mailto:CEQA@valleyair.org) or by phone at (559) 230-6000.

## **2) Solar Deployment in the Community**

It is the policy of the State of California that renewable energy resources and zero-carbon resources supply 100% of retail sales of electricity to California end-use customers by December 31, 2045. While various emission control techniques and programs exist to reduce air quality emissions from mobile and stationary sources, the production of solar energy is contributing to improving air quality and public health. The District suggests that the County of Fresno consider the feasibility of incorporating solar power systems, as an emission reduction strategy for this Project.

## **3) Clean Lawn and Garden Equipment in the Community**

Since the Project consists of commercial development, gas-powered commercial lawn and garden equipment have the potential to result in an increase of NO<sub>x</sub> and PM<sub>2.5</sub> emissions. Utilizing electric lawn care equipment can provide residents with immediate economic, environmental, and health benefits. The District recommends the Project proponent consider the District's Clean Green Yard Machines (CGYM) program which provides incentive funding for replacement of existing gas powered lawn and garden equipment. More information on the District CGYM program and funding can be found at: <http://www.valleyair.org/grants/cgym.htm> and <http://valleyair.org/grants/cgym-commercial.htm>.

## **4) Charge Up! Electric Vehicle Charger**

To support further installation of electric vehicle charging equipment and development of such infrastructure, the District offers incentives to public agencies, businesses, and property owners of multi-unit dwellings to install electric charging infrastructure (Level 2 and 3 chargers). The purpose of this incentive program is to promote clean air alternative-fuel technologies and the use of low or zero-emission vehicles. The District

suggests that the City and Project proponent consider the feasibility of installing electric vehicle chargers for this Project.

Please visit [www.valleyair.org/grants/chargeup.htm](http://www.valleyair.org/grants/chargeup.htm) for more information.

## **5) District Rules and Regulation**

The District issues permits for many types of air pollution sources and regulates some activities not requiring permits. A project subject to District rules and regulation would reduce its impacts on air quality through compliance with regulatory requirements. In general, a regulation is a collection of rules, each of which deals with a specific topic. For example, *Regulation II - Permits* encompasses multiple rules associated with the permitting of emission sources such as Rule 2010 (Permits Required), Rule 2201 (New and Modified Stationary Source Review), and others.

### **5a) District Rules 2010 and 2201 - Air Quality Permitting for Stationary Sources**

Stationary Source emissions include any building, structure, facility, or installation which emits or may emit any affected pollutant directly or as a fugitive emission. District Rule 2010 requires operators of emission sources to obtain an Authority to Construct (ATC) and Permit to Operate (PTO) from the District. District Rule 2201 requires that new and modified stationary sources of emissions mitigate their emissions using best available control technology (BACT).

This Project will be subject to District Rule 2010 (Permits Required) and Rule 2201 (New and Modified Stationary Source Review) and will require District permits.

Prior to commencing construction on any permit-required equipment or process, a finalized Authority to Construct (ATC) must be issued to the Project proponent by the District. For further information or assistance, the project proponent may contact the District's Small Business Assistance (SBA) Office at (559) 230-5888.

### **5b) District Rule 9510 (Indirect Source Review)**

The purpose of District Rule 9510 (Indirect Source Review) is to reduce the growth in both NO<sub>x</sub> and PM<sub>10</sub> emissions associated with development and transportation projects from mobile and area sources associated with construction and operation of development projects. The rule encourages clean air design elements to be incorporated into the development project. In case the proposed project clean air design elements are insufficient to meet the targeted emission reductions, the rule requires developers to pay a fee used to fund projects to achieve off-site emissions reductions.

The proposed Project is subject to District Rule 9510 because it will receive a project-level discretionary approval from a public agency and will equal or exceed 2,000 square feet of commercial space. When subject to the rule, an Air Impact Assessment (AIA) application is required no later than applying for project-level approval from a public agency. In this case, if not already done, please inform the project proponent to immediately submit an AIA application to the District to comply with District Rule 9510.

An AIA application is required and the District recommends that demonstration of compliance with District Rule 9510, before issuance of the first building permit, be made a condition of Project approval.

Information about how to comply with District Rule 9510 can be found online at:  
<http://www.valleyair.org/ISR/ISRHome.htm>.

The AIA application form can be found online at:  
<http://www.valleyair.org/ISR/ISRFormsAndApplications.htm>

#### **5c) District Regulation VIII (Fugitive PM10 Prohibitions)**

The Project will be subject to Regulation VIII. The project proponent is required to submit a Construction Notification Form or submit and receive approval of a Dust Control Plan prior to construction.

Information on how to comply with Regulation VIII can be found online at:  
[http://www.valleyair.org/busind/comply/PM10/compliance\\_PM10.htm](http://www.valleyair.org/busind/comply/PM10/compliance_PM10.htm).

#### **5d) Other District Rules and Regulations**

The Project may also be subject to the following District rules: Regulation VIII, (Fugitive PM10 Prohibitions), Rule 4102 (Nuisance), Rule 4601 (Architectural Coatings), and Rule 4641 (Cutback, Slow Cure, and Emulsified Asphalt, Paving and Maintenance Operations). In the event an existing building will be renovated, partially demolished or removed, the project may be subject to District Rule 4002 (National Emission Standards for Hazardous Air Pollutants).

The list of rules above is neither exhaustive nor exclusive. Current District rules can be found online at: [www.valleyair.org/rules/1ruleslist.htm](http://www.valleyair.org/rules/1ruleslist.htm). To identify other District rules or regulations that apply to this Project or to obtain information about District permit requirements, the applicant is strongly encouraged to contact the District's Small Business Assistance (SBA) Office at (559) 230-5888.

**6) District Comment Letter**

The District recommends that a copy of the District's comments be provided to the Project proponent.

If you have any questions or require further information, please contact Will Worthley by e-mail at [will.worthley@valleyair.org](mailto:will.worthley@valleyair.org) or by phone at (559) 230-5925.

Sincerely,

Brian Clements  
Director of Permit Services



John Stagnaro  
Program Manager

BC: ww

# CITY OF LEMOORE

## CEQA Class 32 (Infill Development) Exemption Findings

The purpose of CEQA Categorical Exemption 32 is to promote in-fill development within urbanized areas. The class consists of environmentally benign in-fill projects which are consistent with local general plan and zoning requirements. This class is not intended to be applied to projects which would result in any significant traffic, noise, air quality, or water quality effects.

### Project Description:

A request by LJQ Partners LLC to develop a convenience store with food service and other retail, a drive through window, an on-site car wash and a 6-pump fuel station located on the northeast corner of Bush Street and Belle Haven Drive. (APN 023-470-012 portion)

### Required Findings:

- a) *This project is consistent with the applicable General Plan designation and all applicable General Plan policies as well as with applicable zoning designations and regulations.***

SUPPORTING INFORMATION: The project consists of uses that are either allowed by right or allowed by conditional use permit in the zone in which it is located (Regional Commercial). The project is consistent with the Lemoore General Plan.

- b) *The proposed development occurs within city limits on a project site of no more than five acres and substantially surrounded by urban uses.***

SUPPORTING INFORMATION: The project site is within the city limits and is approximately 1.5 acres in size. There are urban uses to the north (cheese manufacturing facility), west (community college), and east (state highway).

- c) *The project site has no value as habitat for endangered, rare or threatened species.***

SUPPORTING INFORMATION: The project site is located between to existing roadways, State Highway 41 and Belle Haven Drive. The site is devoid of any native vegetation, landscaping, or trees. There are no known riparian habitats or sensitive natural communities within the planning area.

- d.1) *Approval of the project would not result in any significant effects relating to traffic.***

SUPPORTING INFORMATION: There are no known significant traffic related issues.

The intersection of Belle Haven Drive and Bush Street is being upgraded to a temporary roundabout. The area was previously studied in a traffic impact assessment, which found that there would be no significant effects relating to traffic after the roundabout mitigation.

***d.2) Approval of the project would not result in any significant effects relating to noise.***

SUPPORTING INFORMATION: The size and type of the project would not significantly increase the level of ambient noise already in the area. There are no known significant noise related issues.

***d.3) Approval of the project would not result in any significant effects relating to air quality.***

SUPPORTING INFORMATION: The construction and operation of the site will be required to meet San Joaquin Valley Air Pollution Control standards. There will not be significant effects related to air quality.

***d.4) Approval of the project would not result in any significant effects relating to water quality.***

SUPPORTING INFORMATION: There are no adjacent creeks, streams, or other bodies of water near the site. There are no known significant effects relating to water quality.

***e) The site can be adequately served by all required utilities and public services.***

SUPPORTING INFORMATION: The project site is located in an area already served by major utilities and municipal services. All major underground services and utilities have been previously installed in adjacent streets. All other services, Police, Fire and Parks can adequately be provided for by the City. There are no known significant utility or service issues.

## **Conclusion**

The project qualified for the Class 32 Infill Development Project Exemption.



711 W. Cinnamon Drive • Lemoore, California 93245 • (559) 924-6744

## Staff Report

**To:** Lemoore Planning Commission **Item No. 6**  
**From:** Steve Brandt, Planner  
**Date:** August 19, 2021 **Meeting Date:** September 13, 2021  
**Subject:** Request by Daley Enterprises, Inc. to extend approval of Tentative Subdivision Map No. 2018-01 (Tract 793) and accompanying Planning entitlements for one year (APN 023-320-005).

### **Proposed Motion:**

Move to adopt Resolution No. 2021-14, approving a one-year extension of time for Tentative Subdivision Map No. 2018-01 (Tract 793) and accompanying Planning entitlements, in accordance with the findings and conditions of the Resolution.

### **Discussion:**

On August 13, 2021, Daley Enterprises, Inc. submitted a written request to extend the approval of the Tract No. 793, Tentative Subdivision Map No. 2018-01 for one year. This project was originally approved by Planning Commission Resolution No. 2018-06 on August 13, 2018, which was originally set to expire on August 13, 2020. The Planning Commission granted a one-year extension on August 10, 2020, which extended the Tentative Subdivision Map to August 13, 2021, to allow for coordination with the utility companies. The filing of an application for an extension on August 13, 2021 stays the expiration for 60 days. If the one-year extension is approved, the Tentative Subdivision Map will be extended to August 13, 2022.

The tentative map consisted of 30 single-family lots, 12 multi-family lots with a remainder to be developed in two phases, with the east portion of the site developing first. Major Site Plan Review No. 2018-03 was also approved. Daley Enterprises, Inc. is adding the remainder area into the development in order to provide for connection and utilities, however, it was not ready to do so by the August 13, 2021 expiration date. Therefore, the applicant has applied for a second one-year discretionary time extension.

The Subdivision Map Act governs how cities are to process and administer the creation of new parcels and subdivisions. The Subdivision Map Act states that a final subdivision map

must be filed with the City before the tentative map approval expires. The filing of a final map is usually the beginning of significant investment on the part of the developer. Tentative maps are initially approved for two years. Applicants may request up to six years of discretionary extensions by the City.

Staff supports the one-year extension to give the developer more time to prepare for the connection and utilities. In accordance with Municipal Code Section 9-2A-9, extensions granted for the Tentative Tract Map shall be applied to all accompanying entitlements. The project would still adhere to the adopted conditions as adopted originally for the project.

**Attachments:**

- 1) Site Location - Aerial Photo
- 2) Draft Resolution for Approval
- 3) Tentative Subdivision Map No. 2018-01
- 4) Original Approval Resolution No. 2018-06
- 5) Resolution No. 2020-11 – Approving a One Year Time Extension



Site Location – Aerial Photo

**RESOLUTION NO. 2021-14**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LEMOORE  
APPROVING A ONE YEAR TIME EXTENSION TO TENTATIVE SUBDIVISION MAP NO. 2018-01  
(TRACT 793) AND ACCOMPANYING PLANNING ENTITLEMENTS TO DIVIDE 17.87 ACRES INTO 30  
SINGLE-FAMILY LOTS, 12 MULTI-FAMILY LOTS AND A REMAINDER LOCATED AT THE  
NORTHEAST CORNER OF SR 198 AND SR 41 IN THE CITY OF LEMOORE**

At a Regular Meeting of the Planning Commission of the City of Lemoore duly called and held on September 13, 2021, at 7:00 p.m. on said day, it was moved by Commissioner \_\_\_\_\_, seconded by Commissioner \_\_\_\_\_, and carried that the following Resolution be adopted:

**WHEREAS**, Daley Enterprises, Inc., requested a one-year extension for Tentative Subdivision Map No. 2018-01 (Tract 793), Major Site plan Review No. 2018-03 to divide 17.87 acres into 30 single-family lots, 12 multi-family lots and a remainder located at the northeast corner of SR 198 and SR 41, in the City of Lemoore (APN: 023-320-005).

**WHEREAS**, Tentative Subdivision Map 2018-01 and accompanying Planning entitlements were previously approved by the City of Lemoore on August 13, 2018; and

**WHEREAS**, the Tentative Subdivision Map was previously extended one year per the City of Lemoore Municipal Code Section 8-7F-10 to August 13, 2021; and

**WHEREAS**, the request for extension automatically extends the Tentative Subdivision Map for 60-days to allow for review per the Municipal Code; and

**WHEREAS**, the applicant has demonstrated reasonable efforts to pursue the project and the need for an extension of the Tentative Subdivision Map; and

**WHEREAS**, the Planning Commission has determined that granting an extension will not create a negative impact to the public health, safety, or welfare.

**NOW THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Lemoore hereby finds that the potential environmental effects of the Project were adequately analyzed by the Mitigated Negative Declaration prepared and adopted by the City Council on August 15, 2017 in conjunction with General Plan Amendment No 2016-02 and Zone Map Amendment No. 2016-02 contemplating approximately 134 residential units for this property.

**BE IT FURTHER RESOLVED** that the Planning Commission of the City of Lemoore hereby grants a one-year extension to Tentative Subdivision Map No. 2018-01 (Tract 793), Major Site Plan Review No. 2018-03, which shall expire on August 13, 2022. This extension is granted subject to compliance with the conditions of the original approval contained in Resolution 2018-06.

Passed and adopted at a Regular Meeting of the Planning Commission of the City of Lemoore held on September 13, 2021, by the following votes:

**AYES:**

**NOES:**

**ABSTAINING:**

**ABSENT:**

**APPROVED:**

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**Michael Dey, Vice Chair**

**ATTEST:**

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**Kristie Baley, Commission Secretary**

SILVA ESTATES 11  
TENTATIVE SUBDIVISION MAP

BEING A PORTION OF THE SOUTHEAST QUARTER OF SECTION 9, T. 19 S., R. 20 E., M.D.B.&M., IN THE CITY OF LEMOORE, COUNTY OF KINGS, STATE OF CALIFORNIA.

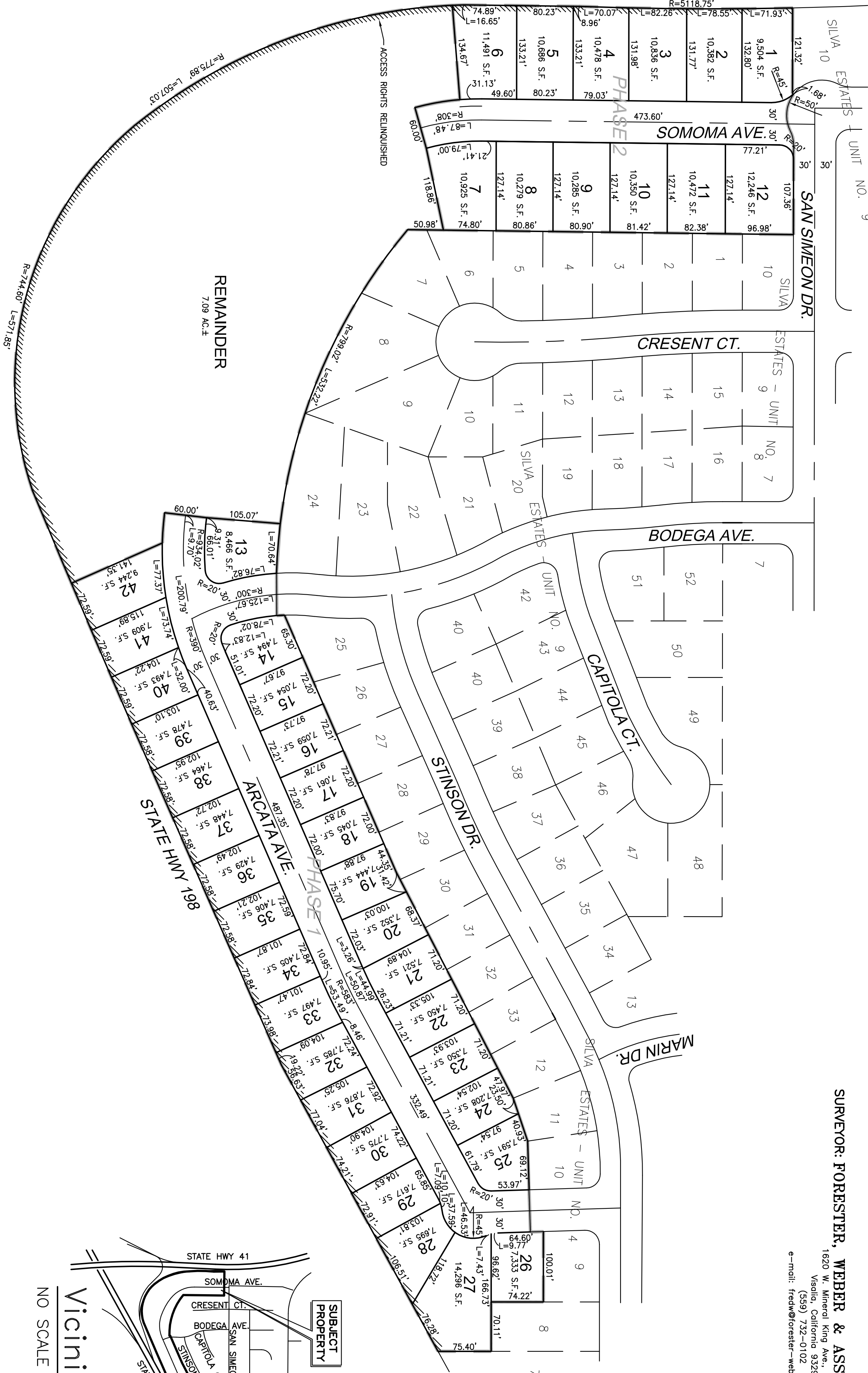
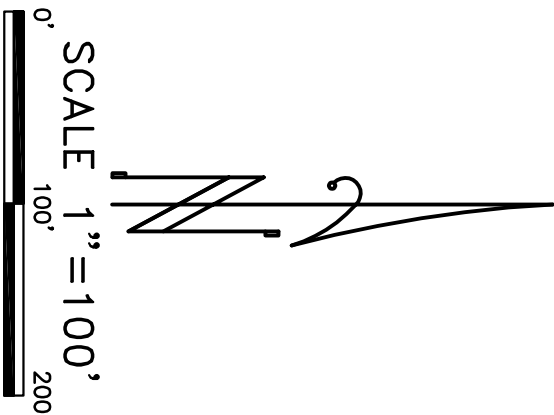
MARCH 2018  
REV. JULY 2018

OWNERS:  
  
DALEY HOMES, INC.  
1356 E. Tulare Ave.  
Tulare, CA 93274

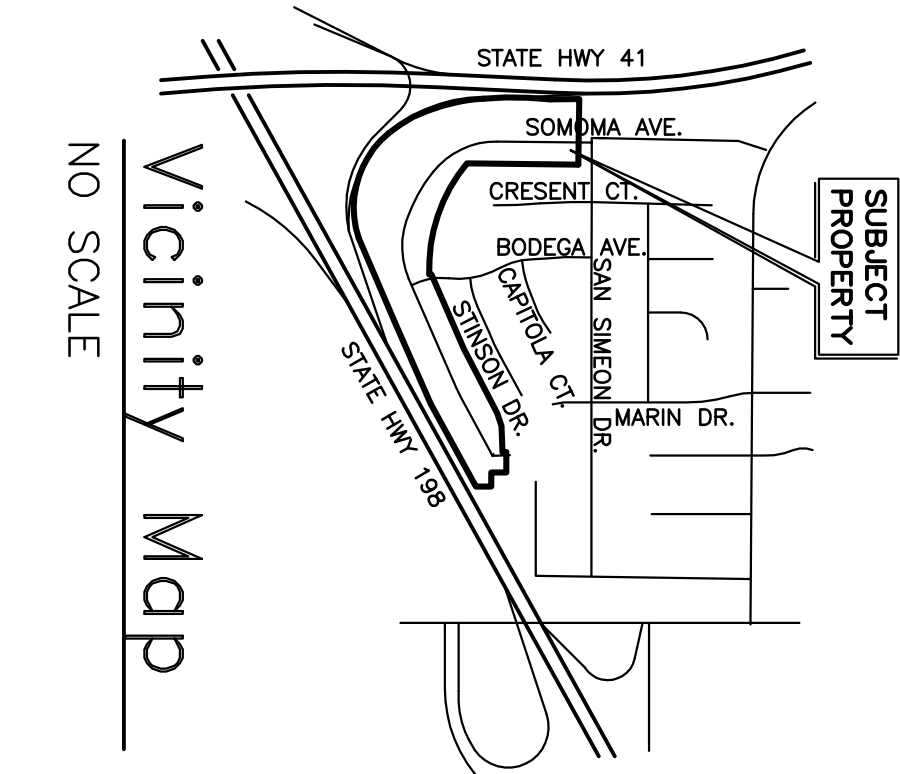
SURVEYOR: FORESTER, WEBER & ASSOCIATES L.L.C.  
1620 W. Mineral King Ave., Suite B  
Visalia, California 93291  
(559) 732-0102  
e-mail: fredw@forester-weber.com

NOTES:	
APN	023-320-02
ZONE	R-1-7
TOTAL SITE AREA	17.87 AC.
EXISTING USE	VACANT
PROPOSED USE	MULTI-FAMILY AND SINGLE FAMILY SUBDIVISION
WATER/SEWER	CITY OF LEMOORE
STORM DRAIN	CITY OF LEMOORE
SOLID WASTE	CITY OF LEMOORE
GAS	THE GAS COMPANY
POWER	SOUTHERN CALIFORNIA EDISON CO.
MULTIFAMILY LOTS	29
SINGLE FAMILY LOTS	13
TOTAL NO. OF LOTS	42

13 MEDIUM DENSITY LOTS  
LOTS 1-12 (12 UNITS)  
31 LOW DENSITY LOTS  
LOTS 26-42 (17 UNITS)  
21 SINGLE FAMILY LOTS  
LOTS 13-25 (13 UNITS)



Vicinity Map  
NO SCALE



**RESOLUTION NO. 2018-06**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LEMOORE  
APPROVING TENTATIVE SUBDIVISION MAP NO. 2018-01 (TRACT 793)  
AND MAJOR SITE PLAN REVIEW NO. 2018-03 TO DIVIDE 17.87 ACRES  
INTO 30 SINGLE-FAMILY LOTS, 12 MULTI-FAMILY LOTS WITH A REMAINDER LOCATED AT THE  
NORTHEAST CORNER OF HIGHWAY 198 AND HIGHWAY 41 IN THE CITY OF LEMOORE**

At a Regular Meeting of the Planning Commission of the City of Lemoore (City) duly called and held on August 13, 2018, at 7:00 p.m. on said day, it was moved by Commissioner Meade, seconded by Commissioner Koelewyn, and carried that the following Resolution be adopted:

**WHEREAS**, Daley Enterprises, Inc. has requested approval of a Tentative Subdivision Map and Major Site Plan Review for a project located at the northeast corner of Highway 198 and Highway 41 in the City (APN 023-320-005); and

**WHEREAS**, the proposed site is 17.81 acres in size, and is zoned both Low Density Residential (RLD) and Low-Medium Density Residential (RLMD); and

**WHEREAS**, the proposed project contains 30 single-family lots in the portion of the site zoned RLD, and 12 multi-family lots (35 units) in the portion of the site zoned RLMD; and

**WHEREAS**, the portion of the Tentative Subdivision Map proposed for the 12 multi-family lots has been zoned RLMD since before 2008; and

**WHEREAS**, the portion of the Tentative Subdivision Map proposed for the 30 single-family lots was not given a land use designation in the 2008 General Plan, and was left without any zoning designation when the Zoning Ordinance was updated in 2012; and

**WHEREAS**, on August 15, 2017, the City Council approved General Plan Amendment No. 2016-02 and Zone Change Amendment No. 2016-02, designating and zoning the portion of the site where the 30 single-family lots are proposed as RLD.

**WHEREAS**, as part of General Plan Amendment No. 2016-02 and Zone Change Amendment No. 2016-02, a Mitigated Negative Declaration contemplating approximately 134 residential units was prepared and adopted by the City Council pursuant to the California Environmental Quality Act (CEQA); and

**WHEREAS**, the City Planning Commission held a duly noticed public hearing at its August 13, 2018, meeting.

**NOW THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Lemoore hereby makes the following findings regarding the proposed projects:

1. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the general plan and all applicable provisions of the Subdivision Ordinance.

2. The proposed project does not exceed the total density under the base zoning district or the general plan land use designation.
3. The proposed project will not be substantially detrimental to adjacent property and will not materially impair the purposes of the Zoning Ordinance or the public interest.
4. As proposed and conditioned herein, the site design of the project is consistent with the new residential development standards in the Zoning Ordinance.
5. The proposed project is consistent with the objectives of the General Plan and complies with applicable zoning regulations, and improvement standards adopted by the City.
6. The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.
7. The project's lot sizes are consistent with densities in the General Plan and are appropriate for this site.
8. The Mitigated Negative Declaration previously prepared for General Plan Amendment No. 2016-02 and Zone Change No. 2016-02 is appropriate to be utilized for evaluation of environmental impacts of this project, in accordance with CEQA, as the Mitigated Negative Declaration considered environmental impacts that could result from a project of approximately 134 residential units, which is larger than the amount of units in the project being considered.

**BE IT FURTHER RESOLVED** that the Planning Commission of the City of Lemoore approves Tentative Subdivision Map No. 2018-01 (Tract 793) and Major Site Plan Review No. 2018-03 subject to the following conditions:

1. The site shall be developed consistent with the approved tentative map and its conditions, the Site Plan No. 2018-03 comments, and applicable development standards found in the Zoning Ordinance and City Municipal Code.
2. All mitigation measures in the Mitigated Negative Declaration approved with General Plan Amendment 2016-02 and Zone Change 2016-02 shall be complied with.
3. The minimum lot size of 70x100 feet shall be achieved prior to recordation of the final map or an application for a minor deviation shall be made.
4. The project shall be developed and maintained in substantial compliance with the tentative map, except for any modifications that may be needed to meet these conditions of approval.
5. The final subdivision map shall be submitted in accordance with City ordinances and standards.
6. Plans for all public and private improvements, including but not limited to, water, sewer, storm drainage, road pavement, curb and gutter, sidewalk, street lights, landscaping, and fire hydrants shall be approved by the City Engineer, and these improvements shall be completed in accordance with the approved plans to the satisfaction of the Public Works Department.

7. Park land in-lieu fees shall be paid to the City for 0.63 acres (or as adjusted based on the final map) in accordance with the procedures in Section 8-7N-4 of the City Municipal Code. Fees shall be paid prior to approval of the final map.
8. A public facilities maintenance district (PFMD) shall be formed in conjunction with the final map acceptance to provide the maintenance costs for common landscaping and other improvements, in accordance with existing City policy. Annexation into an existing PFMD is acceptable.
9. The project shall be subject to the applicable development impact fees adopted by resolution of the City Council.
10. A noise and odor easement shall be recorded on the property, in a form acceptable to the City Attorney, to acknowledge the presence of nearby industry and railroad, and the right of the industry and railroad to continue to emit such noise and odors as are otherwise allowable by law and to ensure that industry in these areas is not unreasonable hindered by residential users and owners that move nearby at a later date.
11. The developer shall comply with the standards, provisions, and requirements of the San Joaquin Valley Air Pollution Control District that relate to the project.
12. A block wall shall be constructed along the rear lot line of Lots 1 through 6 and Lots 27 through 42. The block wall will separate the single-family lots from Highway 198 and the multi-family lots from Highway 41.
13. Fire hydrant types and locations shall be approved by the Lemoore Volunteer Fire Department.
14. Concrete pads for installation of mailboxes shall be provided in accordance with determinations made by the Lemoore Postmaster.
15. Street trees from the city approved street tree list shall be planted with root barriers as per Public Works Standards and Specifications.
16. Street lights shall be provided within the project as per City local street lighting standards.
17. Any existing roadway, sidewalk, or curb and gutter that is damaged during construction shall be repaired or replaced to the satisfaction of the Public Works Department.
18. All signs shall require a sign permit separate from the building permit.
19. The project and all subsequent uses must meet the requirements found in Section 9-5B-2 of the Zoning Ordinance related to noise, odor, and vibration, and maintenance.
20. This tentative subdivision map approval shall expire within two years, unless a final map is filed or an extension is granted via legislation or by the City, in accordance with the Subdivision Map Act.

Passed and adopted at a Regular Meeting of the Planning Commission of the City of Lemoore held on August 13, 2018, by the following votes:

**AYES:** Meade, Koelewyn, Boerkamp, Franklin, Marvin, Etchegoin, Clement

**NOES:**

**ABSTAINING:**

**ABSENT:**

**APPROVED:**

  
\_\_\_\_\_  
Bob Clement, Chairperson

**ATTEST:**

  
\_\_\_\_\_  
Kristie Baley, Planning Commission Secretary

**RESOLUTION NO. 2020-11**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LEMOORE  
APPROVING A ONE-YEAR TIME EXTENSION OF TENTATIVE SUBDIVISION MAP NO.  
2018-01 (TRACT 793) AND ACCOMPANYING PLANNING ENTITLEMENTS  
LOCATED AT THE NORTHEAST CORNER OF HIGHWAY 198 AND HIGHWAY 41 IN THE  
CITY OF LEMOORE**

At a Regular Meeting of the Planning Commission of the City of Lemoore (City) duly called and held on August 10, 2020, at 7:00 p.m. on said day, it was moved by Commissioner FRANKLIN, seconded by Commissioner DEY, and carried that the following Resolution be adopted:

**WHEREAS**, Daley Enterprises, Inc. has requested time extension for Tentative Subdivision Map 2018-01 (Tract 793) and Major Site Plan Review No. 2018-03, located at the northeast corner of Highway 198 and Highway 41 in the City (APN 023-320-005); and

**WHEREAS**, Tentative Subdivision Map 2018-01 and Major Site Plan Review No. 2018-03 was previously approved by the City of Lemoore on August 13, 2018.

**NOW THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Lemoore hereby finds that the potential environmental effects of the Project were adequately analyzed by the Mitigated Negative Declaration that was adopted pursuant to the California Environmental Quality Act (CEQA) on August 13, 2018 in conjunction with the approval of the Tentative Subdivision Map.

**BE IT FURTHER RESOLVED** that the Planning Commission hereby grants a one-year extension to Tentative Subdivision Map 2018-01 and Major Site Plan Review No. 2018-03, at which extension shall expire on August 13, 2021. This extension is granted subject to compliance with the conditions of the original approval contained in Resolution 2018-06.

Passed and adopted at a Regular Meeting of the Planning Commission of the City of Lemoore held on August 10, 2020, by the following votes:

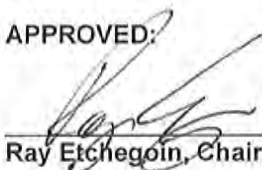
**AYES:** FRANKLIN, DEY, CLEMENT, MEADE, ETCHEGOIN

**NOES:**

**ABSTAINING:**

**ABSENT:** KOELWYN

**APPROVED:**

  
Ray Etchegoin, Chairperson

**ATTEST:**

  
Kristie Baley, Commission Secretary



711 W Cinnamon Drive • Lemoore, California 93245 • (559) 924-6744

## Staff Report

**To:** Lemoore Planning Commission **Item No. 7**  
**From:** Steve Brandt, City Planner  
**Date:** August 20, 2021 **Meeting Date:** September 13, 2021  
**Subject:** **Revision to Major Site Plan Review No. 2020-03, (Amendment No. 1):** a request by Base Camp Cannabis Company to revise Major Site Plan Review No. 2020-03 for a seed to sale cannabis campus. The revision proposes to replace the perimeter block wall with a perimeter chain link fence with barbed wire. The site is located on Venture Place, west of Commerce Way, north of Enterprise Drive, east of SR 41, and south of SR 198 in the City of Lemoore (APNs 024-400-002 through 024-400-009).

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### **Proposed Motion:**

Move to adopt Resolution No. 2021-15, approving the Revision to Major Site Plan Review No. 2020-03, (Amendment No. 1) in accordance with the findings and conditions in the Resolution.

### **Zoning/General Plan:**

The applicant is requesting that the previous site plan approval be modified so that the perimeter fencing would be constructed of chain link and barbed wire instead of a block wall. The chain link fence would be six feet high, and the barbed wire would be an additional two feet high, for a total fence height of eight feet.

The proposed use of the site is allowed in the Light Industrial (ML) zone. The Zoning Ordinance allows chain link fencing with barbed wire in the ML zone.

The applicant may propose other changes to the site plan. These will be brought to the Planning Commission at a future meeting.

**Environmental Review:**

The original project was evaluated with an Initial Study that was prepared in conformance with the California Environmental Quality Act (CEQA) Guidelines, and it was found that the proposed project could not have a significant effect on the environment, with mitigations. Therefore, a Mitigated Negative Declaration was approved for this project. This same document will be used for this revision.

**Attachments:**

Location Map

Draft Resolution

Resolution No. 2020-07

Original Conditions of Approval for Site Plan Review No. 2020-03

Notice of Determination Filed June 26, 2020

Location Map  
Revision to MSPR No. 2020-03



**RESOLUTION NO. 2021-15**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LEMOORE  
APPROVING A REVISION TO MAJOR SITE PLAN REVIEW NO. 2020-03, (AMENDMENT NO. 1), A  
REQUEST BY BASE CAMP CANNABIS COMPANY TO ALLOW THE PERIMETER FENCING  
AROUND THE SEED TO SALE CANNABIS CAMPUS TO BE CONSTRUCTED OF CHAIN LINK AND  
BARBED WIRE, LOCATED ON VENTURE PLACE, WEST OF COMMERCE WAY, NORTH OF  
ENTERPRISE DRIVE, EAST OF SR 41, AND SOUTH OF SR 198 IN THE CITY OF LEMOORE**

At a Regular Meeting of the Planning Commission of the City of Lemoore (City) duly called and held on September 13, 2021, at 7:00 p.m. on said day, it was moved by Commissioner \_\_\_\_\_, seconded by Commissioner \_\_\_\_\_, and carried that the following Resolution be adopted; and

**WHEREAS**, Base Camp Cannabis Company has requested a revision to the approved site plan to construct seed to sale cannabis campus that includes delivery service, manufacturing and processing facility, microbusiness, distribution hub, cultivation greenhouses, and food truck dining area; and

**WHEREAS**, the site is located on Venture Place, west of Commerce Way, north of Enterprise Drive, east of SR 41, and south of SR 198 in the City of Lemoore (APNs 024-400-002 through 024-400-009); and

**WHEREAS**, the proposed site is approximately 7.63 acres in size, and is zoned Light Industrial (ML); and

**WHEREAS**, the revision proposed is to replace the approved perimeter block wall with a chain link and barbed wire fence; and

**WHEREAS**, an Initial Study was prepared in conformance with the California Environmental Quality Act (CEQA) Guidelines, and it was found that the proposed project could not have a significant effect on the environment, with mitigations. Therefore, a Mitigated Negative Declaration was adopted with the original site plan review approval; and

**WHEREAS**, after consultation with the Native American Heritage Commission and the Tachi Tribe, there is an expressed concern that there may be tribal resources on the site; and

**WHEREAS**, the City Planning Commission held a duly noticed public hearing at its September 13, 2021, meeting.

**NOW THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Lemoore hereby makes the following findings regarding the proposed project:

1. The proposed project is consistent with the objectives of the General Plan and complies with applicable zoning regulations, specific plan provisions, and improvement standards adopted by the City. The proposed use is allowed in the Light Industrial zone and the site plan meets the City's improvement standards.
2. The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.

The use is compatible with other existing businesses near the site. Chain link and barbed wire are allowed materials for fences in the Light Industrial zone.

3. The architecture, character, and scale of the building and the site are compatible with the character of buildings on adjoining and nearby properties.
4. The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation. Venture Place is planned for abandonment back to adjacent property owners.
5. Previous activities have disturbed the immediate ground surface in the site; however, intact historical or tribal resources may be discovered below the layer in land during ground-disturbing activities. Because of the expressed concern for possible tribal resources at the site, conditions must be applied to protect such resources from possible destruction.

**BE IT FURTHER RESOLVED** that the Planning Commission of the City of Lemoore approves the revision to Major Site Plan Review No. 2020-03, (Amendment No. 1) with the following conditions:

1. The site shall be developed in conformance with the approved site plan, the Major Site Plan Review No. 2020-03 comments, and applicable City standards, with the approved revision that a six-foot high chain link fence with two feet of barbed wire (total eight feet high) may replace the previously approved block wall.
2. Prior to any ground disturbance, an archaeological survey must be completed. If resources are found, the Tribal Cultural Staff shall monitor the site during grading activities. The Tribal Cultural Staff shall provide pre-construction briefings to supervisory personnel and any excavation contractor, which will include information on potential cultural material finds and on the procedures to be enacted if resources are found. Prior to any ground disturbance, the applicant shall offer the Santa Rosa Rancheria Tachi Yokut Tribe the opportunity to provide a Native American Monitor during ground disturbing activities during both construction and decommissioning. Tribal participation would be dependent upon the availability and interest of the Tribe.
3. The applicant shall request that the City Council abandon the right of way of Venture Place prior to obtaining a building permit. The request shall include a signed statement from the adjacent property owner to the north acknowledging that they will deed their portion of the abandoned right of way to the applicant. If abandonment is denied this major site plan review shall be null and void, but may be resubmitted without prejudice with Venture Place remaining as a public street.
4. The time limits and potential extensions and expiration of this major site plan review are established per Section 9-2A-9 of the City of Lemoore Zoning Ordinance.

Passed and adopted at a Regular Meeting of the Planning Commission of the City of Lemoore held on September 13, 2021, by the following votes:

**AYES:**

**NOES:**

**ABSTAINING:**

**ABSENT:**

**APPROVED:**

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**Michael Dey, Vice Chair**

**ATTEST:**

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**Kristie Baley, Commission Secretary**

RESOLUTION NO. 2020-07

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LEMOORE  
APPROVING MAJOR SITE PLAN REVIEW NO. 2020-03, A REQUEST BY WELLSONA PARTNERS  
(JOHN PETERSON) FOR MAJOR SITE PLAN REVIEW APPROVAL OF A SEED TO SALE  
CANNABIS CAMPUS THAT INCLUDES DELIVERY SERVICE, MANUFACTURING AND  
PROCESSING FACILITY, MICROBUSINESS, DISTRIBUTION HUB, CULTIVATION GREENHOUSES,  
AND FOOD TRUCK DINING AREA, LOCATED ON VENTURE PLACE, WEST OF COMMERCE WAY,  
NORTH OF ENTERPRISE DRIVE, EAST OF SR 41, AND SOUTH OF SR 198  
IN THE CITY OF LEMOORE

At a Special Meeting of the Planning Commission of the City of Lemoore (City) duly called and held on June 22, 2020, at 7:00 p.m. on said day, it was moved by Commissioner Franklin, seconded by Commissioner Meade, and carried that the following Resolution be adopted; and

**WHEREAS**, Wellsona Partners (John Peterson) has requested approval of a major site plan review to construct seed to sale cannabis campus that includes delivery service, manufacturing and processing facility, microbusiness, distribution hub, cultivation greenhouses, and food truck dining area; and

**WHEREAS**, the site is located on Venture Place, west of Commerce Way, north of Enterprise Drive, east of SR 41, and south of SR 198 in the city of Lemoore (APNs 024-400-002 through 024-400-009); and

**WHEREAS**, the proposed site is approximately 7.63 acres in size, and is zoned Light Industrial (ML); and

**WHEREAS**, an Initial Study was prepared in conformance with the California Environmental Quality Act (CEQA) Guidelines, and it was found that the proposed project could not have a significant effect on the environment, with mitigations; and

**WHEREAS**, a Mitigated Negative Declaration titled Venture Place Cannabis Campus and Food Court, also known as Base Camp, has been prepared for this project and was published for 30 days beginning on May 22, 2020; and

**WHEREAS**, after consultation with the Native American Heritage Commission and the Santa Rosa Rancheria Tachi Yokut Tribe, there is an expressed concern that there may be tribal resources on the site; and

**WHEREAS**, the City Planning Commission held a duly noticed public hearing at its June 22, 2020, meeting.

**NOW THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Lemoore hereby makes the following findings regarding the proposed projects:

1. The proposed project is consistent with the objectives of the general plan and complies with applicable zoning regulations, specific plan provisions, and improvement standards adopted by the City. The proposed use is allowed in the Light Industrial zone and the site plan meets the City's improvement standards.

2. The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community. The use is compatible with other existing businesses near the site.
3. The architecture, character, and scale of the building and the site are compatible with the character of buildings on adjoining and nearby properties.
4. The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation. The western portion of Venture Place is planned for abandonment back to the adjacent property owner.
5. Previous activities have disturbed the immediate ground surface in the site; however, intact historical or tribal resources may be discovered below the layer in land during ground-disturbing activities. Because of the expressed concern for possible tribal resources at the site, conditions must be applied to protect such resources from possible destruction.
6. Based on the Initial Study which was prepared in conformance with the California Environmental Quality Act (CEQA) Guidelines, the proposed project will not have a significant effect on the environment, with mitigations.

**BE IT FURTHER RESOLVED** that the Planning Commission of the City of Lemoore adopts the mitigated negative declaration and approves Major Site Plan Review No. 2020-03 with the following conditions:


1. The site shall be developed in conformance with the approved site plan, the Major Site Plan Review No. 2020-03 comments, the mitigation measures listed in the Mitigated Negative Declaration, the Lemoore Municipal Code, and applicable City standards.
2. Prior to any ground disturbance, an archaeological survey must be completed. If resources are found, the Tribal Cultural Staff shall monitor the site during grading activities. The Tribal Cultural Staff shall provide pre-construction briefings to supervisory personnel and any excavation contractor, which will include information on potential cultural material finds and on the procedures to be enacted if resources are found. Prior to any ground disturbance, the applicant shall offer the Santa Rosa Rancheria Tachi Yokut Tribe the opportunity to provide a Native American Monitor during ground disturbing activities during both construction and decommissioning. Tribal participation would be dependent upon the availability and interest of the Tribe.
3. The applicant shall request that the City Council abandon the right of way of the western portion of Venture Place prior to obtaining a building permit. If abandonment is denied this major site plan review shall be null and void, but may be resubmitted without prejudice with Venture Place remaining as a public street.
4. The time limits and potential extensions and expiration of this Major Site Plan Review are established per Section 9-2A-9 of the City of Lemoore Zoning Ordinance.

Passed and adopted at a Special Meeting of the Planning Commission of the City of Lemoore held on June 22, 2020, by the following votes:


**AYES:** Franklin, Meade, Clement, Dey, Etchegoin

NOES:  
ABSTAINING:  
ABSENT: Koelewyn

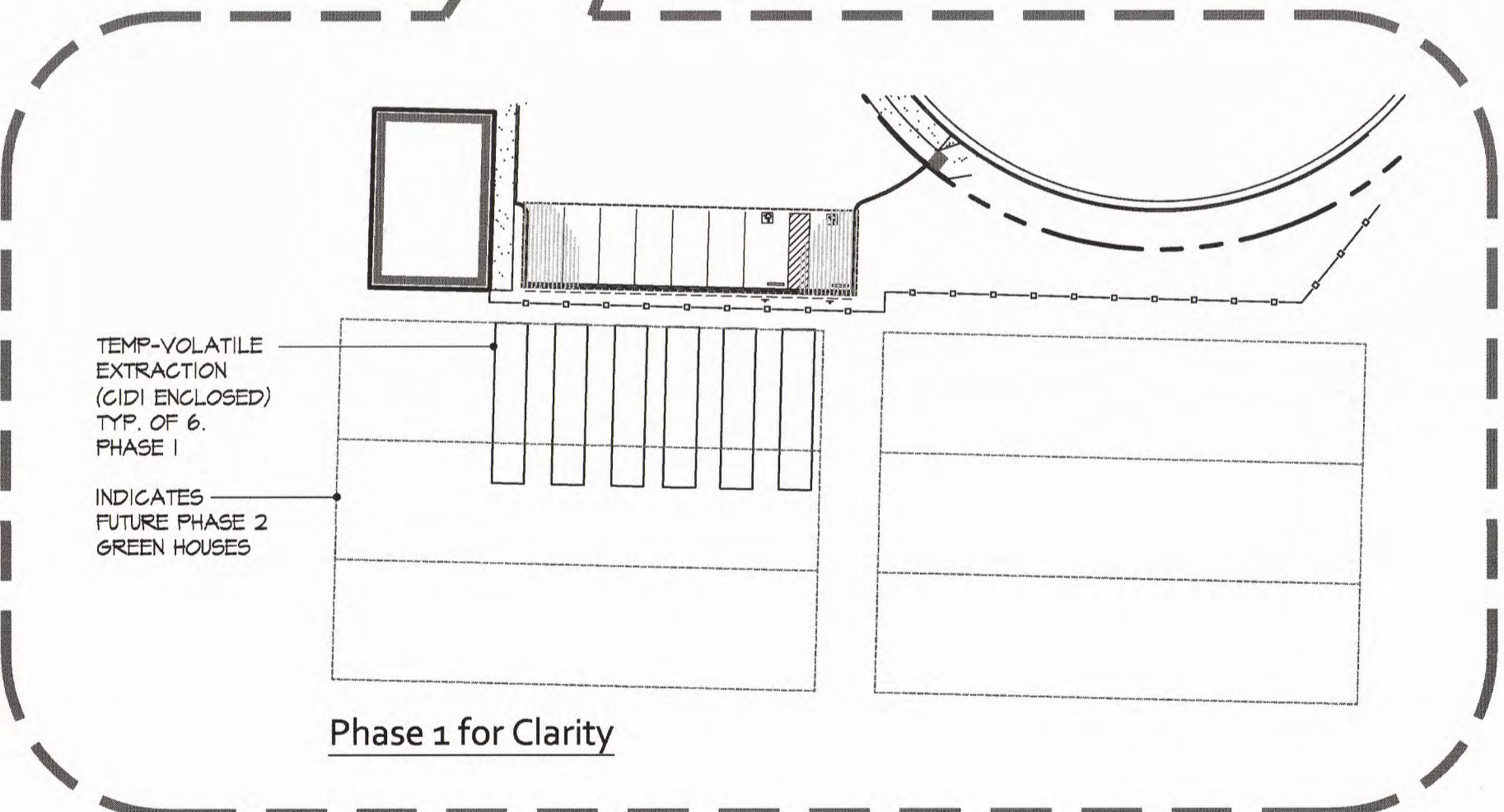
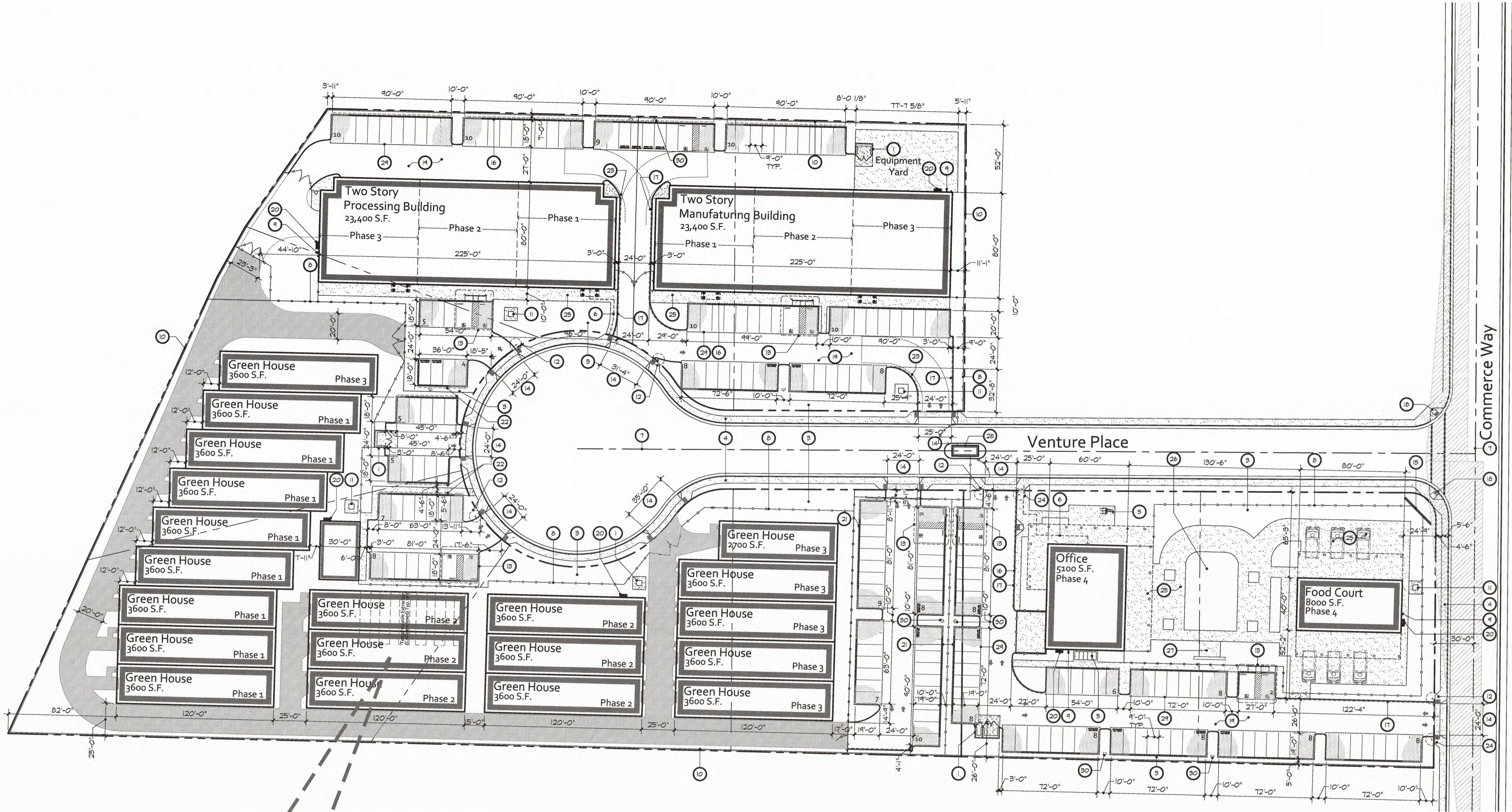
APPROVED:

  
\_\_\_\_\_  
Ray Etchegoin, Chairperson

ATTEST:

  
\_\_\_\_\_  
Kristie Baley, Planning Commission Secretary

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NOTE:  
ALL CARPORTS TO HAVE SOLAR PANELS AND ARE A PART OF PHASE 4.



Keyed Site Plan Notes

- 1 NEW CMU TRASH / RECYCLING ENCLOSURE. INSTALL PER CITY STANDARDS.
- 2 EXISTING PROPERTY LINE.
- 3 NEW LANDSCAPE AREA.
- 4 NEW CONCRETE FLATWORK. CONSTRUCT SIDEWALK PER PN STD. SIDE WALK TO HAVE 5% MAX. SLOPE IN DIRECTION OF TRAVEL AND 2% MAX. CROSS SLOPE.
- 5 NEW BICYCLE RACK. PROVIDE "MADRAX" HEAVY DUTY RACKER (POWDER COATED) W/ 5 SPACES AND 3 SPACE "MADRAX" MADLOCKER. REFER TO DETAIL 11(A-C) FOR ADDITIONAL INFORMATION. PROVIDE ARCHITECT WITH SHOP DRAWINGS AND COLOR SAMPLE FOR APPROVAL.
- 6 ACCESSIBLE PATH OF TRAVEL FROM A PUBLIC WAY. WALKS TO HAVE A MAXIMUM OF 5% SLOPE AND 2% CROSS SLOPE. LANDINGS AT RAMP TO BE 2% MAXIMUM FOR 48" MINIMUM BEYOND EDGE OF RAMP. 6'-0" AT OUTDOOR SEATING.
- 7 CENTERLINE OF STREET.
- 8 NEW 6'-0" HIGH WROUGHT IRON FENCE.
- 9 NEW GAS METER LOCATION.
- 10 NEW 6'-0" HIGH CMU WALL.
- 11 NEW PG&E PAD AND MOUNTED TRANSFORMER.
- 12 LOCATION OF NEW TOW-AWAY SIGNAGE.
- 13 LOCATION OF NEW ACCESSIBLE PARKING STALLS.
- 14 NEW DRIVE APPROACH. INSTALL PER PN STD.
- 15 NEW MONUMENT SIGN.
- 16 LOCATION OF NEW 6" HIGH CONCRETE CURB.
- 17 DASHED LINE INDICATES LOCATION OF FIRE LANES. CURBS ADJACENT TO OPEN DRIVES OVER 20'-0" 12% CROSS SLOPE - LANDINGS AT RAMP TO BE 2% MAXIMUM FOR 48" MINIMUM BEYOND EDGE OF RAMP. 6'-0" AT OUTDOOR SEATING.
- 18 NEW CURB CUT RAMP TO MEET CURRENT PUBLIC WORKS STANDARDS, AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY. "DETECTABLE WARNING DEVICES" ARE REQUIRED.
- 19 NEW A.C. PAVING. INSTALL PER PUBLIC WORKS STANDARD.
- 20 NEW ELECTRICAL SWITCHGEAR.
- 21 NOT USED.
- 22 NOT USED.
- 23 28'-0" INSIDE RADIUS FOR FIRE DEPARTMENT VEHICLES.
- 24 INSTALL 30" STATE STANDARD "STOP" SIGN(S) AT LOCATION(S) SHOWN. SIGN SHALL BE MOUNTED ON A 2" GALVANIZED POST WITH THE BOTTOM OF THE SIGN 1" ABOVE GROUND. LOCATED BEHIND CURB AND IMMEDIATELY BEHIND MAJOR STREET SIDEWALK.
- 25 NEW CONCRETE FLATWORK. SIDE WALK TO HAVE 5% MAX. SLOPE IN DIRECTION OF TRAVEL AND 2% MAX. CROSS SLOPE.
- 26 INDICATES LOCATION OF LANDSCAPED AMPHITHEATER AREA. REFER TO LANDSCAPING DRAWINGS FOR ADDITIONAL INFORMATION.
- 27 INDICATES LOCATION OF TEMPORARY STAGE.
- 28 INDICATES LOCATION OF GUARD SHACK.
- 29 INDICATES LOCATION OF CARPORTS WITH SOLAR PANELS.
- 30 INDICATES LOCATION OF FUTURE EV CHARGING STATIONS.

Overall Site Data

PROJECT DATA	
SITE ADDRESS:	VENTURE PLACE WEST OF COMMERCE WAY LEMORE, CALIFORNIA
NO.:	024-400-002, 003, 004, 005, 006, 007, 008, AND 009
ZONING:	ML (LIGHT INDUSTRIAL)
CONSTRUCTION TYPE:	
PROCESSING BUILDING:	V-B (SPRINKLERED)
MANUFACTURING BUILDING:	V-B (SPRINKLERED)
OFFICE:	V-B (SPRINKLERED)
FOOD COURT:	V-B (SPRINKLERED)
GREEN HOUSES:	V-B (NON-SPRINKLERED)
OCCUPANCY TYPE:	
PROCESSING BUILDING:	F-1
MANUFACTURING BUILDING:	F-1
OFFICE:	B
FOOD COURT:	B
GREEN HOUSES:	U

PARCEL DESCRIPTION:	
GROSS LAND AREA:	84 ACRES - (30,551 SF)
024-400-002:	1.24 ACRES - (54,311 SF)
024-400-003:	1.08 ACRES - (44,619 SF)
024-400-004:	1.17 ACRES - (50,914 SF)
024-400-005:	0.80 ACRES - (34,425 SF)
024-400-006:	0.81 ACRES - (35,181 SF)
024-400-007:	0.84 ACRES - (36,743 SF)
024-400-008:	0.86 ACRES - (37,910 SF)
024-400-009:	1.68 ACRES - (332,555 SF)
TOTAL:	16.8 ACRES - (332,555 SF)
BUILDING AREA:	
PROCESSING BUILDING:	23,400 S.F.
MANUFACTURING BUILDING:	23,400 S.F.
OFFICE:	5,100 S.F.
FOOD COURT:	8,000 S.F.
GREEN HOUSES (TOTAL OF 20):	71,000 S.F.
TOTAL:	131,000 S.F.
FAR:	.355

TOTAL STANDARD STALLS PROVIDED:	164 STALLS
LOW EMISSIONS/FUEL-EFFICIENT/CAR POOL/ VANPOOL STALLS:	16 STALLS
(PER 2014 C.S.B.S.G. 5.106.5.2 & TABLE 5.106.5.2)	
ELECTRIC VEHICLE CHARGING SPACES REQUIRED:	19 STALLS
(PER 2014 C.S.B.S.G. TABLE 5.106.5.3.3)	
TOTAL ACCESSIBLE STALLS PROVIDED:	14 STALLS
(PER 2014 C.B.G. TABLE 11B-208.2)	
(3 VAN STALL PER 2014 C.B.G. 11B-208.2.4)	
TOTAL STALLS PROVIDED:	207 STALLS
BICYCLE STALLS REQUIRED FOR OFFICE, FOOD COURT, AND EVENT AREA -	
48 PARKING STALLS X 5% =	4,100 STALLS
SHORT TERM BICYCLE STALLS PROVIDED:	5 STALLS
LONG TERM BICYCLE STALLS PROVIDED:	5 STALLS

City Use Only

**APPROVED**  
BY PLANNING COMMISSION  
During Special Meeting  
Monday, June 22, 2020  
RESOLUTION # 2020-07  
With the Corrections and/or  
Modifications Identified in  
the Site Plan Review Comments  
(Checklists) and the Conditions  
Listed in the Resolution (as amended)  
KB



APR 20 2020  
KB  
MSPL 2020-03  
1st Submittal  
Architect

Project  
New Agriculture Processing Facility  
Ventura Place (West of Commerce Way)  
Lemore CA

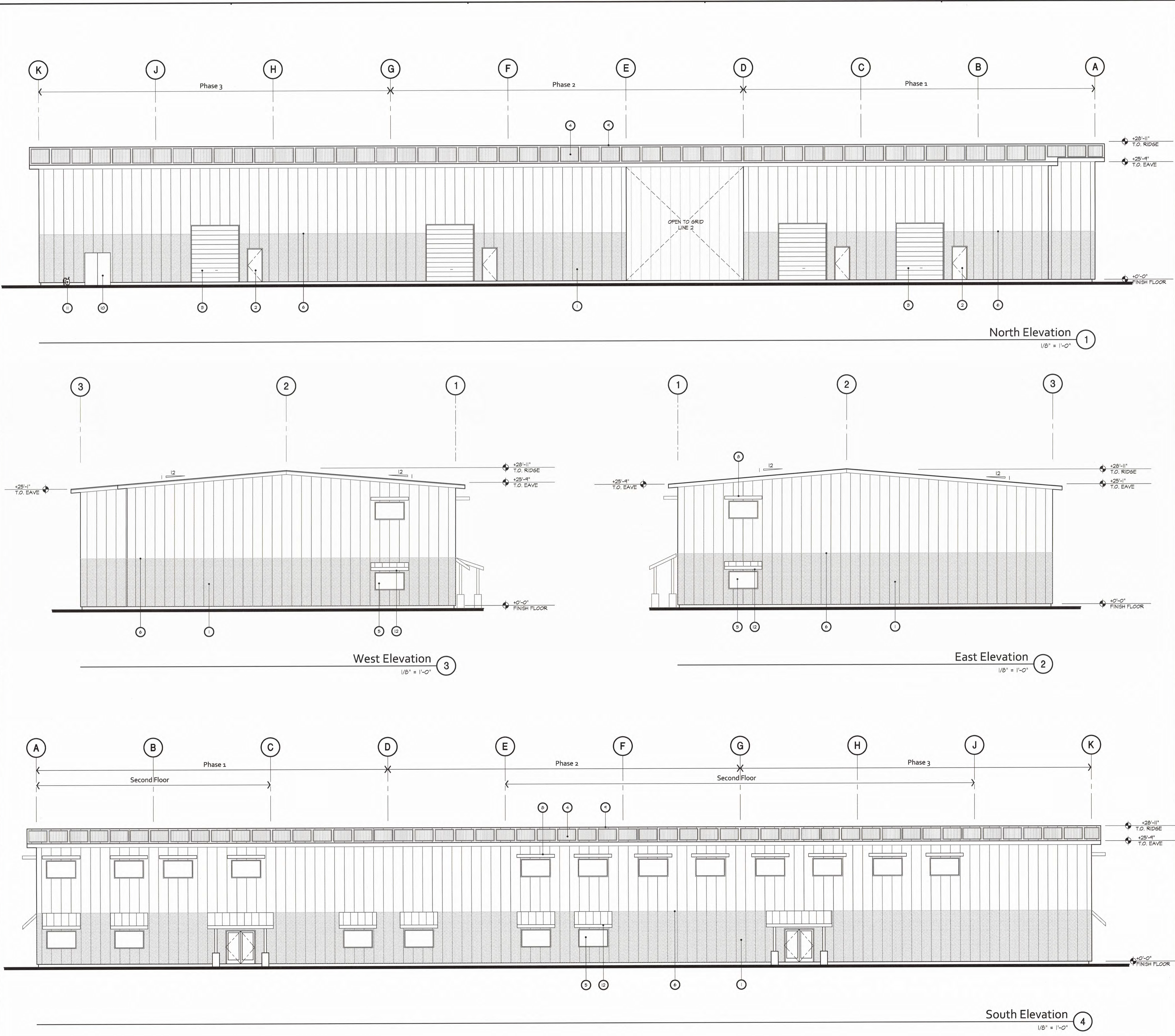
Owner  
Base Camp Cannabis Company, LLC  
470 E. Herndon, Suite 200  
Fresno CA 93720

Publishing Status	
Schematic	
Design Development	
Site Plan Review	
Bidding	
Plan Check	

Revisions	
1	
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Scale	*****
Project Manager	IAN ROBERTSON
Project Number	20-014
Sheet	

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### Exterior Elevation Keyed Notes

- 1. FACTORY FINISHED METAL WALL PANEL. REFER TO FINISH SCHEDULE FOR COLOR.
- 2. PAINTED HOLLOW METAL DOOR. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- 3. PAINTED ROLL-UP DOOR. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- 4. SOLAR PANELS. REFER TO SOLAR DRAWINGS FOR ADDITIONAL INFORMATION.
- 5. STOREFRONT GLAZING SYSTEM. REFER TO FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
- 6. INDICATES COLOR BREAK. REFER TO FINISH SCHEDULE.
- 7. NOT USED.
- 8. INDICATES METAL AWNING.
- 9. FACTORY FINISHED METAL ROOF PANEL. REFER TO FINISH SCHEDULE FOR COLOR.
- 10. INDICATES LOCATION OF ELECTRICAL SWITCH GEAR. REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- 11. INDICATES LOCATION OF GAS METER. REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- 12. INDICATES METAL SHED AWNING.

**APPROVED**  
BY PLANNING COMMISSION  
During Special Meeting  
June 22, 2020

RESOLUTION # 2020-07  
with the corrections and/or  
modifications identified in the  
Site Plan Review Comments (checklists)  
and the conditions listed in the  
Resolution (as amended) *RB*

City Use Only	
Publishing Status	
Schematic	
Design Developm't.	
Site Plan Review	
Bidding	
Plan Check	
Revisions	

City Use Only	
Scale	1/8" = 1'-0"
Project Manager	IAN ROBERTSON
Project Number	20-014
Sheet	A-3.0

**it** ARCHITECTURE

1405 North Van Ness Avenue  
Fresno, California 93728  
559-442-4842 voice  
559-485-9081 fax

**APPROVED**  
APR 20 2020  
MSPR 2020-03  
1st Submission

Architect

Project

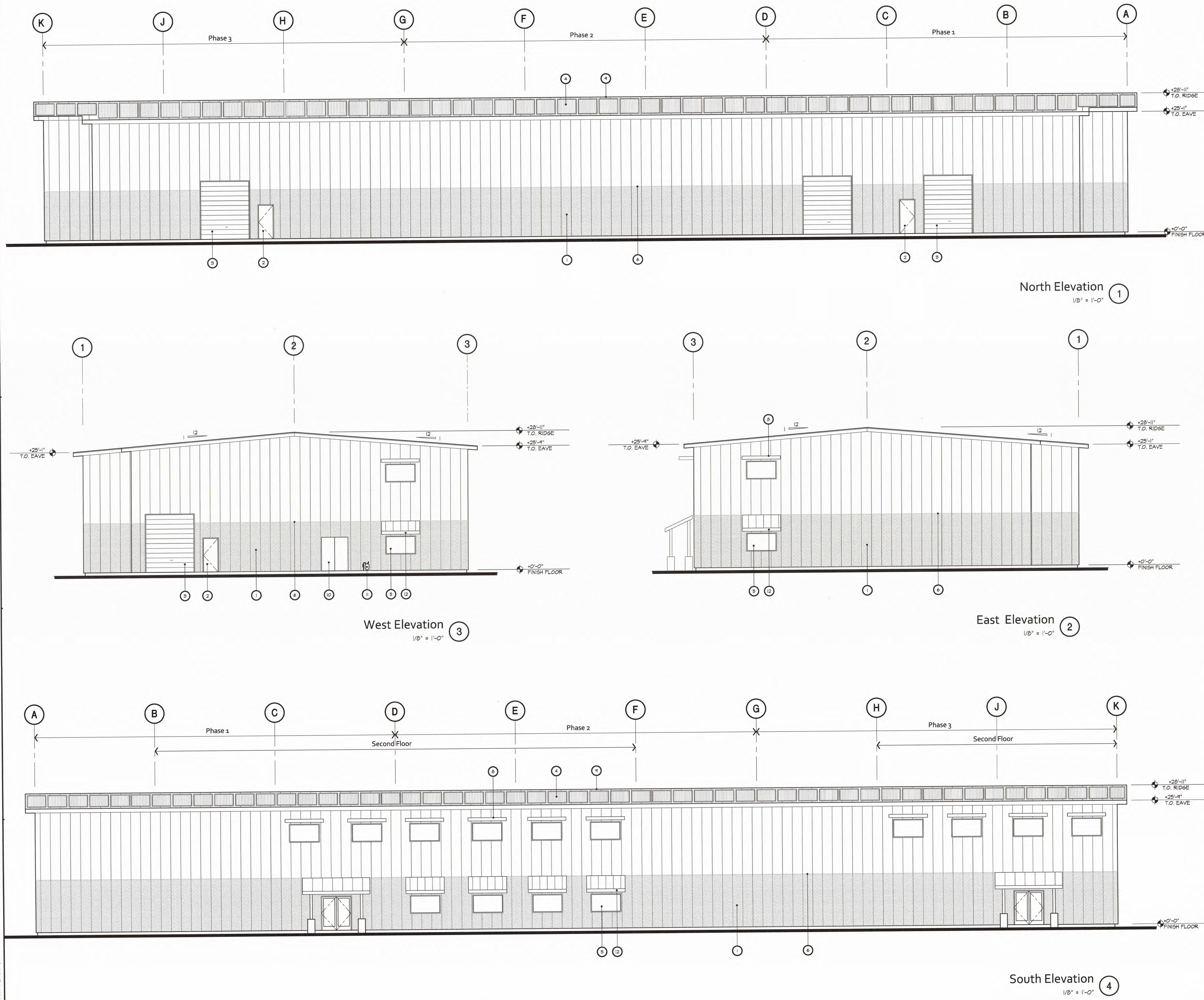
New Agriculture Processing Facility  
Ventura Place (West of Commerce Way)  
Lemore CA

Owner

Base Camp Cannabis Company, LLC  
470 E. Herndon, Suite 200  
Fresno CA 93720

Manufactory Building - Exterior Elevations

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Exterior Elevation Keyed Notes

- 1. FACTORY FINISHED METAL WALL PANEL. REFER TO FINISH SCHEDULE FOR COLOR.
- 2. PAINTED HOLLOW METAL DOOR. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- 3. PAINTED ROLL-UP DOOR. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- 4. SOLAR PANELS. REFER TO SOLAR DRAWINGS FOR ADDITIONAL INFORMATION.
- 5. STOREFRONT GLAZING SYSTEM. REFER TO FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
- 6. INDICATES COLOR BREAK. REFER TO FINISH SCHEDULE.
- 7. INDICATES PRE-FAB CUPOLA.
- 8. INDICATES METAL AWNING.
- 9. FACTORY FINISHED METAL ROOF PANEL. REFER TO FINISH SCHEDULE FOR COLOR.
- 10. INDICATES LOCATION OF ELECTRICAL SWITCH GEAR. REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- 11. INDICATES LOCATION OF GAS METER. REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- 12. INDICATES METAL SHED AWNING.

3465 North Van Ness Avenue  
Fresno, California 93728  
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RECEIVED  
APR 20 2020  
mspr 2020-03  
1st Submittal  
Architect

Project  
New Agriculture Processing Facility  
Ventura Place (West of Commerce Way)  
Lemore CA

Owner  
Base Camp Cannabis Company, LLC  
470 E. Herndon, Suite 200  
Fresno CA 93720

Publishing Status	
Schematic	
Design Developm't.	
Site Plan Review	
Bidding	
Plan Check	
Revisions	

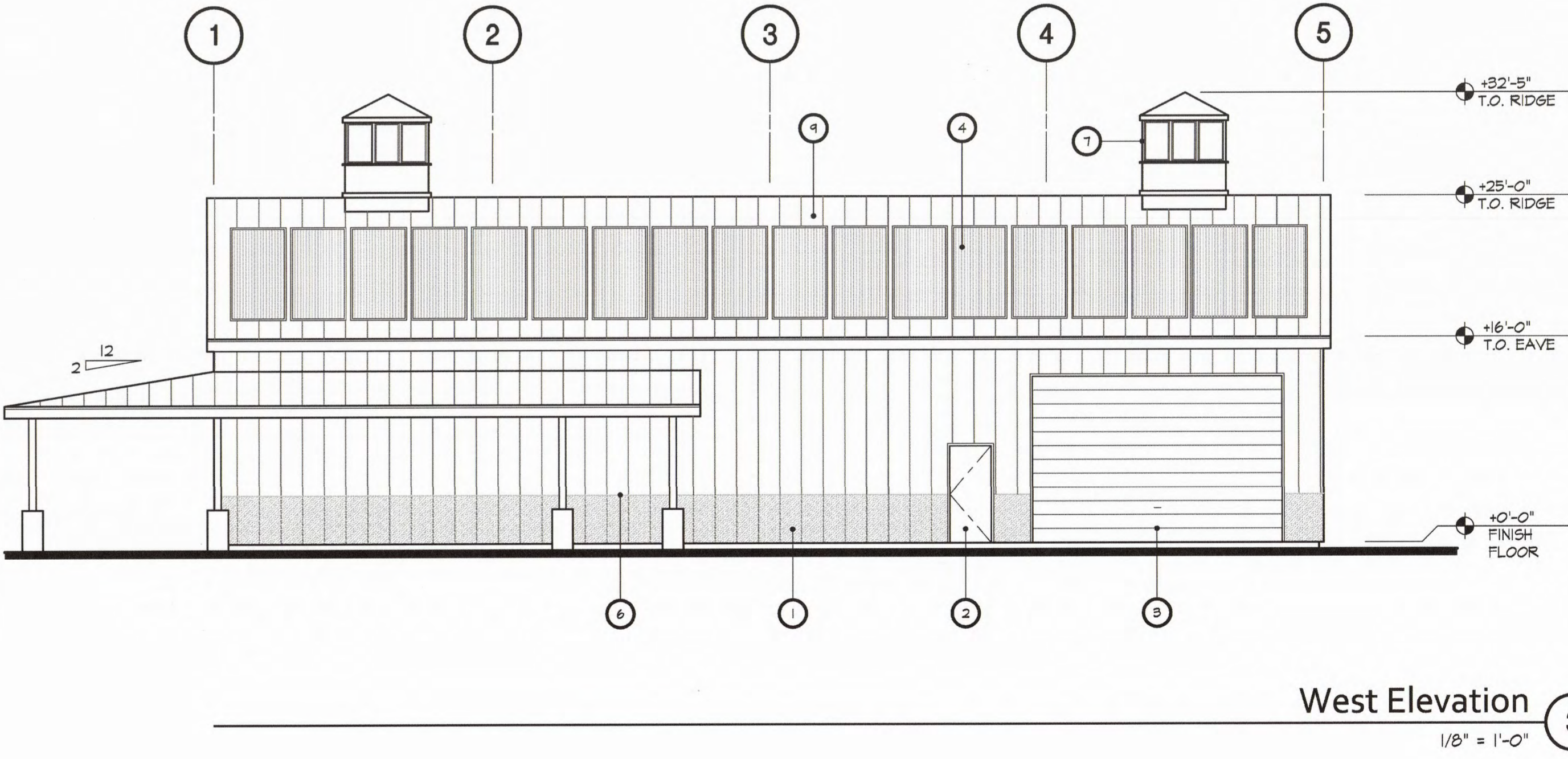
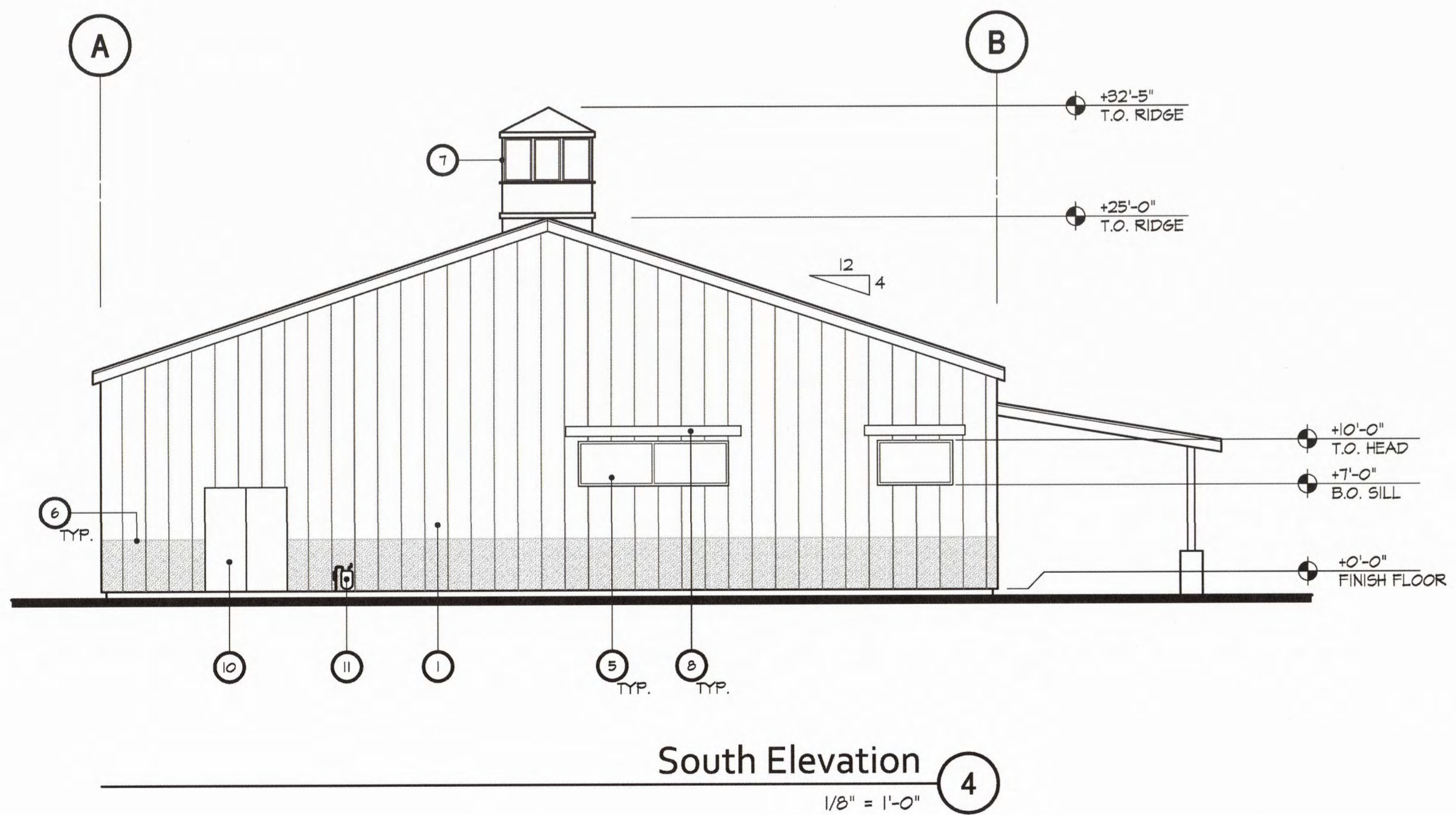
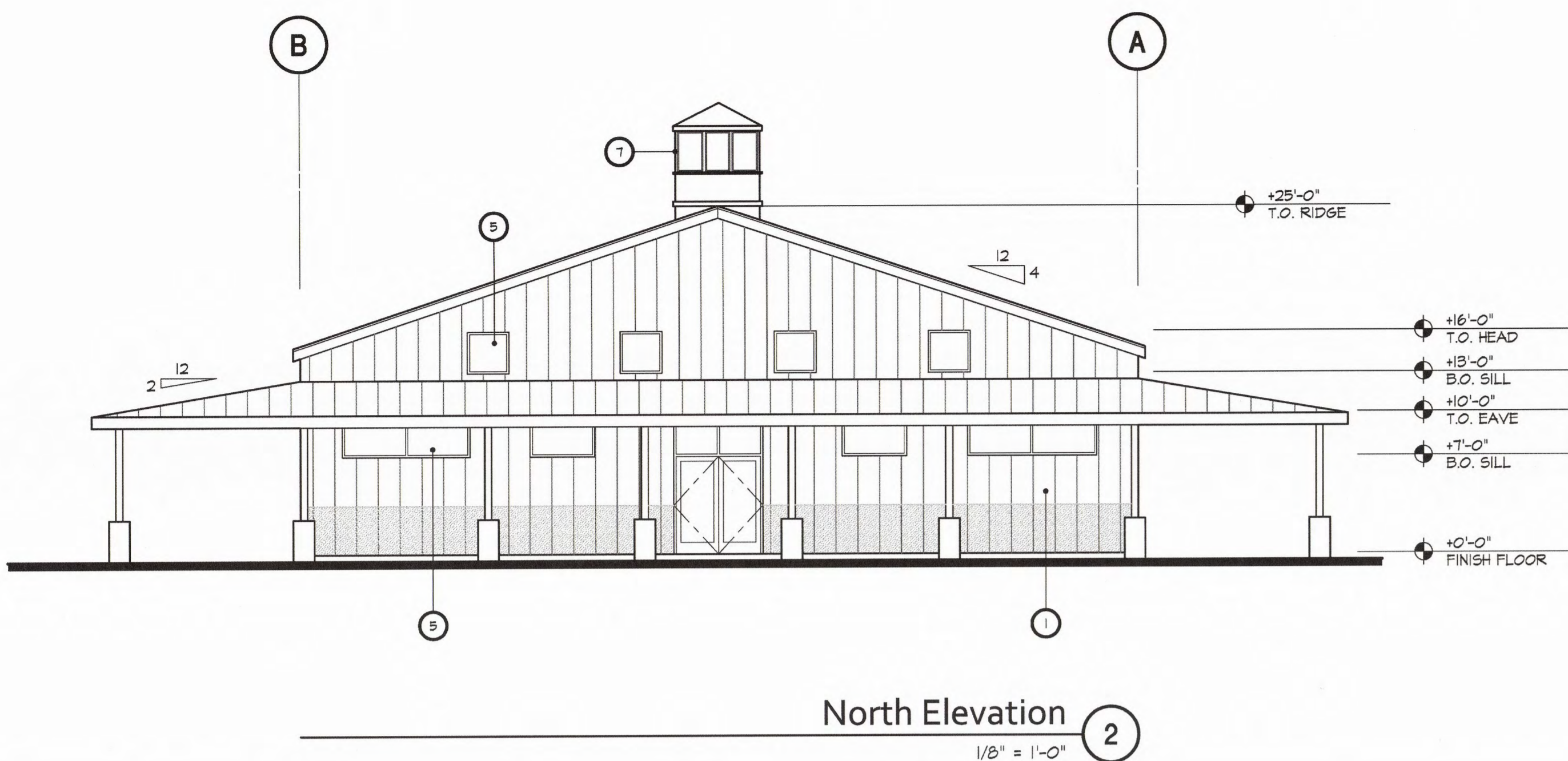
Scale  
1/8" = 1'-0"

Project Manager  
IAN ROBERTSON

Project Number  
20-019

Sheet  
A-3.1

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Exterior Elevation Keyed Notes		City Use Only
<div><div>1</div><div>FACTORY FINISHED METAL WALL PANEL. REFER TO FINISH SCHEDULE FOR COLOR.</div></div> <div><div>2</div><div>PAINTED HOLLOW METAL DOOR. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.</div></div> <div><div>3</div><div>PAINTED ROLL-UP DOOR. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.</div></div> <div><div>4</div><div>SOLAR PANELS. REFER TO SOLAR DRAWINGS FOR ADDITIONAL INFORMATION.</div></div> <div><div>5</div><div>STOREFRONT GLAZING SYSTEM. REFER TO FINISH SCHEDULE FOR ADDITIONAL INFORMATION.</div></div> <div><div>6</div><div>INDICATES COLOR BREAK. REFER TO FINISH SCHEDULE.</div></div> <div><div>7</div><div>INDICATES PRE-FAB GUPOLA.</div></div> <div><div>8</div><div>INDICATES METAL ANVING.</div></div> <div><div>9</div><div>FACTORY FINISHED METAL ROOF PANEL. REFER TO FINISH SCHEDULE FOR COLOR.</div></div>		<div><div>APPROVED</div><div>BY PLANNING COMMISSION</div><div>during Special Meeting</div><div>JUN 22 2020</div></div> <div><div>RESOLUTION # 2020 - 07</div><div>With these Corrections and/or</div><div>Modifications Identified in</div><div>the Site Plan Review Comments</div><div>(Checklist) and the Conditions</div><div>Listed in the Resolution (as amended).</div><div>For</div></div>

Dispensary - Exterior Elevations

it

ARCHITECTURE

1465 North Van Ness Avenue  
Fresno, California 93728  
559.442.4612 VOICE  
559.485.9081 FAX

APPROVED

APR 20 2020

BY: KB

MSR 2020-03

1st Submittal

Architect

Project

New Agriculture Processing Facility  
Ventura Place (West of Commerce Way)  
Lemore CA

Owner

Base Camp Cannabis Company, LLC  
470 E. Herndon, Suite 200  
Fresno CA 93720

Publishing Status

☐

Schematic

☐

Design Developm't.

☐

Site Plan Review

☐

Bidding

☐

Plan Check

Revisions

1

2

3

4

5

6

7

8

9

Scale

1/8" = 1'-0"

Project Manager

IAN ROBERTSON

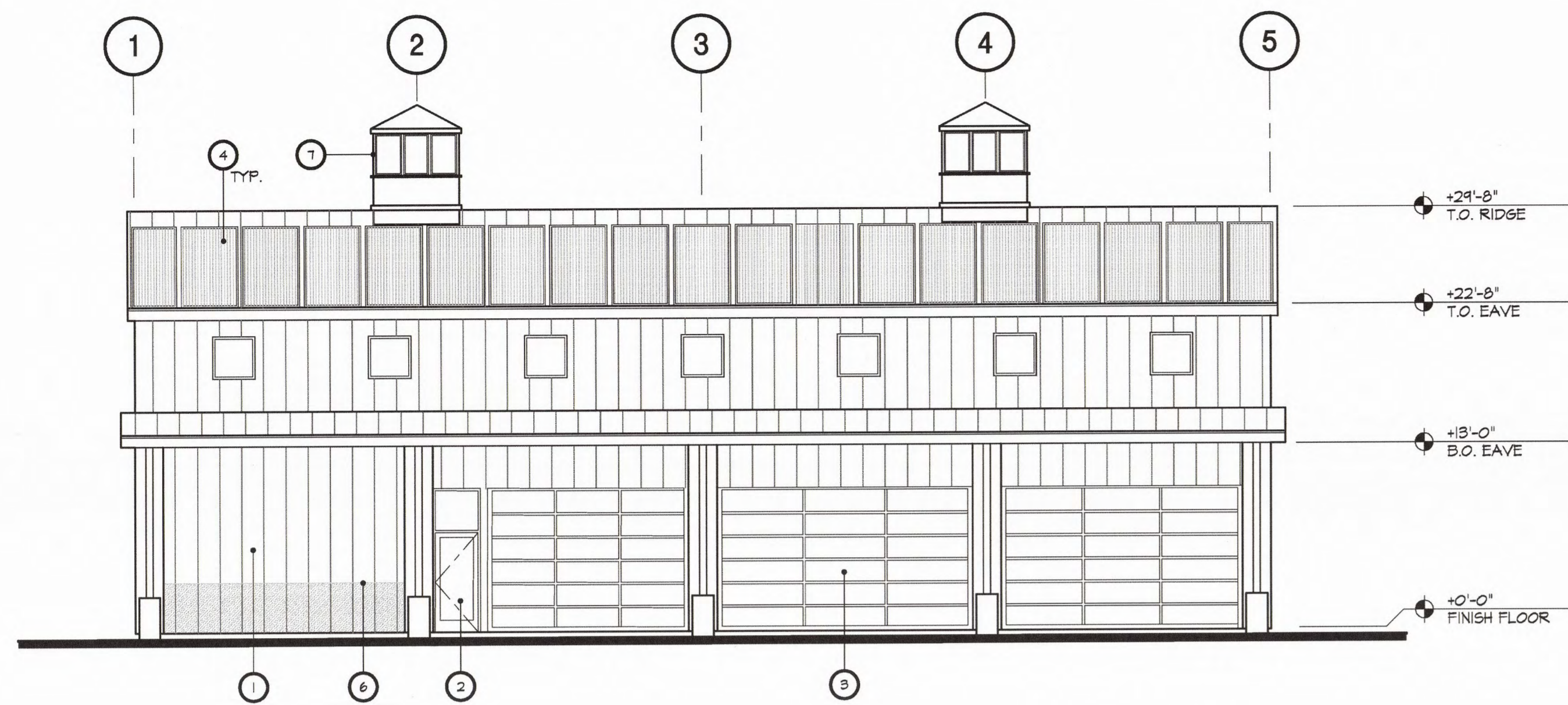
Project Number

20-019

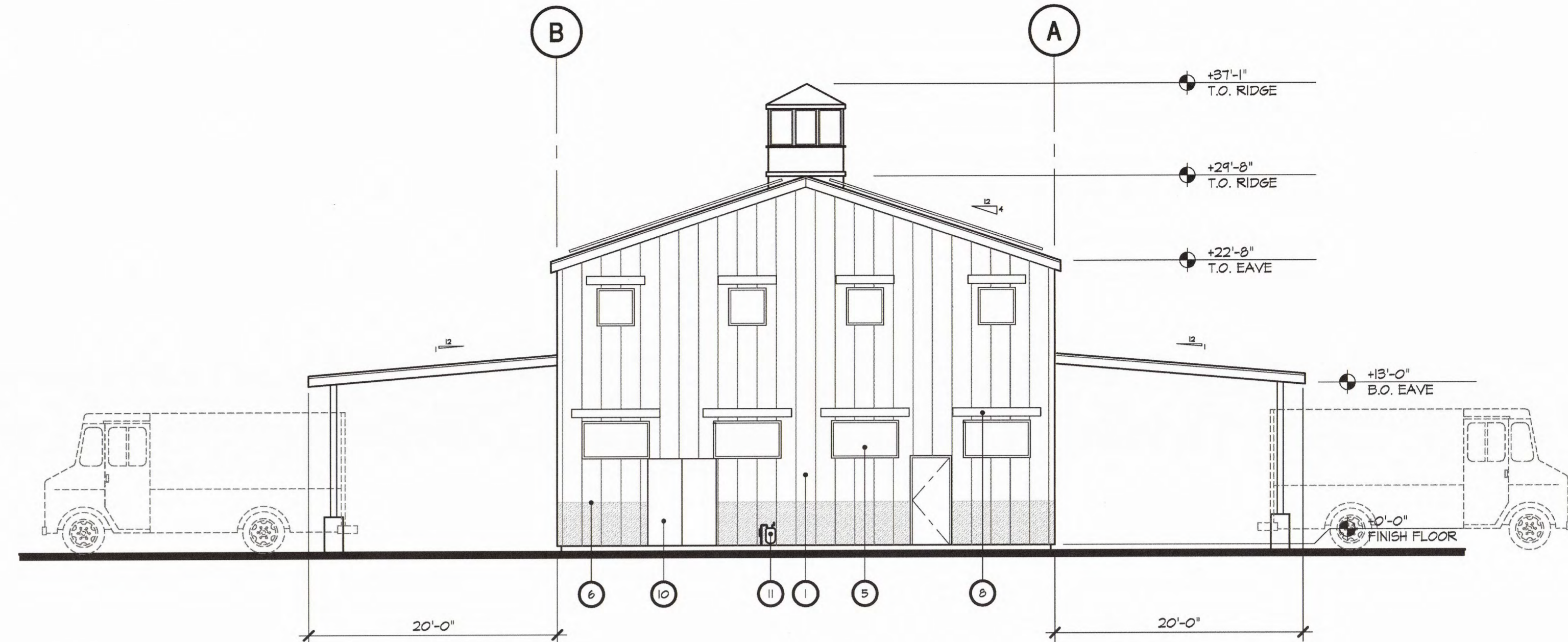
Sheet

A-3.0

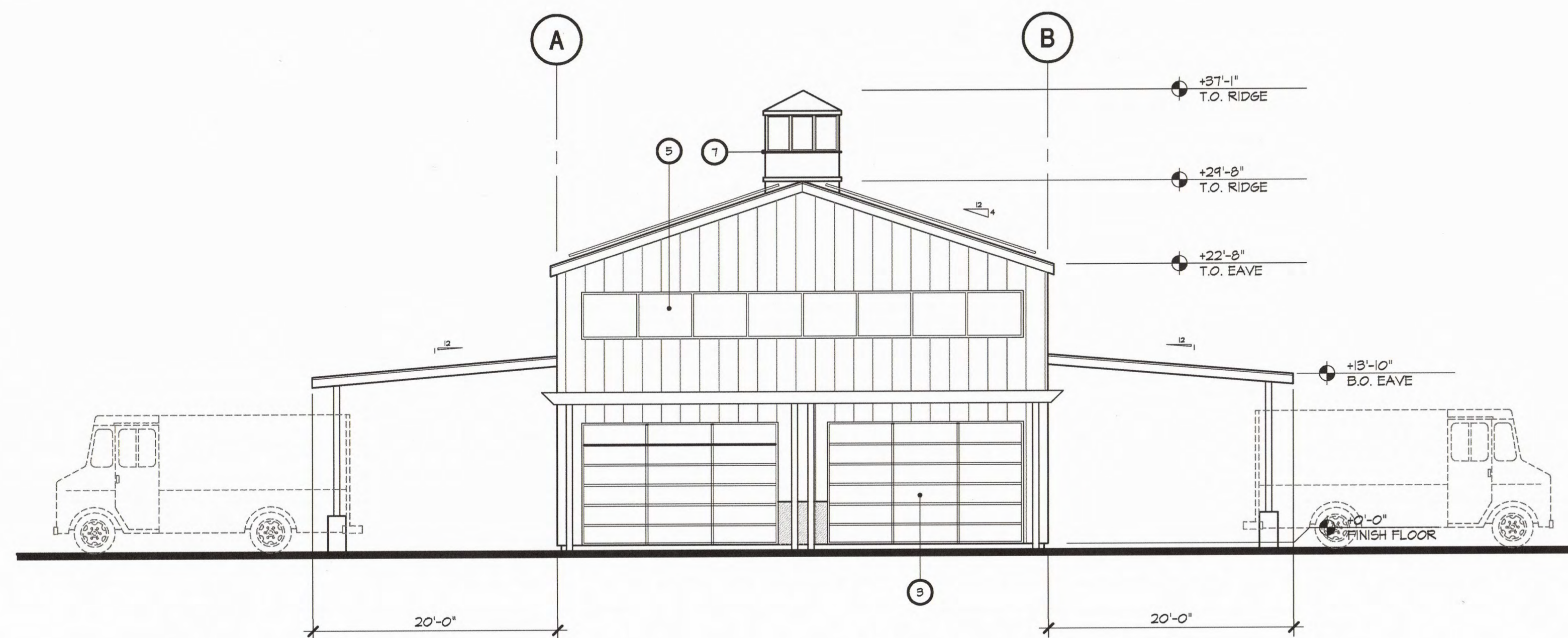
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF IT ARCHITECTURE, INC. INCORPORATED OR CONSULTANTS, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF IT ARCHITECTURE, INC. INCORPORATED OR CONSULTANTS. REPRODUCTION OR USE THEREOF IS PERMISSIBLE WITHOUT THE CONSENT OF IT ARCHITECTURE, INC. INCORPORATED OR CONSULTANTS.



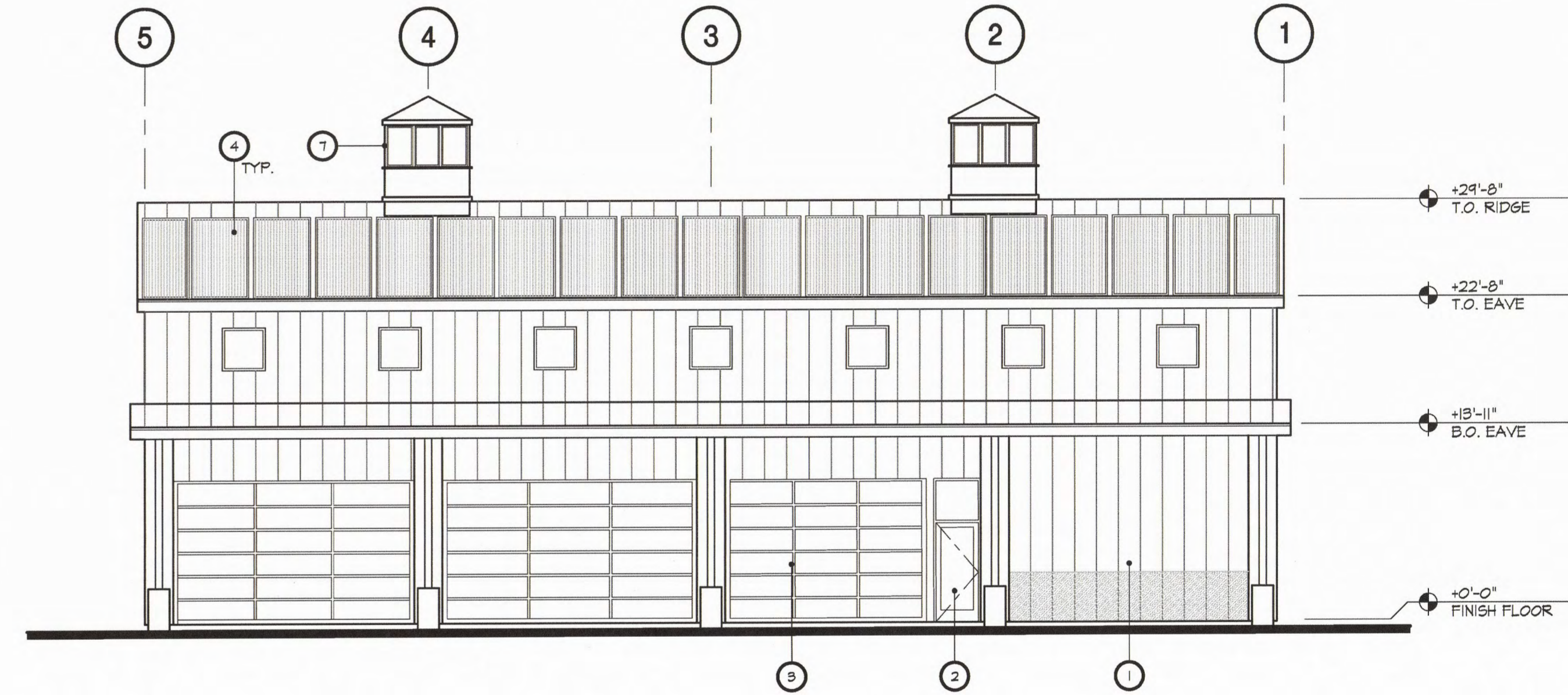
North Elevation 2  
1/8" = 1'-0"



East Elevation 1  
1/8" = 1'-0"



West Elevation 4  
1/8" = 1'-0"



South Elevation 3  
1/8" = 1'-0"

### Exterior Elevation Keyed Notes

- ① FACTORY FINISHED METAL WALL PANEL. REFER TO FINISH SCHEDULE FOR COLOR.
- ② STOREFRONT DOOR. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- ③ INDICATES GLASS ROLL UP DOORS.
- ④ SOLAR PANELS. REFER TO SOLAR DRAWINGS FOR ADDITIONAL INFORMATION.
- ⑤ STOREFRONT GLAZING SYSTEM. REFER TO FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
- ⑥ INDICATES COLOR BREAK. REFER TO FINISH SCHEDULE.
- ⑦ INDICATES PRE-FAB CUPOLA.
- ⑧ INDICATES METAL AWNING.
- ⑨ FACTORY FINISHED METAL ROOF PANEL. REFER TO FINISH SCHEDULE FOR COLOR.
- ⑩

### City Use Only

**APPROVED**  
BY PLANNING COMMISSION  
during Special Meeting  
JUN 22 2020

**RESOLUTION # 2020-07**  
With the Corrections and/or  
Modifications Identified in  
the Site Plan Review Comments  
(checklists) and the Conditions  
listed in the Resolution (as amended)

## Food Court - Exterior Elevations

**it**ARCHITECTURE

1465 North Van Ness Avenue  
Fresno, California 93728  
559.442.4612 voice  
559.485.9082 fax

PROJECTIVE  
APR 20 2020  
BY: KS  
MSPR 2020-03  
1st submittal  
Architect

Project  
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Scale	1/8" = 1'-0"
Project Manager	IAN ROBERTSON
Project Number	20-019
Sheet	A-1.3

City of Lemoore  
Fire Department  
Site Plan Review Comments

DATE: April 21, 2020  
SITE PLAN NO: Major Site Plan Review No. 2020-03  
PROJECT TITLE: Wellsona Cannabis Campus  
DESCRIPTION: Commercial Development (Seed to Sale and Dining)  
APPLICANT: Wellsona Partners c/o John Peterson, Peterson Assoc.  
PROPERTY OWNER: Tom Vorhees  
LOCATION: SE of SR 198 and Hwy 41 (Venture Place)  
APN(S): 024-400-002 to 024-400-009

MAY 01 2020

The following comments are applicable when checked:

- ☐ Refer to previous comments dated \_\_\_\_\_.
- ☐ More information is needed before a Site Plan Review can be conducted. Please submit plans with more detail.
- ☐ No fire protection items required for parcel map or lot line adjustment; however, any future projects will be subject to fire protection requirements.
- ☐ Address numbers must be placed on the exterior of the building in such a position as to be clearly and plainly visible from the street. Numbers will be at least 6 inches high and shall be of a color to contrast with their background. If multiple addresses served by a common driveway, the range of numbers shall be posted at the roadway / driveway.
- ☐ No additional fire hydrants are required for this project; however, additional fire hydrants may be required for any future development.
- ☒ There is / are 1 hydrant every 300ft surrounding property fire hydrants required for this project (see marked plans for fire hydrant locations).
- ☒ The turning radius for emergency fire apparatus is 20 feet inside radius and 43 feet outside radius. Ensure that the turns identified to you during site plan comply with these requirements. An option is a hammer-head constructed to City of Lemoore standards.
- ☒ An access road is required and shall be a minimum of 20 feet wide. The road shall be an all-weather driving surface accessible prior to and during construction.
- ☐ Buildings or portions of buildings or facilities exceeding 30 feet in height above the lowest level of fire department vehicle access shall be provided with an approved fire apparatus access roads capable of accommodating fire department aerial apparatus. Access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders. Access routes shall be located within a minimum of 15 feet and maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building.
- ☐ A fire lane is required for this project. The location will be given to you during the site plan meeting.
- ☒ A Knox Box key lock system is required. Applications are available at the City of Lemoore Fire Department Administrative Office. NOTE: Knox boxes shall be ordered using an approved application from Lemoore Fire Department Administrative Office, 711 W. Cinnamon Drive. Please allow adequate time for shipping and installation.
- ☒ The security gates, if to be locked, shall be locked with a typical chain and lock that can be cut with a common bolt cutter, or the developer may opt to provide a Knox Box key lock system. Applications are available at the Lemoore Fire Department Administrative Office.
- ☐ That portion of the building that is built upon a property line shall be constructed as to comply with Section 503.4 and Table 5-A of the California Building Code.
- ☐ Commercial dumpsters with 1.5 cubic yards or more shall not be stored or placed within 5 feet of combustible walls, openings, or a combustible roof eave line except when protected by a fire sprinkler system.
- ☐ If you handle hazardous material in amounts that exceed the exempt amounts listed on Table 3-D of the California Building Code, you are required to submit an emergency response plan to the Kings County Health Department. Prior to the building final inspection, we will require a copy of the plan and any Material Safety Data Sheets.

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Fire Department  
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- ☒ An automatic fire sprinkler system is required for this building. A fire hydrant is required within 50 feet of the fire department connection. The fire hydrant, fire department connection and the PIV valve should be located together and minimum 25 feet from the building, if possible. The caps on the FDC shall be Knox locking caps.
- ☒ All hardware on exit doors shall comply with Chapter 10 of the California Fire Code. This includes all locks, latches, bolt locks, and panic and exit hardware.
- ☒ Provide illuminated exit signs and emergency lighting throughout the building.
- ☒ All Fire and Life Safety systems located within the building shall be maintained.
- ☐ An automatic fire extinguishing system for protection of the kitchen grease hood and ducts is required.
- ☐ City of Lemoore Fire Department Impact Fee. *For information call (559) 924-6730*
- ☐ City of Lemoore Fire Department Permit Fee – complete application during Building Department permit process.

Additional comments: Type of Material the Greenhouses will be constructed with,  
Can we have <sup>Venture</sup> the entrance for the food court ~~area~~ identified.  
Area

☐ No comments. Acceptable as submitted.

Faith Fana / B.G.  
Authorized Signature

Faith Fana / Bruce German  
Printed name

4/30/2020  
Date

## **PLANNING DEPARTMENT**

**Planning/Zoning - The following comments are applicable when checked. Comments in *italics* are specific to the project.**

- ☒ General Plan Land Use Element land use designation(s): *Light Industrial*
- ☒ General Plan Circulation Element adjacent street(s): *Commerce Way is a local street.*
- ☒ Zoning designation: *Light Industrial (ML)*
- ☒ Proposed land use: *Cannabis campus, with greenhouses, manufacturing, distribution, dispensary, food truck court*
- ☒ Allowed use      ☐ Not allowed use      ☐ Requires a conditional use permit

☒ Setbacks and heights:

	Required	Proposed	
Front – <i>Commerce Way</i>	<i>25 feet</i>	<i>24' 9" feet</i>	<input type="checkbox"/> Acceptable <input checked="" type="checkbox"/> Revise
Interior Side – <i>south and north</i>	<i>0 feet</i>	<i>0 feet</i>	<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise
Street Side –	<i>N/A</i>	<i>N/A</i>	<input type="checkbox"/> Acceptable <input type="checkbox"/> Revise
Rear – Hwy 41	<i>25 feet</i>	<i>0 feet</i>	<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise
Height	<i>N/A</i>	<i>N/A</i>	<input type="checkbox"/> Acceptable <input type="checkbox"/> Revise

*Revise food truck building to be set back 25 feet from Commerce Way right of way.*

- ☒ Open Space Requirements: *None*
- ☒ Off-street Parking required: *2 spaces for every 1,000 square feet of manufacturing buildings (96). No parking required for greenhouses (0). 3.5 spaces for every 1,000 square feet of retail space (18). 8 spaces for every food truck court vehicle space (64). Total required = 178*
- ☒ Parking: ☒ Minimum Parking is met. ☐ Parking is needed. *207 spaces provided.*
- ☒ Outdoor lighting: *Required in parking area.*

General Lighting Requirements: The requirements listed below shall apply to all outdoor lighting:

- Nuisance Prevention: All outdoor lighting shall be designed, located, installed, and maintained in order to prevent glare, light trespass, and light pollution.
- Shielding: Except as otherwise exempt, all outdoor lighting shall be recessed and/or constructed with full downward shielding in order to reduce light and glare impacts on trespass to adjoining properties and public rights of way. Each fixture shall be directed downward and away from adjoining properties and public rights of way, so that no light fixture directly illuminates an area outside of the project site.
- Level Of Illumination: Outdoor lighting shall be designed to illuminate at the minimum level necessary for safety and security and to avoid harsh contrasts in lighting levels between the project site and adjacent properties.
- Maximum Height Of Freestanding Outdoor Light Fixtures: The maximum height of freestanding outdoor light fixtures less than ten feet (10') from a property line abutting residential development shall be eighteen feet (18').

DATE: June 4, 2020  
SITE PLAN NO: Major Site Plan Review No. 2020-03  
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APPLICANT: Wellsona Partners c/o John Peterson, Peterson Assoc.  
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Otherwise, the maximum height for freestanding outdoor light structures shall be twenty four feet (24'). Height shall be measured from the finish grade, inclusive of the pedestal, to the top of the fixture. The designated approving authority may allow greater heights upon finding that there are special circumstances that affect the feasibility of meeting this standard.

- Energy Efficient Fixtures Required: Outdoor lighting shall utilize energy efficient fixtures and lamps, such as high pressure sodium, metal halide, low pressure sodium, hard wired compact fluorescent, or other lighting technology that is of equal or greater efficiency. All new outdoor lighting fixtures shall be energy efficient with a rated average bulb life of not less than ten thousand (10,000) hours.
- Accent Lighting: Architectural features may be illuminated by uplighting, provided that the lamps are low intensity to produce a subtle lighting effect and no glare or light trespass is produced. Wherever feasible, solar powered fixtures should be used.

- ☒ Elevations: ☒ Approved ☐ Revise and resubmit  
☐ Fences, walls, and hedges: ☐ Approved ☐ Revise and resubmit  
☐ Screening: ☐ Acceptable ☐ Revise and resubmit

- ☒ Landscaping: ☒ Acceptable ☐ Revise and resubmit.

Landscape Plans are being checked for compliance with MWEL0, including but not limited to the following conditions:

- Plan shall include square footages of landscaped area shown, water use calculations, and the material to be utilized.
- Water use classifications shall be based on WUCOLS IV.
- All other landscaped areas shown as landscaped shall be landscaped.
- Landscaping shall meet all other applicable requirements of Title 9, Article D1 of the Zoning Ordinance.

- ☒ Street trees are required. *Along Commerce Way*  
☐ Existing address must be changed to be consistent with City address standards.

### Entitlements

- ☒ Major Site Plan Review is required for this project.  
☐ A Use Permit is required for this project.  
☐ A Zone Variance is required for this project.  
☐ A Tentative Subdivision Map is required for this project.  
☐ A Tentative Parcel Map is required for this project.  
☒ A Lot Line Adjustment is required for this project.  
☐ A Zone Change is required for this project.  
☐ A General Plan Amendment is required for this project.  
☒ Other discretionary action required for this project: *Abandonment of Venture Place right of way must be approved by City Council. A temporary use permit is required before the food truck area may be used for special events.*

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### Environmental Technical Documents

- ☐ Air Impact Analysis required.
- ☐ Acoustical Analysis required.
- ☐ Biologic survey required.
- ☐ Cultural Records Search required.
- ☐ Traffic Impact Assessment required.
- ☒ Vehicle Trip Generation Estimates required.
- ☐ Covenant required.

☒ Additional comments:

1. *See Mitigated Negative Declaration for required mitigation measures.*
2. *Odor control is a requirement of the Cannabis Ordinance.*
3. *Area around security gate shall be redesigned so that the exit gate does not block driveways when it is open.*

City of Lemoore  
Public Safety  
Site Plan Review Comments

DATE: April 21, 2020  
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PROPERTY OWNER: Tom Vorhees  
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The following comments are applicable when checked:

- ☐ Public Safety Impact Fee:  
Ordinance No.  
Effective Date:

Impact fees shall be imposed by the City of Lemoore pursuant to this Ordinance as a condition of, or in conjunction with, the approval of a development project. "New Development or Development Project" means any new building, structure or improvement of any parcels of land upon which no like building, structure or improvement previously existed. NOTE: Refer to Engineering Site Plan comments for fee estimation.

- ☒ Not enough information provided. Please provide additional information pertaining to:

1. Lighting information is not available.
2. Surveillance information is not available.

- 
- ☒ Access controlled / restricted etc.:

1. Entrance and Exit Gate information is not available. Please provide information as it relates to the public access areas and employee only areas.

- 
- ☒ Landscaping concerns:

1. Greenhouse on the south side of the compound is marked "Volatile Extraction". GV Burrows is located just south of this location. GV Burrows is located close to this green house and it is in the business of Fuel Delivery, Chemicals, and Lubricants. This appears to be a safety concern depending on the method of extraction.
2. The perimeter walls for the compound under area labeled item 10 state it is a 6ft wall. These walls would provide for better security if they were higher.

- 
- ☒ Lighting concerns:

1. The west side of the complex is adjacent to the SR-41/198 on ramp. This area should be well lit in an effort to deter criminal activity or attempted trespassing onto the property.

- 
- ☒ Line of sight issues:

1. The SR-41/198 on ramp is located to the west of the compound and it has an elevated position. This might create a line of sight issue into the greenhouse area if the walls are only going to be 6 ft tall.
-

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Public Safety  
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☐ Surveillance issues:

☐ Territorial reinforcement – define property lines (private / public space):

☐ Traffic concerns:

☐ Request opportunity to comment or make recommendations as to safety issues as plans are developed.

Additional comments: \_\_\_\_\_

☐ No comments. Acceptable as submitted.

\_\_\_\_\_  
//ss//

\_\_\_\_\_  
04282020

Authorized Signature

Date

\_\_\_\_\_  
Chief Kendall /Rcvd via email

Printed name

City of Lemoore  
Public Works/City Engineering  
Site Plan Review Comments

DATE:	April 21, 2020
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The following comments are applicable when checked:

- ☒ Submit improvement plans detailing all proposed work
- ☒ Bonds, certificate of insurance, cash payment of fees/inspection, and approved map and plan required prior to approval of Final Map.
- ☒ The Final Map and Improvements shall conform to the Subdivision Map Act, the City of Lemoore's Subdivision Ordinance and Standard Improvements.
- ☒ A preconstruction conference is required prior to the start of any construction.
- ☐ Right-of-way dedication required. A title report is required for verification of ownership ☐ by map ☐ by deed.
- ☒ City encroachment permit required which shall include an approved traffic control plan.
- ☐ Caltrans encroachment permit required.
- ☐ Caltrans comments required prior to tentative parcel map approval.
- ☐ Landscape and Lighting District / Home Owners Association required prior to approval of Final Map. Landscape and Lighting District will maintain common area landscaping, street lights, street trees and local streets as applicable. Submit completed Landscape and Lighting District application and filing fee a minimum of 75 days before approval of Final Map.
- ☒ Landscape and irrigation improvement plans to be submitted for each phase. Landscape plans will need to comply with the City of Lemoore's street tree ordinance. A street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting district.
- ☐ Dedicate landscape lots to the City that are to be maintained by the landscape and lighting district.
- ☐ Written comments required from ditch company.
- ☐ Sanitary Sewer master plan for the entire development shall be submitted for approval prior to approval of any portion of the system. The sewer system will need to be extended to the boundaries of the development where future connection and extension is anticipated. The sewer system will need to be sized to serve any future developments that are anticipated to connect to the system.
- ☒ Grading and drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades.
  - ☒ Prepared by a registered civil engineer or project architect.
  - ☒ All elevations shall be based on the City's benchmark network.Storm run-off from the project shall be handled as follows:
  - ☒ Directed to the City's existing storm drainage system
  - ☐ Directed to a permanent on-site basin
  - ☐ Directed to a temporary on-site basin which is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin; \_\_\_\_\_: \_\_\_\_\_ maximum side slopes, perimeter fencing required, and provide access ramp to bottom for maintenance.
- ☐ Protect Oak trees during construction.
- ☒ Show adjacent property grade elevations on improvement plans. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.
- ☐ Relocate existing utility poles and/or facilities.

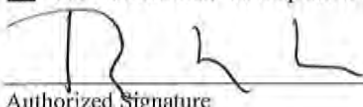
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- ☒ Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding.
- ☒ Provide R-value tests; \_\_\_\_\_ eat at \_\_\_\_\_
- ☒ Traffic indexes per City standards: \_\_\_\_\_
- ☒ All public streets within project limits and across project frontage shall be improved to their full width, subject to available right-of-way, in accordance with City policies, standards and specifications.
- ☒ All lots shall have separate drive approaches constructed to City Standards.
- ☒ Install street striping as required by the City Engineer.
- ☒ Install sidewalk: Min. 5 ft. wide, with \_\_\_\_\_ ft. wide parkway on \_\_\_\_\_
- ☒ Cluster mailbox supports required at 1 per 2 lots, or use postal unit
- ☐ Subject to existing reimbursement agreement to reimburse prior developer.
- ☐ Abandon existing wells per Code; a building permit is required.
- ☐ Remove existing irrigation lines and dispose off-site.
- ☐ Remove existing leach fields and septic tanks.
- ☒ Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air Pollution Control District's Regulation VIII. Copies of any required permits will be provided to the City of Lemoore.
- ☒ The project it may be subject to the San Joaquin Valley Air Pollution Control District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City of Lemoore.
- ☒ If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit will be provided to the City of Lemoore.
- ☐ Comply with prior comments dated \_\_\_\_\_.
- ☒ Resubmit with additional information.
- ☒ Redesign required.

Additional comments: 1) All onsite storm water must be treated prior to entering city storm drain system. 2) Show location of all fire hydrants. 3) City standard parking stall dimensions are 9' x 20', 9 x 19' are shown. 4) Plan indicates 6' high cmu wall. Is this adequate?

☐ No comments. Acceptable as submitted.



Authorized Signature

05/31/2020

Date

Frank Rivera

Printed name

City of Lemoore  
Building  
Site Plan Review Comments

DATE: April 21, 2020  
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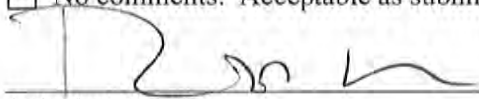
- ☒ These are general comments and DO NOT constitute a complete plan check for your specific project. Please refer to the applicable California Code and local ordinances for additional requirements.
- ☐ Business Tax certification is required. *For information call (559) 924-6744 ext. 712*
- ☒ A building permit will be required. *For information call (559) 924-6744 ext. 730*
- ☒ Submit 1 set of professionally prepared plans and 1 set of calculations (Small Tenant Improvements).
- ☒ Submit 5 sets of plans signed by an architect or engineer. Must comply with 2019 California Building Code.
- ☐ Indicate abandoned wells, septic systems and excavations on construction plans.

**You are responsible to ensure compliance with the following checked items:**

- ☒ Meet State and Federal Americans with Disabilities Act (ADA) requirements.
- ☒ A path of travel, parking and common area must comply with ADA Requirements.
- ☒ All accessible units must meet ADA Requirements.
- ☒ Maintain sound transmission control between units minimum of 50 STC.
- ☒ Maintain fire-resistive requirements at property lines.
- ☐ Demolition permit and deposit is required. *For information call (559) 924-6744 ext. 730*
- ☐ Obtain required permits from San Joaquin Valley Air Pollution Control District. *For information call (559) 230-6000*
- ☒ Location of cashier must provide clear view of gas pump island.
- ☒ Treatment connection charge to be assessed based on use.
- ☒ Plans must be approved by the Kings County Health Department. *For information call (559) 584-1411*
- ☐ Project is located in flood zone \_\_\_\_\_. ☐ Hazardous materials report.
- ☒ Arrange for an onsite inspection. *For information call (559) 924-6744 ext. 730 (Inspection fees may apply.)*
- ☒ School Development fees: *For information call (559) 924-6744 ext. 730*
- ☒ Park Development fee \$\_\_\_\_\_ per unit collected with building permits.
- ☐ Existing address must be changed to be consistent with City address. *Call (559) 924-6744 ext. 740*

Additional comments: \_\_\_\_\_

- ☐ No comments. Acceptable as submitted.

  
Authorized Signature

5/31/2020  
Date

Frank Rivera  
Printed name

City of Lemoore  
Refuse  
Site Plan Review Comments

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DESCRIPTION: Commercial Development (Seed to Sale and Dining)  
APPLICANT: Wellsona Partners c/o John Peterson, Peterson Assoc.  
PROPERTY OWNER: Tom Vorhees  
LOCATION: SE of SR 198 and Hwy 41 (Venture Place)  
APN(S): 024-400-002 to 024-400-009

The following comments are applicable when checked:

- ☒ Type of refuse service not indicated.
- ☒ You are responsible for all cardboard and other bulky recyclables to be broken down before depositing in recycle containers.
- ☒ Refuse enclosure not to City of Lemoore Standards.
- ☒ Refuse enclosure(s) must be M-6 single dumpster enclosure(s).
- ☒ Refuse enclosure(s) must be M-6 double dumpster enclosure(s). *Room for minimum 4 dumpsters.*
- ☒ Refuse enclosure gates required.
- ☒ You must provide combination or keys for access to locked gates / bins.
- ☒ Location of bin enclosure not acceptable. Relocate to: Add enclosure close to food court.
- ☒ Inadequate number of bins to provide sufficient service.
- ☐ Drive approach too narrow for refuse truck access. *Provide vehicle turning movement layout.*
- ☐ Area not adequate to allowing refuse truck turning radius: *Based on vehicle turning movement layout.*
  - ☐ Commercial \_\_\_\_ ft. outside \_\_\_\_ ft. inside; ☐ Residential \_\_\_\_ ft. outside \_\_\_\_ ft. inside.
- ☒ Paved areas should be engineered to withstand a 55,000 lb. refuse truck.
- ☐ Hammerhead turnaround required at: \_\_\_\_\_.
- ☒ Cul-de-sac must be built per City of Lemoore Standards.
- ☒ Refuse enclosures are for City refuse containers only. Storage of grease drums or any other items is not allowed. (Unless allowed.)
- ☒ Refuse enclosure gates must open 180 degrees and hinges mounted in front of post.
- ☒ Concrete slab required in front of enclosure per Lemoore City Standards.
- ☒ Area in front of refuse enclosures must be striped with NO PARKING.
- ☒ Refuse enclosure to be designed and located for STAB service (DIRECT ACCESS).
- ☒ You will be required to roll container out to curb for service. (If applicable.)
- ☒ Roll off compactors must have a clearance of 3 feet from any wall on both sides and there must be a minimum of 53 feet clearance in front of the compactor to allow truck service.

Additional comments: \_\_\_\_\_

☐ No comments. Acceptable as submitted.

  
Authorized Signature

5/31/2020  
Date

Frank Rivera  
Printed name

City of Lemoore  
Solid Waste  
Site Plan Review Comments

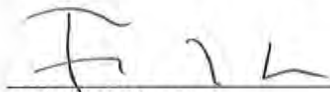
DATE: April 21, 2020  
SITE PLAN NO: Major Site Plan Review No. 2020-03  
PROJECT TITLE: Wellsona Cannabis Campus  
DESCRIPTION: Commercial Development (Seed to Sale and Dining)  
APPLICANT: Wellsona Partners c/o John Peterson, Peterson Assoc.  
PROPERTY OWNER: Tom Vorhees  
LOCATION: SE of SR 198 and Hwy 41 (Venture Place)  
APN(S): 024-400-002 to 024-400-009

The following comments are applicable when checked:

- ☒ Wastewater discharge permit application required.
- ☒ Sand and grease interceptor – 3 compartment required. If applicable.
- ☒ Grease interceptor required. Only if frying food.
- ☒ Garbage grinder required – \_\_\_\_\_ hp. Maximize. If applicable.
- ☐ Submission of dry process declaration required. \_\_\_\_\_
- ☒ No single pass cooling water is permitted. \_\_\_\_\_

Additional comments: If onsite storm drain inlets are used a properly sized sand and grease interceptor must be provided.

☐ No comments. Acceptable as submitted.



Authorized Signature

5/31/2020

Date

Frank Rivera

Printed name

City of Lemoore  
Streets/Traffic  
Site Plan Review Comments

DATE:	April 21, 2020
SITE PLAN NO:	Major Site Plan Review No. 2020-03
PROJECT TITLE:	Wellsona Cannabis Campus
DESCRIPTION:	Commercial Development (Seed to Sale and Dining)
APPLICANT:	Wellsona Partners c/o John Peterson, Peterson Assoc.
PROPERTY OWNER:	Tom Vorhees
LOCATION:	SE of SR 198 and Hwy 41 (Venture Place)
APN(S):	024-400-002 to 024-400-009

The following comments are applicable when checked:

- ☐ The City will prohibit on-street parking as deemed necessary.
- ☐ Install street light(s) per City of Lemoore Standards.
- ☒ Install street name blades at each intersection. Street names to be modified to the alignment of existing streets and without duplicating names.
- ☒ Install Stop Signs at interior roadways intersecting with: \_\_\_\_\_

- ☒ Construct parking per City of Lemoore Standards.
- ☒ Construct drive approach(s) per City of Lemoore Standards. (C-8A, C-9 and C-9A)
- ☒ Traffic Impact Study required.

Additional comments: \_\_\_\_\_

- ☐ No comments. Acceptable as submitted.

  
\_\_\_\_\_  
Authorized Signature

\_\_\_\_\_  
Date 5/31/2020

\_\_\_\_\_  
Printed name Frank Rivera

**RETURN TO:**  
City of Lemoore  
Community Development Agency  
711 W. Cinnamon Drive  
Lemoore, CA 93245

**ORIGINAL  
FILED**

**JUN 26 2020**

**KRISTINE LEE  
KINGS COUNTY CLERK**

20-003

SPACE ABOVE THIS LINE FOR RECORDERS USE ONLY

**Notice of Determination**  
**TITLE OF DOCUMENT**

*City Clerk's Office*  
*City of Lemoore*  
**AUG 11 2020**  
**RECEIVED**

I declare, under penalty of perjury, that on the  
date below I posted a copy of this notice in the  
office of the County Clerk that said notice rem-  
ained posted for 30 days.  
Date 6/26/20  
KRISTINE LEE, County Clerk Recorder  
By [Signature] Deputy

## Notice of Determination

To: ☐ Office of Planning and Research  
For U.S. Mail: Street Address:  
P.O. Box 3044 1400 Tenth St.  
Sacramento, CA 95812-3044 Sacramento, CA 95814

☒ County Clerk  
County of: Kings County  
Address: 1400 W. Lacey Blvd.  
Hanford, CA 93230

From: Public Agency: City of Lemoore  
Address: 711 W. Cinnamon Drive  
Lemoore, CA 93245  
Contact: Judy Holwell  
Community Development Director  
Phone: (559) 924-6744

Lead Agency (if different from above):  
Address: \_\_\_\_\_  
Contact: \_\_\_\_\_  
Phone: \_\_\_\_\_

SUBJECT: **Filing of Notice of Determination in compliance with Section 21108 or 21152 of the Public Resources Code.**

State Clearinghouse Number (if submitted to State Clearinghouse): 2020059036

Project Title: Major Site Plan Review No. 2020-03 - Venture Place Cannabis Campus and Food Court

Project Applicant: Wellsona Partners/John Peterson

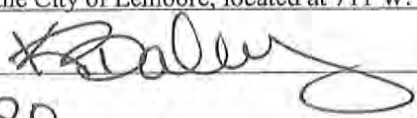
Project Location (include county): The site is located on Venture Place, west of Commerce Way, north of Enterprise Drive, east of SR 41, and south of SR 198 in the city of Lemoore (APNs 024-400-002, 024-400-003, 024-400-004, 024-400-005, 024-400-006, 024-400-007, 024-400-028, and 024-400-009).

Project Description: The project is a seed to sale cannabis campus that includes delivery service, manufacturing and processing facility, microbusiness, distribution hub, cultivation greenhouses, and food truck dining area that is part of a project development agreement with the city of Lemoore.

This is to advise that the City of Lemoore has approved the above described project on  
☒ Lead Agency or ☐ Responsible Agency  
June 22, 2020 and has made the following determinations regarding the above described project:  
(Date)

1. The project [☐ will ☒ will not] have a significant effect on the environment.
2. ☐ An Environmental Impact Report was prepared for this project pursuant to the provisions of CEQA.  
☒ A Negative Declaration was prepared for this project pursuant to the provisions of CEQA.
3. Mitigation measures [☒ were ☐ were not] made a condition of the approval of the project.
4. A mitigation reporting or monitoring plan [☐ was ☒ was not] adopted for this project.
5. A statement of Overriding Considerations [☐ was ☒ was not] adopted for this project.
6. Findings [☒ were ☐ were not] made pursuant to the provisions of CEQA.

This is to certify that the Negative Declaration is available to the General Public at: The office of the Community Development Department in the City of Lemoore, located at 711 W. Cinnamon Drive, Lemoore CA 93245

Signature (Public Agency)  Title Planning Technician

Date 6-24-2020

# Receipt of Fees County of Kings

Building Permit:

30266

Planning Permit:

Receipt Number: 2025440

Received From: David M. Moeck, A Professional Co

Received By:

Notes: Notice of Determination - Major Site Plan Review No. 2020-03 - Venture Place Cannabis Campus and Food Court

<u>DESCRIPTION</u>	<u>FUND</u>	<u>DEPT</u>	<u>ACCT #</u>	<u>AMOUNT PAID</u>	<u>PAID DATE</u>	
DFG CLERK FEE (\$50.00)		157200	87138	50.00	6/26/2020	1
DFG ENV DOC FILING FEE	600055		51111	2,406.75	6/26/2020	1
PLANNING SERVICES		270000	87098	55.00	6/26/2020	1
				<b>2,511.75</b>		

**2,511.75**

<u>Receipt #</u>	<u>Payment Date</u>	<u>Payment Type</u>	<u>Check</u>	<u>Payment Amount</u>
2025440	6/26/2020	CK	1008	2,511.75



711 W Cinnamon Drive • Lemoore, California 93245 • (559) 924-6744

## Staff Report

**To:** Lemoore Planning Commission **Item No. 8**  
**From:** Steve Brandt, City Planner  
**Date:** September 3, 2021 **Meeting Date:** September 13, 2021  
**Subject:** **Major Site Plan Review No. 2021-06:** a request by Master Storage 365 for site plan review of the expansion of a ministorage facility located at the southeast corner of Iona Avenue and Commerce Way in the City of Lemoore. (APNs 024-051-012, -013).

### **Proposed Motion:**

Move to adopt Resolution No. 2021-16, approving Major Site Plan Review No. 2021-06 in accordance with the findings and conditions in the Resolution.

### **Project Proposal:**

The applicant is seeking a Major Site Plan Review of the expansion of an existing Master Storage facility to an adjacent site at the southeast corner of Iona Avenue and Commerce Way.

<b>Applicant</b>	Master Storage 365
<b>Location</b>	906 Commerce Way
<b>Existing Land Use</b>	Vacant
<b>APN(s)</b>	024-051-012, 024-051-013
<b>Total Building Size</b>	66,131 square feet
<b>Zoning</b>	Light Industrial (ML)
<b>General Plan</b>	Light Industrial

### **Adjacent Land Use, Zone and General Plan Designation**

<b><u>Direction</u></b>	<b><u>Current Use</u></b>	<b><u>Zone</u></b>	<b><u>General Plan</u></b>
North	Truck and tractor service	ML	Light Industrial
South	Vacant land	ML	Light Industrial
East	Commercial industrial building	ML	Light Industrial
West	Commercial industrial building	ML	Light Industrial

### **Previous Relevant Actions:**

The Planning Commission approved a different version of this site plan on March 9, 2020. This new site plan would replace that approval.

### **Zoning/General Plan:**

The site is zoned Light Industrial (ML) per the Lemoore Municipal Code. Mini-storage facilities and offices are allowed uses in this zone. This project is being brought to the Planning Commission for approval of the Site Plan.

### **Access and Right of Way:**

The newly proposed facility will have two points of ingress and egress. One will be from north Commerce Way into a parking area and the other will be from west Iona Avenue into a separate parking area.

The existing site has one entrance and an emergency access at the northeast corner of the site. The site is proposing to close this emergency access point. Staff is recommending that the access point remain open for emergency access. This is because, although the site is intended to be operated as one facility, the site will remain as two parcels, which leaves open the possibility that they could be operated separately. In that case, the City would want two access points per site for public safety access.

The applicant has proposed the recording of a covenant agreement that would ensure that the two properties could not be sold separately so that the northeast corner emergency access could be closed permanently. After consultation with the Fire Department, City staff still recommends that the access remain open for emergency vehicles to use.

### **Parking / On-site Circulation:**

Access to the new site would be from an entrance off Iona Avenue further west from the existing entry on the adjoining property. A third entrance would be located off Commerce Way. There is parking available at each of the entry locations with more parking allowed along internal drives.

The site plan is showing one less parking space than is required. Staff recommends that one additional parking space be striped outside of a fire lane behind the gates, but near Building C. This could be used by someone renting office space in Building C.

### **Operations:**

The site is fenced and gated and provides security cameras for continuous monitoring and surveillance. The site will be accessible 24 hours a day to customers but only by using an access code or key supplied by the site manager upon receipt of contract.

### **Environmental Assessment:**

The project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA) per Class 32 (Infill Development) Section 15332.

### **Recommended Approval Findings:**

A major site plan review shall be granted only when the designated approving authority determines that the proposed use or activity complies with all of the following findings. City staff recommends that these findings be made based upon review of the project as described in this staff report, and with the recommended conditions of approval.

1. The proposed use is consistent with the General Plan, any applicable specific plans, and all applicable provisions of this title. The proposed use is consistent with the General Plan; the proposed land uses are consistent with the Zoning Ordinance.
2. The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.
3. The architecture, character, and scale of the building and the site are compatible with the character of buildings on adjoining and nearby properties.
4. The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.
5. The development conforms to applicable provisions of this Zoning Code.
6. The project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA) per Class 32 (Infill Development) Section 15332.

**Recommended Conditions:**

Staff recommends the following conditions be applied to the approval of the Major Site Plan Review:

1. The site shall be developed consistent with the submitted site plan and applicable development standards found in the City of Lemoore Zoning Ordinance, and as modified by the site plan review comments.
2. The existing access point to/from Iona Avenue on the north east corner of the site shall remain open as an emergency access for public safety vehicles.
3. Prior to any ground disturbance, an archaeological survey must be completed. If resources are found, the Tribal Cultural Staff shall monitor the site during grading activities. The Tribal Cultural Staff shall provide pre-construction briefings to supervisory personnel and any excavation contractor, which will include information on potential cultural material finds and, on the procedures, to be enacted if resources are found. Prior to any ground disturbance, the applicant shall offer the Santa Rosa Rancheria Tachi Yakut Tribe the opportunity to provide a Native American Monitor during ground disturbing activities during both construction and decommissioning. Tribal participation would be dependent upon the availability and interest of the Tribe.
4. The time limits and potential extensions and expiration of this Major Site Plan Review are established per Section 9-2A-9 of the City of Lemoore Zoning Ordinance.

**Attachments:**

Location Map

Draft Resolution

Proposed Site Plan and Elevations dated July 28, 2021

Site Plan Comments/Checklists and Markups

- Site Plan Review Cover Memo
- Planning
- Fire
- Police
- Public Works
- Public Works site plan markups
- Engineering

Findings for Notice of Exemption

Location Map  
MSPR No. 2021-06



**RESOLUTION NO. 2021-16**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LEMOORE  
APPROVING MAJOR SITE PLAN REVIEW NO. 2021-06 TO ALLOW THE EXPANSION OF A  
MINISTORAGE FACILITY LOCATED AT 906 COMMERCE WAY  
IN THE CITY OF LEMOORE**

At a Regular Meeting of the Planning Commission of the City of Lemoore duly called and held on September 13, 2021, at 7:00 p.m. on said day, it was moved by Commissioner \_\_\_\_\_, seconded by Commissioner \_\_\_\_\_, and carried that the following Resolution be adopted:

**WHEREAS**, Master Storage 365 has applied for a Major Site Plan Review for the property at the southeast corner of Iona Avenue and Commerce Way to expand their existing ministorage facility immediately to the east (APN 024-051-012, 024-051-013) and

**WHEREAS**, the west half of the site is currently vacant; and

**WHEREAS**, the zoning on the site is Light Industrial (ML) and

**WHEREAS**, it has been determined that the project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA) per Class 32 (Infill Development) Section 15332; and

**WHEREAS**, the Lemoore Planning Commission held a duly noticed public hearing at its September 13, 2021, meeting.

**NOW THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Lemoore hereby makes the following findings regarding the proposed Major Site Plan Review No. 2021-06 based on facts detailed in the September 13, 2021 Staff Report, which is hereby incorporated by reference, as well as the evidence and testimony presented during the Public Hearing:

1. The proposed use is consistent with the General Plan, any applicable specific plans, and all applicable provisions of this title. The proposed use is consistent with the General Plan; the proposed land uses are consistent with the Zoning Ordinance.
2. The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.
3. The architecture, character, and scale of the building and the site are compatible with the character of buildings on adjoining and nearby properties.
4. The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.
5. The development conforms to applicable provisions of this Zoning Code.
6. The project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA) per Class 32 (Infill Development) Section 15332.

**BE IT FURTHER RESOLVED** that the Planning Commission of the City of Lemoore hereby approves Major Site Plan review No. 2021-06 subject to the following conditions:

1. The site shall be developed consistent with the submitted site plan and applicable development standards found in the City of Lemoore Zoning Ordinance, and as modified by the site plan review comments.
2. The existing access point to/from Iona Avenue on the north east corner of the site shall remain open as an emergency access for public safety vehicles.
3. Prior to any ground disturbance, an archaeological survey must be completed. If resources are found, the Tribal Cultural Staff shall monitor the site during grading activities. The Tribal Cultural Staff shall provide pre-construction briefings to supervisory personnel and any excavation contractor, which will include information on potential cultural material finds and, on the procedures, to be enacted if resources are found. Prior to any ground disturbance, the applicant shall offer the Santa Rosa Rancheria Tachi Yakut Tribe the opportunity to provide a Native American Monitor during ground disturbing activities during both construction and decommissioning. Tribal participation would be dependent upon the availability and interest of the Tribe.
4. The time limits and potential extensions and expiration of this Major Site Plan Review are established per Section 9-2A-9 of the City of Lemoore Zoning Ordinance.

Passed and adopted at a Regular Meeting of the Planning Commission of the City of Lemoore held on September 13, 2021, by the following votes:

**AYES:**  
**NOES:**  
**ABSTAINING:**  
**ABSENT:**

**APPROVED:**

---

**Michael Dey, Vice Chair**

**ATTEST:**

---

**Kristie Baley, Commission Secretary**



711 W. Cinnamon Drive • Lemoore, California 93245 • (559) 924-6744 ext. 740

## Site Plan Review Comments

**To:** Master Storage 365 **Major Site Plan No.** 2021-06  
**From:** Steve Brandt, City Planner  
**Date:** September 3, 2021

SUBMITTAL NO: 1<sup>st</sup> submittal  
SUBMITTAL DATE: July 28, 2021  
PROJECT TITLE: Master Storage  
DESCRIPTION: 66,131 sq. ft. Expansion  
LOCATION: 3.67 acres on the southeast corner of Iona Avenue and Commerce Way  
APPLICANT: Master Storage 365  
PROPERTY OWNER: MS Lemoore, LLC (Richard Torosian, Representative)  
APN(S): Expansion Site APN 024-051-012 / Existing Site APN 024-051-013

- ☐ Site Plan is acceptable as proposed. All checked comments apply. Proceed to submittal for:
- 
- ☒ Site Plan requires changes that are described in the comments to be acceptable. All checked comments apply. Make described changes and proceed to submittal for: ***Building Permits with revised site plan***
- 
- ☐ Site Plan requires changes that are described in the attached Department checklists. All checked comments apply. Make described changes and resubmit the site plan for further review. The most current site plan is dated \_\_\_\_\_. If there have been any design or layout changes since the previous submittal then, please submit those changes with the revisions made according to the attached checklists.

### **Attachments:**

Checklists:

- Planning
- Fire
- Police
- Public Works
- Public Works site plan markups
- Engineering



MAJOR SPR NO: 2021-06

SUBMITTAL NO: 1  
SUBMITTAL DATE: July 28, 2021

PROJECT TITLE: Master Storage  
DESCRIPTION: 66,131 sq. ft. Expansion  
LOCATION: 3.67 acres on the SEC Iona Avenue and Commerce Way  
Expansion Site: 906 Commerce Way / Existing Site: 1305 Iona Avenue  
APPLICANT: Master Storage 365  
PROPERTY OWNER: MS Lemoore, LLC (Richard Torosian, Representative)  
APN(S): Expansion Site 024-051-012 / Existing Site 024-051-013

**PLANNING SITE PLAN REVIEW COMMENTS DATED: August 18, 2021**

The following comments are applicable to your site plan when checked. Comments in *italics* are specific to the project.

**Project Information**

- ☒ General Plan Land Use Element land use designation(s): Light Industrial  
☒ General Plan Circulation Element adjacent street(s): None  
☒ Zoning designation: Light Industrial (ML)  
☒ Proposed land use: Light Industrial  
☒ Allowed use ☐ Not allowed use ☐ Requires a conditional use permit

**Site Plan Comments**

Site Area Standards (Chapter 9-5A)		Required	Proposed	Notes
<input type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input checked="" type="checkbox"/> N/A	Site area per dwelling units (minimum)			
<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input type="checkbox"/> N/A	Lot size (minimum)	20,000 sq.ft.	3.67 acres	
<input type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input checked="" type="checkbox"/> N/A	Lot size (maximum)			
<input type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input checked="" type="checkbox"/> N/A	Lot width (minimum)			
<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input type="checkbox"/> N/A	Lot depth (maximum)	100 feet	410 feet	

Building Setback, Height, and Coverage Standards (Chapter 9-5A)		Required	Proposed	Notes
<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input type="checkbox"/> N/A	Front Building Setback (minimum)	25'-0"	25'-6"	
<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input type="checkbox"/> N/A	Interior Side Building Setback (minimum)	0'-0"	0'-0"	



MAJOR SPR NO: 2021-06

SUBMITTAL NO: 1  
SUBMITTAL DATE: July 28, 2021

PROJECT TITLE: Master Storage  
DESCRIPTION: 66,131 sq. ft. Expansion  
LOCATION: 3.67 acres on the SEC Iona Avenue and Commerce Way  
Expansion Site: 906 Commerce Way / Existing Site: 1305 Iona Avenue  
APPLICANT: Master Storage 365  
PROPERTY OWNER: MS Lemoore, LLC (Richard Torosian, Representative)  
APN(S): Expansion Site 024-051-012 / Existing Site 024-051-013

<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input type="checkbox"/> N/A	Street Side Building Setback (minimum)	10'-0"	25'-6"	
<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input type="checkbox"/> N/A	Rear Building Setback (minimum)	25'-0"	0'-0"	
<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input type="checkbox"/> N/A	Separation Between Buildings (minimum)	0'-0"	20'-0"	
<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input type="checkbox"/> N/A	Height (maximum)	60'	Varies from 11' to 24' at towers.	
<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input type="checkbox"/> N/A	Floor Area Ratio (minimum)	.10	.41	Site to be developed is 3.67 ac (159,865 sf) with total proposed building area of 66,113 sf for a total of 41% lot coverage ratio.
<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input type="checkbox"/> N/A	Floor Area Ratio (maximum)	.60	.41	

Architectural and Site Design Standards (Chapter 9-5C)		Required	Notes
<input type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input checked="" type="checkbox"/> N/A	Design Standards for Residential Projects		
<input type="checkbox"/> Acceptable <input checked="" type="checkbox"/> Revise <input type="checkbox"/> N/A	Design Standards for Commercial and Industrial Projects	Meet requirements of Section 9-5C-5	Revise plans so that one of the new entry drives and approach should contain at least two (2) of the following: (1) Ornamental landscaping (2) Low decorative wall (3) Monument sign (4) Decorative paving
<input type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input checked="" type="checkbox"/> N/A	Design Standards for Big Box Stores		



MAJOR SPR NO: 2021-06  
 SUBMITTAL NO: 1  
 SUBMITTAL DATE: July 28, 2021  
 PROJECT TITLE: Master Storage  
 DESCRIPTION: 66,131 sq. ft. Expansion  
 LOCATION: 3.67 acres on the SEC Iona Avenue and Commerce Way  
 Expansion Site: 906 Commerce Way / Existing Site: 1305 Iona Avenue  
 APPLICANT: Master Storage 365  
 PROPERTY OWNER: MS Lemoore, LLC (Richard Torosian, Representative)  
 APN(S): Expansion Site 024-051-012 / Existing Site 024-051-013

Parking and Loading Standards (Chapter 9-5E)		Required	Proposed	Notes
<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input type="checkbox"/> N/A	Number of off-street Parking Spaces	22 new spaces	21 spaces shown  Add one additional space behind the gates near Bldg C outside of any fire lanes.	2 per 1000sf of office space (per Table 9-5E-4-A1) Bldg A1 1510 sf @ 2 per 1000 $1510/1000 = 1.5$ $1.5 \times 2 = 3 \text{ spaces}$ Bldg C 4644 sf @ 4 per 1000 $4644/1000 = 4.6$ $4.6 \times 4 = 19 \text{ spaces}$ Bldg N (keep existing in place)
<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input type="checkbox"/> N/A	Parking Design Standards			
<input type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input checked="" type="checkbox"/> N/A	Loading Design Standards			

<input type="checkbox"/> Downtown Standards (Chapter 9-6) <input type="checkbox"/> Mixed Use Standards (Chapter 9-7) <input type="checkbox"/> Overlay Zones (Chapter 9-9)		Required	Proposed	Notes
<input type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input checked="" type="checkbox"/> N/A				

#### Entitlements Required

- ☒ Major Site Plan Review is required for this project.  
☐ Conditional Use Permit is required for this project.  
☐ Zone Variance is required for this project.  
☐ Tentative Subdivision Map is required for this project.



MAJOR SPR NO: 2021-06 SUBMITTAL NO: 1  
SUBMITTAL DATE: July 28, 2021  
PROJECT TITLE: Master Storage  
DESCRIPTION: 66,131 sq. ft. Expansion  
LOCATION: 3.67 acres on the SEC Iona Avenue and Commerce Way  
Expansion Site: 906 Commerce Way / Existing Site: 1305 Iona Avenue  
APPLICANT: Master Storage 365  
PROPERTY OWNER: MS Lemoore, LLC (Richard Torosian, Representative)  
APN(S): Expansion Site 024-051-012 / Existing Site 024-051-013

- ☐ Tentative Parcel Map is required for this project.
- ☐ Lot Line Adjustment is required for this project.
- ☐ Zone Change is required for this project.
- ☐ General Plan Amendment is required for this project.
- ☒ Other discretionary action required for this project: *Covenant to limit sale of one of the parcels separate from the other requires City acceptance*

**CEQA Document Required** (This is a preliminary determination that will be finalized when the project application is fully submitted and deemed complete.)

- ☐ Exempt from CEQA - Ministerial Exemption: Section 21080(b)(1); 15268.
- ☒ Exempt from CEQA - Categorical Exemption Section 15332 (Infill Development Exemption).
- ☐ Exempt from CEQA - Statutory Exemption Section \_\_\_\_\_.
- ☐ Negative Declaration or Mitigated Negative Declaration.
- ☐ Environmental Impact Report.

**Environmental Technical Documents Required to back up CEQA document** (This is a preliminary determination that will be finalized when the project application is fully submitted and deemed complete.)

- ☐ Air Impact Analysis.
- ☐ Acoustical Analysis.
- ☐ Biological Report.
- ☐ Cultural Records Search.
- ☐ Traffic Impact Assessment.
- ☐ Vehicle Trip Generation Estimates.
- ☐ Covenant.
- ☒ Other: *Biological and cultural clearance memos already prepared to back up finding of CEQA Exemption.*

**General Requirements from Zoning Ordinance that apply to the project when checked.**

- ☒ Meet all Noise, Odor, and Vibration Performance Standards described in Zoning Ordinance Section 9-5B-2.
- ☒ Make all required Property and Utility Improvements described in Zoning Ordinance Section 9-5B-3.
- ☒ Meet all Outdoor Lighting Standards described in Zoning Ordinance Section 9-5B-4.
- ☒ Meet all applicable Fence and Wall Standards described in Zoning Ordinance 9-5B-5.
- ☒ Meet all MWELo requirements for landscape and irrigation plans.



MAJOR SPR NO: 2021-06 SUBMITTAL NO: 1  
SUBMITTAL DATE: July 28, 2021  
PROJECT TITLE: Master Storage  
DESCRIPTION: 66,131 sq. ft. Expansion  
LOCATION: 3.67 acres on the SEC Iona Avenue and Commerce Way  
Expansion Site: 906 Commerce Way / Existing Site: 1305 Iona Avenue  
APPLICANT: Master Storage 365  
PROPERTY OWNER: MS Lemoore, LLC (Richard Torosian, Representative)  
APN(S): Expansion Site 024-051-012 / Existing Site 024-051-013

- ☒ Street Trees shall be selected from the approved Street Tree list in Table 9-5D-5-A1.
- ☒ Landscape and Irrigation Plans required at Building Permit submittal. Landscape Plans will be checked for compliance with MWEL, including but not limited to the following conditions:
- Plan shall include square footages of landscaped area shown, water use calculations, and the material to be utilized.
  - Water use classifications shall be based on WUCOLS IV.
  - All required landscape areas shall be included in the Plan.
  - Landscaping shall meet all other applicable requirements of Title 9, Article D1 of the Zoning Ordinance.

#### Other Requirements

- ☒ Additional comments: *This project is an expansion of the Master Storage facility. It is to include more self-storage spaces, a main administrative office, cold storage facilities, rental office suites and some remodeling to existing buildings N and M and additions to buildings K and I.*

*Site to be developed is 3.67 ac (159,865 sf) with total proposed building area of 66,113 sf for a total of 41% lot coverage ratio.*

***The site plan proposes to close the emergency access on the northeast corner of the existing facility. City staff wants the emergency access to remain. The site plan and building plans submitted shall accommodate this revision.***

*Steve Brandt*

\_\_\_\_\_  
Authorized signature

\_\_\_\_\_  
9/3/2021  
Date

\_\_\_\_\_  
Steve Brandt, AICP, City Planner  
Printed name



711 W. Cinnamon Drive • Lemoore, California 93245 • (559) 924-6744 ext. 740

## Site Plan Review Comments

**To:** Master Storage 365 **Major Site Plan No.** 2021-06  
**From:** Steve Brandt, City Planner  
**Date:** September 3, 2021

SUBMITTAL NO: 1<sup>st</sup> submittal  
SUBMITTAL DATE: July 28, 2021  
PROJECT TITLE: Master Storage  
DESCRIPTION: 66,131 sq. ft. Expansion  
LOCATION: 3.67 acres on the southeast corner of Iona Avenue and Commerce Way  
APPLICANT: Master Storage 365  
PROPERTY OWNER: MS Lemoore, LLC (Richard Torosian, Representative)  
APN(S): Expansion Site APN 024-051-012 / Existing Site APN 024-051-013

- ☐ Site Plan is acceptable as proposed. All checked comments apply. Proceed to submittal for:
- 
- ☒ Site Plan requires changes that are described in the comments to be acceptable. All checked comments apply. Make described changes and proceed to submittal for: ***Building Permits with revised site plan***
- 
- ☐ Site Plan requires changes that are described in the attached Department checklists. All checked comments apply. Make described changes and resubmit the site plan for further review. The most current site plan is dated \_\_\_\_\_. If there have been any design or layout changes since the previous submittal then, please submit those changes with the revisions made according to the attached checklists.

### **Attachments:**

Checklists:

- Planning
- Fire
- Police
- Public Works
- Public Works site plan markups
- Engineering



MAJOR SPR NO: 2021-06 SUBMITTAL NO: 1  
 SUBMITTAL DATE: July 28, 2021  
 PROJECT TITLE: Master Storage  
 DESCRIPTION: 66,131 sq. ft. Expansion  
 LOCATION: 3.67 acres on the SEC Iona Avenue and Commerce Way  
 Expansion Site: 906 Commerce Way / Existing Site: 1305 Iona Avenue  
 APPLICANT: Master Storage 365  
 PROPERTY OWNER: MS Lemoore, LLC (Richard Torosian, Representative)  
 APN(S): Expansion Site 024-051-012 / Existing Site 024-051-013

**PLANNING SITE PLAN REVIEW COMMENTS DATED: August 18, 2021**

The following comments are applicable to your site plan when checked. Comments in *italics* are specific to the project.

**Project Information**

- ☒ General Plan Land Use Element land use designation(s): Light Industrial  
☒ General Plan Circulation Element adjacent street(s): None  
☒ Zoning designation: Light Industrial (ML)  
☒ Proposed land use: Light Industrial  
☒ Allowed use    ☐ Not allowed use    ☐ Requires a conditional use permit

**Site Plan Comments**

Site Area Standards (Chapter 9-5A)		Required	Proposed	Notes
<input type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input checked="" type="checkbox"/> N/A	Site area per dwelling units (minimum)			
<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input type="checkbox"/> N/A	Lot size (minimum)	<i>20,000 sq.ft.</i>	<i>3.67 acres</i>	
<input type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input checked="" type="checkbox"/> N/A	Lot size (maximum)			
<input type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input checked="" type="checkbox"/> N/A	Lot width (minimum)			
<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input type="checkbox"/> N/A	Lot depth (maximum)	<i>100 feet</i>	<i>410 feet</i>	

Building Setback, Height, and Coverage Standards (Chapter 9-5A)		Required	Proposed	Notes
<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input type="checkbox"/> N/A	Front Building Setback (minimum)	<i>25'-0"</i>	<i>25'-6"</i>	
<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input type="checkbox"/> N/A	Interior Side Building Setback (minimum)	<i>0'-0"</i>	<i>0'-0"</i>	



MAJOR SPR NO: 2021-06

SUBMITTAL NO: 1  
SUBMITTAL DATE: July 28, 2021

PROJECT TITLE: Master Storage  
DESCRIPTION: 66,131 sq. ft. Expansion  
LOCATION: 3.67 acres on the SEC Iona Avenue and Commerce Way  
Expansion Site: 906 Commerce Way / Existing Site: 1305 Iona Avenue  
APPLICANT: Master Storage 365  
PROPERTY OWNER: MS Lemoore, LLC (Richard Torosian, Representative)  
APN(S): Expansion Site 024-051-012 / Existing Site 024-051-013

<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input type="checkbox"/> N/A	Street Side Building Setback (minimum)	10'-0"	25'-6"	
<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input type="checkbox"/> N/A	Rear Building Setback (minimum)	25'-0"	0'-0"	
<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input type="checkbox"/> N/A	Separation Between Buildings (minimum)	0'-0"	20'-0"	
<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input type="checkbox"/> N/A	Height (maximum)	60'	Varies from 11' to 24' at towers.	
<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input type="checkbox"/> N/A	Floor Area Ratio (minimum)	.10	.41	Site to be developed is 3.67 ac (159,865 sf) with total proposed building area of 66,113 sf for a total of 41% lot coverage ratio.
<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input type="checkbox"/> N/A	Floor Area Ratio (maximum)	.60	.41	

Architectural and Site Design Standards (Chapter 9-5C)		Required	Notes
<input type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input checked="" type="checkbox"/> N/A	Design Standards for Residential Projects		
<input type="checkbox"/> Acceptable <input checked="" type="checkbox"/> Revise <input type="checkbox"/> N/A	Design Standards for Commercial and Industrial Projects	Meet requirements of Section 9-5C-5	Revise plans so that one of the new entry drives and approach should contain at least two (2) of the following: (1) Ornamental landscaping (2) Low decorative wall (3) Monument sign (4) Decorative paving
<input type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input checked="" type="checkbox"/> N/A	Design Standards for Big Box Stores		



MAJOR SPR NO: 2021-06

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Parking and Loading Standards (Chapter 9-5E)		Required	Proposed	Notes
<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input type="checkbox"/> N/A	Number of off-street Parking Spaces	22 new spaces	21 spaces shown  Add one additional space behind the gates near Bldg C outside of any fire lanes.	2 per 1000sf of office space (per Table 9-5E-4-A1) Bldg A1 1510 sf @ 2 per 1000 $1510/1000 = 1.5$ $1.5 \times 2 = 3 \text{ spaces}$ Bldg C 4644 sf @ 4 per 1000 $4644/1000 = 4.6$ $4.6 \times 4 = 19 \text{ spaces}$ Bldg N (keep existing in place)
<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input type="checkbox"/> N/A	Parking Design Standards			
<input type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input checked="" type="checkbox"/> N/A	Loading Design Standards			

<input type="checkbox"/> Downtown Standards (Chapter 9-6) <input type="checkbox"/> Mixed Use Standards (Chapter 9-7) <input type="checkbox"/> Overlay Zones (Chapter 9-9)	Required	Proposed	Notes
<input type="checkbox"/> Acceptable <input type="checkbox"/> Revise <input checked="" type="checkbox"/> N/A			

#### Entitlements Required

- ☒ Major Site Plan Review is required for this project.  
☐ Conditional Use Permit is required for this project.  
☐ Zone Variance is required for this project.  
☐ Tentative Subdivision Map is required for this project.



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- ☐ Tentative Parcel Map is required for this project.
- ☐ Lot Line Adjustment is required for this project.
- ☐ Zone Change is required for this project.
- ☐ General Plan Amendment is required for this project.
- ☒ Other discretionary action required for this project: *Covenant to limit sale of one of the parcels separate from the other requires City acceptance*

**CEQA Document Required** (This is a preliminary determination that will be finalized when the project application is fully submitted and deemed complete.)

- ☐ Exempt from CEQA - Ministerial Exemption: Section 21080(b)(1); 15268.
- ☒ Exempt from CEQA - Categorical Exemption Section 15332 (Infill Development Exemption).
- ☐ Exempt from CEQA - Statutory Exemption Section \_\_\_\_\_.
- ☐ Negative Declaration or Mitigated Negative Declaration.
- ☐ Environmental Impact Report.

**Environmental Technical Documents Required to back up CEQA document** (This is a preliminary determination that will be finalized when the project application is fully submitted and deemed complete.)

- ☐ Air Impact Analysis.
- ☐ Acoustical Analysis.
- ☐ Biological Report.
- ☐ Cultural Records Search.
- ☐ Traffic Impact Assessment.
- ☐ Vehicle Trip Generation Estimates.
- ☐ Covenant.
- ☒ Other: *Biological and cultural clearance memos already prepared to back up finding of CEQA Exemption.*

**General Requirements from Zoning Ordinance that apply to the project when checked.**

- ☒ Meet all Noise, Odor, and Vibration Performance Standards described in Zoning Ordinance Section 9-5B-2.
- ☒ Make all required Property and Utility Improvements described in Zoning Ordinance Section 9-5B-3.
- ☒ Meet all Outdoor Lighting Standards described in Zoning Ordinance Section 9-5B-4.
- ☒ Meet all applicable Fence and Wall Standards described in Zoning Ordinance 9-5B-5.
- ☒ Meet all MWELo requirements for landscape and irrigation plans.



MAJOR SPR NO: 2021-06 SUBMITTAL NO: 1  
SUBMITTAL DATE: July 28, 2021  
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- ☒ Street Trees shall be selected from the approved Street Tree list in Table 9-5D-5-A1.
- ☒ Landscape and Irrigation Plans required at Building Permit submittal. Landscape Plans will be checked for compliance with MWEL, including but not limited to the following conditions:
- Plan shall include square footages of landscaped area shown, water use calculations, and the material to be utilized.
  - Water use classifications shall be based on WUCOLS IV.
  - All required landscape areas shall be included in the Plan.
  - Landscaping shall meet all other applicable requirements of Title 9, Article D1 of the Zoning Ordinance.

#### Other Requirements

- ☒ Additional comments: *This project is an expansion of the Master Storage facility. It is to include more self-storage spaces, a main administrative office, cold storage facilities, rental office suites and some remodeling to existing buildings N and M and additions to buildings K and I.*

*Site to be developed is 3.67 ac (159,865 sf) with total proposed building area of 66,113 sf for a total of 41% lot coverage ratio.*

***The site plan proposes to close the emergency access on the northeast corner of the existing facility. City staff wants the emergency access to remain. The site plan and building plans submitted shall accommodate this revision.***

*Steve Brandt*

\_\_\_\_\_  
Authorized signature

\_\_\_\_\_  
Steve Brandt, AICP, City Planner  
Printed name

\_\_\_\_\_  
9/3/2021  
Date



MAJOR SPR NO: 2021-06

SUBMITTAL NO: 1  
SUBMITTAL DATE: July 28, 2021

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**BUILDING COMMENTS DATED: 8/24, 2021**

The following comments are applicable when checked:

- ☒ These are general comments and DO NOT constitute a complete plan check for your specific project. Please refer to the applicable California Code and local ordinances for additional requirements.
- ☐ Business Tax certification is required. *For information call (559) 924-6744 ext. 712*
- ☒ A building permit will be required. *For information call (559) 924-6744 ext. 730*
  - ☐ Submit 3 sets of professionally prepared plans and 2 sets of calculations (Small Tenant Improvements).
  - ☒ Submit 5 sets of plans signed by an architect or engineer. Must comply with 2010 California Building Code Sec. 2308 for conventional light-frame construction or submit 2 sets of engineered calculations.
- ☐ Indicate abandoned wells, septic systems and excavations on construction plans.

**You are responsible to ensure compliance with the following checked items:**

- ☒ Meet State and Federal Americans with Disabilities Act (ADA) requirements.
- ☒ A path of travel, parking and common area must comply with ADA Requirements.
- ☐ All accessible units must meet ADA Requirements.
- ☐ Maintain sound transmission control between units minimum of 50 STC.
- ☒ Maintain fire-resistive requirements at property lines.
- ☐ Demolition permit and deposit is required. *For information call (559) 924-6744 ext. 730*
- ☐ Obtain required permits from San Joaquin Valley Air Pollution Control District.  
*For information call (559) 230-6000*
- ☐ Location of cashier must provide clear view of gas pump island.
- ☐ Treatment connection charge to be assessed based on use.
- ☐ Plans must be approved by the Kings County Health Department. *For information call (559) 584-1411*
- ☐ Project is located in flood zone \_\_\_\_\_. ☐ Hazardous materials report.
- ☐ Arrange for an onsite inspection. *For information call (559) 924-6744 ext. 730 (Inspection fees may apply.)*
- ☒ School Development fees: *For information call (559) 924-6744 ext. 730*
- ☐ Park Development fee \$\_\_\_\_\_ per unit collected with building permits.
- ☐ Existing address must be changed to be consistent with City address. *Call (559) 924-6744 ext. 740*

Additional comments: IMPACT FEES AND SCHOOL FEES WILL BE ADDED TO BUILDING PERMIT.

- ☐ No comments. Acceptable as submitted.

Authorized signature

Tim Linton, Building Official

Printed name

Date

8/24/2021



MAJOR SPR NO: 2021-06 SUBMITTAL NO: 1  
SUBMITTAL DATE: July 28, 2021  
PROJECT TITLE: Master Storage  
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PROPERTY OWNER: MS Lemoore, LLC (Richard Torosian, Representative)  
APN(S): Expansion Site 024-051-012 / Existing Site 024-051-013

**ENGINEERING SITE PLAN REVIEW COMMENTS DATED: September 3, 2021**

**Recommended action:**

- ☐ Acceptable as submitted. See applicable comments below for permit application.
- ☒ Revise per comments below (*Additional comments* section under Site Plan requirements). Resubmittal not required. See applicable comments below for permit application.
- ☐ Resubmit with additional information. See comments below.
- ☐ Redesign required. See comments below.

---

**The following items are required to be shown on the Site Plan or provided with the Site Plan:**

- ☐ Show entire property boundary with dimensions.
- ☒ Show all adjacent streets including existing and proposed improvements, such as curb, gutter, drive approaches, sidewalk, transit/bus stops, etc.: ☒ Show sidewalk: 5 ft. min. wide, with 0 ft. wide parkway (match existing width in area); ☒ Show locations of all drive approaches per City Standards; ☒ Provide ADA compliant sidewalk at drive approaches
- ☒ Show existing on-site structures and improvements on the site, such as buildings, wells, septic tanks, fences, driveways, etc., and note if they are to remain, removed, relocated or demolished.
- ☒ Show existing structures and improvements adjacent to the site.
- ☐ Show all proposed on-site improvements including buildings with entry and loading access location, parking lot layout, landscape areas, pedestrian access/pathways, trash/refuse enclosure, mailbox/postal unit, etc. per City Standards and Building Code requirements. Include vehicle/truck path of travel for drive thru aisles, loading areas and trash/refuse enclosure.
- ☐ Show location and proposed size of all City water and sanitary sewer services to serve the project per City Standards. City mains to be used for this project are located here: Water: 12" in Commerce & Enterprise; Sewer: 10" in Commerce & Enterprise.
- ☒ Show proposed on-site fire hydrants per Fire Department requirements.
- ☐ Show temporary fire and emergency access. ☒ Provide all-weather fire and emergency access road. **Also, provide easement/covenant for access of emergency vehicles to existing development.**
- ☒ Show proposed disposal of storm runoff: ☐ On-site basin required per City Standards, ☒ Surface drain to street, ☒ Connect to City storm drain system: **Use low impact development practices for storm drainage; drain to landscape areas with overflow to street/drainage system.**
- ☐ Caltrans comments required prior to approval of project.
- ☐ Written comments required from ditch company.
- ☒ Additional comments: **Confirm with Fire Dept that the NE access on existing development can be closed. Recommend this remain open for emergency vehicles.**



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Expansion Site: 906 Commerce Way / Existing Site: 1305 Iona Avenue

APPLICANT: Master Storage 365  
PROPERTY OWNER: MS Lemoore, LLC (Richard Torosian, Representative)  
APN(S): Expansion Site 024-051-012 / Existing Site 024-051-013

**The following are required with permit application:**

- ☒ Submit on-site grading and improvement plans and off-site improvement plans detailing all proposed work. On-site and off-site improvement plans to be prepared and signed by registered civil engineer. Project architect may prepare and sign on-site improvement plans.
- ☒ City encroachment permit required which shall include an approved traffic control plan.
- ☐ Caltrans encroachment permit required.
- ☐ Caltrans comments required prior to approval of project.
- ☐ Written comments required from ditch company.
- ☐ All public streets within project limits and across project frontage shall be improved to their full width, subject to available right-of-way, in accordance with City policies, standards and specifications.
- ☐ Dedicate additional right-of-way along \_\_\_\_\_. Right-of-way dedication required by grant deed. A title report is required for verification of ownership.
- ☐ Install street striping as required by the City Engineer.
- ☒ Install sidewalk: 5 ft. min. wide, with 0 ft. wide parkway on Commerce & Iona (match existing in area).
- ☒ Show locations of all drive approaches and construct to City Standards. **Show sight lines for exiting traffic onto public streets. Keep required sight line areas clear of obstructions per City Stds.**
- ☒ Cluster mailbox supports required or use postal unit.
- ☒ Landscape and irrigation improvement plans to be submitted for the entire project. Landscape plans will need to comply with the City of Lemoore's street tree ordinance and the State MWELo requirements.
- ☒ On-site potable water and fire protection water master plan for the entire development shall be submitted for approval prior to approval of any phase of the development. The water system will need to be extended to the boundaries of the development where future connection and extension is anticipated. The water system will need to be sized to serve any future developments that are anticipated to connect to the system.
- ☒ On-site sanitary Sewer master plan for the entire development shall be submitted for approval prior to approval of any phase of the development. The sewer system will need to be extended to the boundaries of the development where future connection and extension is anticipated. The sewer system will need to be sized to serve any future developments that are anticipated to connect to the system.
- ☒ Grading and drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades.
  - ☒ Prepared by a registered civil engineer or project architect.
  - ☒ All elevations shall be based on the City's benchmark network.Storm run-off from the project shall be handled as follows:
  - ☒ Directed to the City's existing storm drainage system; **Use low impact development practices – drain to on-site landscape areas with overflow to street/drainage system.**
  - ☐ Directed to a permanent on-site basin per City Standards



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- ☐ Directed to a temporary on-site basin which is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin shall be constructed in accordance with City Standards.
- ☐ Protect Oak trees during construction.
- ☒ Show adjacent property grade elevations on improvement plans. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.
- ☒ Relocate existing utility poles and/or facilities as required to construct improvements.
- ☐ Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding.
- ☒ Provide R-value tests; 2 min. at on-site locations, provide copy of geotechnical report with plan submittal.
- ☒ Traffic indexes per City standards: *min T.I.=5.5 for refuse truck travel areas/drive aisles.*
- ☐ Subject to existing reimbursement agreement to reimburse prior developer.
- ☒ Abandon any existing wells per Code; a building permit is required.
- ☒ Remove existing irrigation lines and dispose off-site.
- ☒ Remove existing leach fields and septic tanks.
- ☒ Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air Pollution Control District's Regulation VIII. Copies of any required permits will be provided to the City of Lemoore.
- ☒ The project may be subject to the San Joaquin Valley Air Pollution Control District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City of Lemoore.
- ☒ If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit will be provided to the City of Lemoore.

Additional comments: See attached red-lined markup for additional comments. Provide easement/covenant for access by emergency vehicles across property to existing development. Provide confirmation from Fire Dept. that NE access on existing development can be closed and any conditions for closure.

Jeff Cowart  
Authorized signature

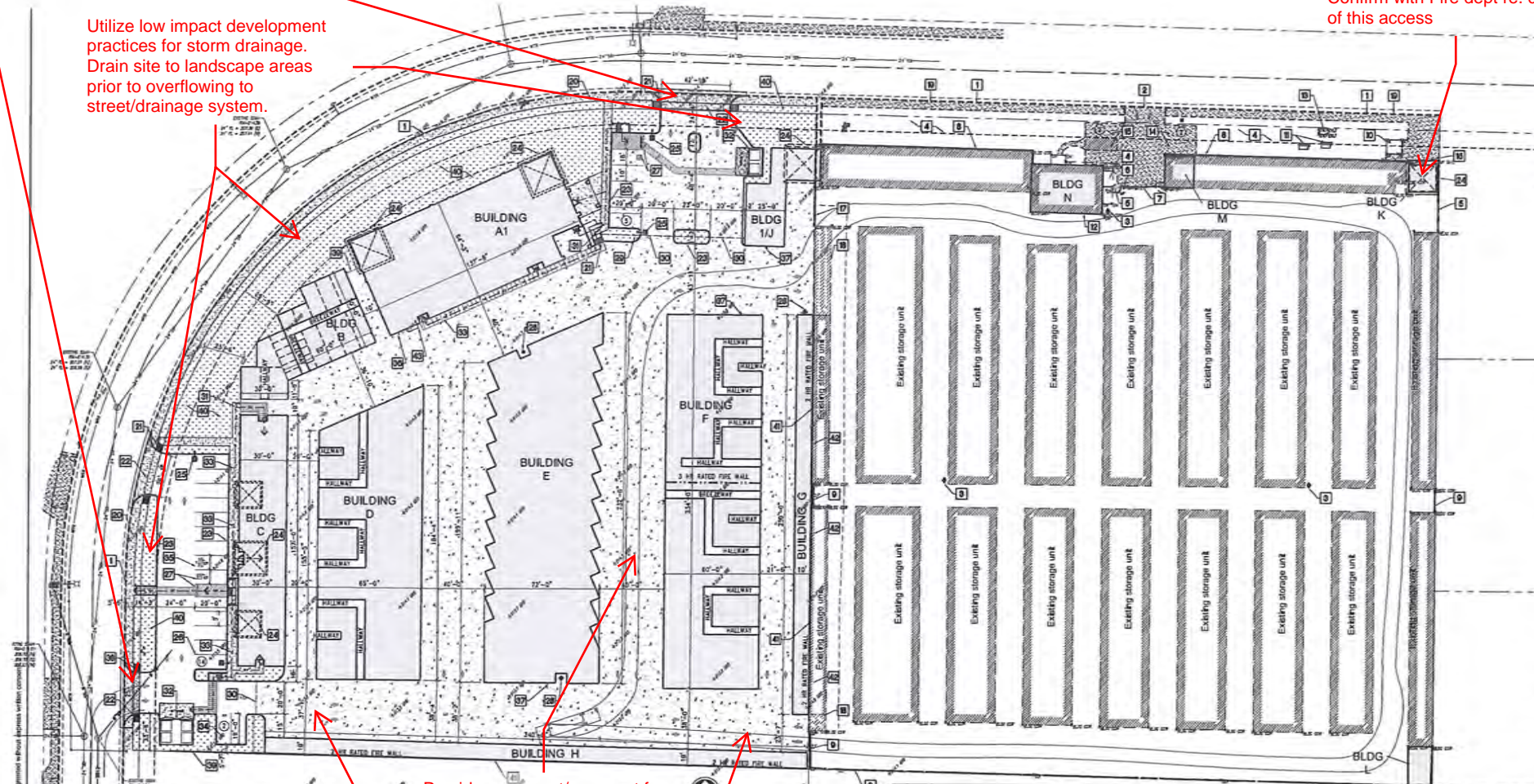
9-3-21  
Date

Jeff Cowart, PE City Engineer  
Printed name

Check sight distance at drive approaches for exiting traffic

Utilize low impact development practices for storm drainage. Drain site to landscape areas prior to overflowing to street/drainage system.

Confirm with Fire dept re. closure of this access



Site Plan

Provide easement/covenant for emergency access across this property if needed to serve existing development.

Site Keynotes	
No.	Description
1	EXISTING CONCRETE CURB & DUTCH
2	EXISTING DRIVE APPROACH
3	EXISTING FIRE HYDRANT
4	EXISTING LANDSCAPING
5	EXISTING WROUGHT IRON FENCE
6	EXISTING WROUGHT IRON GATE
7	EXISTING WROUGHT IRON VEHICULAR SLIDING GATE
8	EXISTING CMU BLOCK WALL
9	EXISTING CHAIN LINK FENCE WITH LOW RETAINING BLOCK WALL
10	EXISTING TRANSFORMERS
11	EXISTING ELECTRICAL PANELS
12	EXISTING ELECTRICAL VAULT
13	EXISTING PARKING STALLS
14	EXISTING TRASH ENCLOSURE
15	EXISTING CHAIN LINK FENCE WITH LOW RETAINING BLOCK WALL
16	EXISTING WROUGHT IRON VEHICULAR SLIDING GATE TO BE REMOVED
17	EXISTING CHAIN LINK FENCE AND LOW RETAINING BLOCK WALL TO BE REMOVED
18	KAREN LINE INDICATES EXISTING PORTION OF BUILDING TO BE REMOVED
19	EXISTING CITY SIDEWALK
20	SIDEWALK FOR CITY OF LEMOORE STD. P-3
21	ACCESSIBLE CURB RAMP
22	DRIVE APPROACH FOR CITY OF LEMOORE STD. C-8A
23	6" CONCRETE CURB
24	ARCHITECTURAL BUILDING TOWERS
25	SITE LIGHT PER CITY STANDARDS
26	PARKING STALL AND STOPPING PER CITY STANDARDS
27	ACCESSIBLE PARKING STALLS, LOADING AISLE, RAMP, AND SIGNAGE
28	FIRE HYDRANT FOR CITY OF LEMOORE STD. W-6
29	6 FOOT HIGH WROUGHT IRON FENCE POWDER COATED COLOR BLACK
30	6 FOOT HIGH WROUGHT IRON VEHICULAR SLIDING GATE POWDER COATED COLOR BLACK FIRE/EMERGENCY KNOW AS REQ'D
31	6 FOOT HIGH AND 4" WIDE WROUGHT IRON GATE WITH PANG HANDRAIL ON FLUSH SIDE AND LEVER HANDRAIL ON FULL SIDE
32	TRASH ENCLOSURE PER CITY OF LEMOORE STD. W-8 & W-3
33	PATH OF TRAVEL, S.C. TO FIELD VERIFY SW WALK IN CROSS SECTION AND SW SWEEP WALK IN DIRECTION OF TRAVEL
34	FUTURE ELECTRIC CAR CHARGING STATIONS PER CALIFORNIA
35	CLEAN AIR VEHICLE PARKING STRIPPED PER CALIFORNIA
36	FIRE RISER
37	"NO PARKING FIRE LANE" SIGN
38	LOCATION OF FIRE DEPARTMENT CONNECTION
39	7 FOOT HIGH CMU BLOCK WALL PER CITY OF LEMOORE STD. W-1
40	LANDSCAPE AREA
41	3 HR FIRE RATED WALL REQUIRED AT BLDG 'M' AND 'N' AT REAR WALL NEAR PROPERTY LINE PER CALIF. 2019
42	EXISTING 2 HR FIRE RATED TO BE MAINTAINED
43	MAN ELECTRICAL SWITCH GEAR
44	NOT USED

Project Information

Applicant: MASTER STORAGE 365  
Address: 1305 W. IONA AVE., LEMOORE, CA 93243  
A.P.N.: 024-031-012

Site Area

Area = 3.47 ACRES  
EXISTING ZONE: LIGHT INDUSTRIAL  
EXISTING USE: VACANT  
PROPOSED USE: SELF STORAGE FACILITY

PARKING REQUIRED PER OFFICE SPACE:  
1 SPACE PER 400 SQ. FT. OF OFFICE SPACE  
TOTAL OFFICE AREA:  
BLDG 'A' OFFICE AREA ONLY  
BLDG 'M' 4,844 / 400 = 12 STALLS  
BLDG 'N' EXISTING NETWORK  
1,349 / 400 = 3 STALLS TOTAL  
REQUIRED PARKING = 15 STALLS

PROPOSED NEW PARKING  
NEW STANDARD STALLS = 20 STALLS 8'x20'  
NEW ACCESSIBLE STALLS = 2 STALLS  
EX STANDARD STALLS = 3 STALLS 8'x20'  
EX ACCESSIBLE STALLS = 1 STALLS  
TOTAL STALLS = 25 STALLS

Building Areas

No.	STORIES	DESCRIPTION	NO. STORAGE UNITS	BLDG AREA	OCCUP. TYPE	SPECIALTY
A	1 STORY	SELF SERVICE STORAGE	1,349	1,349	S-1	NO
B	1 STORY	STORAGE	STO. UNIT 25	3,409	S-1	NO
C	1 STORY	OFFICE	---	4,844	S-1	NO
D	1 STORY	STORAGE	STO. UNIT 109	12,336	S-1	NO
E	1 STORY	STORAGE	STO. UNIT 24	14,812	S-1	NO
F	1 STORY	STORAGE	STO. UNIT 158	12,754	S-1	NO
G	1 STORY	STORAGE	STO. UNIT 25	3,409	S-1	NO
H	1 STORY	STORAGE	STO. UNIT 34	3,409	S-1	NO
I	1 STORY	STORAGE	STO. UNIT 26	1,822	S-1	NO
J	1 STORY	STORAGE	STO. UNIT 22	380	S-1	NO
K	1 STORY	STORAGE	STO. UNIT 22	380	S-1	NO
L	1 STORY	STORAGE	STO. UNIT 22	380	S-1	NO
M	1 STORY	STORAGE	STO. UNIT 22	380	S-1	NO
N	1 STORY	OFFICE	---	1,349	S-1	NO
TOTAL BUILDING AREA				68,131 SQ. FT.		
TOTAL COLD STO. UNIT			99	5% ACCESSIBLE = 5 UNITS		
TOTAL WARE STO. UNIT			80	5% ACCESSIBLE = 5 UNITS		
TOTAL STORAGE UNIT			254	5% ACCESSIBLE = 10 UNITS		
TOTAL RATIO/STORAGE UNIT			24	5% ACCESSIBLE = 1 UNITS		

Accessible Stor. units

PER CBC 2019 11B-225.5  
SELF SERVICE STORAGE  
FACILITIES  
PER PARC 11B-225-3  
1 TO 200 5% REQUIRED ACCESSIBLE  
201 AND OVER 10, PLUS 2 PERCENT  
OF TOTAL NUMBER OF UNITS OVER 200  
UNITS  
AT ACCESSIBLE SEE DETAIL 10/A-4  
FOR REACH RANGES, OPERABLE PARTS  
SHALL NOT BE HIGHER THAN 48" FROM  
FIN. F.L. AND SEE DETAIL 7/A-4 FOR  
FLOOR CLEARANCE AT DOORS



**SJA**  
Design Group  
1915 Carolina Ave.  
Clovis, CA 93611  
PH: 509.593.9692

Master Storage 365  
Iona Ave  
Lemoore, CA



Date: 07.15.21  
Drawn By: Susan Jones  
Project # 21002

Site Plan

Revisions  
X



MAJOR SPR NO: 2021-06

SUBMITTAL NO: 1  
SUBMITTAL DATE: July 28, 2021

PROJECT TITLE: Master Storage  
DESCRIPTION: 66,131 sq. ft. Expansion  
LOCATION: 3.67 acres on the SEC Iona Avenue and Commerce Way  
Expansion Site: 906 Commerce Way / Existing Site: 1305 Iona Avenue  
APPLICANT: Master Storage 365  
PROPERTY OWNER: MS Lemoore, LLC (Richard Torosian, Representative)  
APN(S): Expansion Site 024-051-012 / Existing Site 024-051-013

**PUBLIC WORKS COMMENTS DATED: 8-23, 2021**

**REFUSE**

Required

Complete

The following comments are applicable for your site plan when checked:

- |                                     |                          |   |
|-------------------------------------|--------------------------|---|
| <input type="checkbox"/>            | <input type="checkbox"/> | Type of refuse service not indicated.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | You are responsible for all cardboard and other bulky recyclables to be broken down before depositing in recycle containers.  |
| <input type="checkbox"/>            | <input type="checkbox"/> | Refuse enclosure not to City of Lemoore Standards.  |
| <input type="checkbox"/>            | <input type="checkbox"/> | Refuse enclosure(s) must be M-6 single dumpster enclosure(s).   |
| <input type="checkbox"/>            | <input type="checkbox"/> | Refuse enclosure(s) must be M-6 double dumpster enclosure(s). <i>Room for minimum 4 dumpsters.</i>  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Refuse enclosure gates required.  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | You must provide combination or keys for access to locked gates / bins.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Location of bin enclosure not acceptable. Relocate to: <u>GATES MUST OPEN 180 DEG.</u>  |
| <input type="checkbox"/>            | <input type="checkbox"/> | Inadequate number of bins to provide sufficient service.  |
| <input type="checkbox"/>            | <input type="checkbox"/> | Drive approach too narrow for refuse truck access. <i>Provide vehicle turning movement layout.</i>  |
| <input type="checkbox"/>            | <input type="checkbox"/> | Area not adequate to allowing refuse truck turning radius: <i>Based on vehicle turning movement layout.</i><br><input type="checkbox"/> Commercial ____ ft. outside ____ ft. inside; <input type="checkbox"/> Residential ____ ft. outside ____ ft. inside. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Paved areas should be engineered to withstand a 55,000 lb. refuse truck.  |
| <input type="checkbox"/>            | <input type="checkbox"/> | Hammerhead turnaround required at: _____.   |
| <input type="checkbox"/>            | <input type="checkbox"/> | Cul-de-sac must be built per City of Lemoore Standards.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Refuse enclosures are for City refuse containers only. Storage of grease drums or any other items is not allowed.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Refuse enclosure gates must open 180 degrees and hinges mounted in front of post.   |
| <input type="checkbox"/>            | <input type="checkbox"/> | Concrete slab required in front of enclosure per Lemoore City Standards.  |
| <input type="checkbox"/>            | <input type="checkbox"/> | Area in front of refuse enclosures must be striped with NO PARKING.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Refuse enclosure to be designed and located for STAB service (DIRECT ACCESS).   |
| <input type="checkbox"/>            | <input type="checkbox"/> | You will be required to roll container out to curb for service.   |
| <input type="checkbox"/>            | <input type="checkbox"/> | Roll off compactors must have a clearance of 3 feet from any wall on both sides and there must be a minimum of 53 feet clearance in front of the compactor to allow truck service.  |
| <input type="checkbox"/>            | <input type="checkbox"/> | Additional comments: <u>Please refer to "Red Marked " plan for comments</u>   |



MAJOR SPR NO: 2021-06  
SUBMITTAL NO: 1  
SUBMITTAL DATE: July 28, 2021

PROJECT TITLE: Master Storage  
DESCRIPTION: 66,131 sq. ft. Expansion  
LOCATION: 3.67 acres on the SEC Iona Avenue and Commerce Way  
Expansion Site: 906 Commerce Way / Existing Site: 1305 Iona Avenue

APPLICANT: Master Storage 365  
PROPERTY OWNER: MS Lemoore, LLC (Richard Torosian, Representative)  
APN(S): Expansion Site 024-051-012 / Existing Site 024-051-013

☐ No comments. Refuse acceptable as submitted.

**THE FOLLOWING CHECKED ITEMS ARE APPLICABLE FOR FUTURE PERMITS AND ARE CONDITIONS OF APPROVAL.**

Required	Complete	
		<b><u>STORM WATER</u></b>
		The following comments are applicable to your site plan when checked:
<input type="checkbox"/>	<input type="checkbox"/>	-
<input type="checkbox"/>	<input type="checkbox"/>	-
<input type="checkbox"/>	<input type="checkbox"/>	-
<input type="checkbox"/>	<input type="checkbox"/>	-
<input type="checkbox"/>	<input type="checkbox"/>	-
<input type="checkbox"/>	<input type="checkbox"/>	-
<input type="checkbox"/>	<input type="checkbox"/>	Additional comments: <u>It is recommended that water run-off drain into landscape swale before entering storm drain system sheet flow to gutter. Further discussion will occur when improvement drawings are submitted.</u>
		_____
		_____
		_____

☐ No comments. Storm Water acceptable as submitted.

Required	Complete	
		<b><u>STREETS / TRAFFIC</u></b>
		The following comments are applicable to your site plan when checked:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	The City will prohibit on-street parking as deemed necessary.
<input type="checkbox"/>	<input type="checkbox"/>	Install street light(s) per City of Lemoore Standards.
<input type="checkbox"/>	<input type="checkbox"/>	Install street name blades at each intersection. Street names to be modified to the alignment of existing streets and without duplicating names.
<input type="checkbox"/>	<input type="checkbox"/>	Install stop signs at interior roadways intersecting with: _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Construct parking per City of Lemoore Standards.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Construct drive approach(es) per City of Lemoore Standards.
<input type="checkbox"/>	<input type="checkbox"/>	Traffic Impact Study required.
<input type="checkbox"/>	<input type="checkbox"/>	Additional comments: _____
		_____



MAJOR SPR NO: 2021-06  
SUBMITTAL NO: 1  
SUBMITTAL DATE: July 28, 2021

PROJECT TITLE: Master Storage  
DESCRIPTION: 66,131 sq. ft. Expansion  
LOCATION: 3.67 acres on the SEC Iona Avenue and Commerce Way  
Expansion Site: 906 Commerce Way / Existing Site: 1305 Iona Avenue

APPLICANT: Master Storage 365  
PROPERTY OWNER: MS Lemoore, LLC (Richard Torosian, Representative)  
APN(S): Expansion Site 024-051-012 / Existing Site 024-051-013

☐ No comments. Streets / Traffic acceptable as submitted.

Required

Complete

**WASTEWATER**

The following comments are applicable to your site plan when checked:

- |                                     |                          |  |
|-------------------------------------|--------------------------|--|
| <input type="checkbox"/>            | <input type="checkbox"/> | Wastewater discharge permit application required.                                  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Sand and Grease Interceptor required – _____ If food facility is constructed _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Grease interceptor required. _____   |
| <input type="checkbox"/>            | <input type="checkbox"/> | Garbage grinder required – _____ hp. Maximize. _____                               |
| <input type="checkbox"/>            | <input type="checkbox"/> | Submission of dry process declaration required.                                    |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | No single pass cooling water is permitted. _____                                   |
| <input type="checkbox"/>            | <input type="checkbox"/> | Additional Comments <u>Plan does not indicate new sewer connection?</u>            |

☐ No comments. Wastewater acceptable as submitted.

Required

Complete

**WATER**

The following comments are applicable to your site plan when checked:

- |                          |                          |  |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | -  |
| <input type="checkbox"/> | <input type="checkbox"/> | -  |
| <input type="checkbox"/> | <input type="checkbox"/> | -  |
| <input type="checkbox"/> | <input type="checkbox"/> | -  |
| <input type="checkbox"/> | <input type="checkbox"/> | -  |
| <input type="checkbox"/> | <input type="checkbox"/> | -  |
| <input type="checkbox"/> | <input type="checkbox"/> | Additional comments: <u>Plan does not indicate new water service connection?</u> |



MAJOR SPR NO:	2021-06	SUBMITTAL NO:	1
		SUBMITTAL DATE:	July 28, 2021
PROJECT TITLE:	Master Storage		
DESCRIPTION:	66,131 sq. ft. Expansion		
LOCATION:	3.67 acres on the SEC Iona Avenue and Commerce Way		
	Expansion Site: 906 Commerce Way / Existing Site: 1305 Iona Avenue		
APPLICANT:	Master Storage 365		
PROPERTY OWNER:	MS Lemoore, LLC (Richard Torosian, Representative)		
APN(S):	Expansion Site 024-051-012 / Existing Site 024-051-013		

☐ No comments. Water acceptable as submitted.

\_\_\_\_\_  
Authorized signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Frank Rivera, Public Works Director  
Printed name



## Site Plan

Revisions  
X

## A1.0



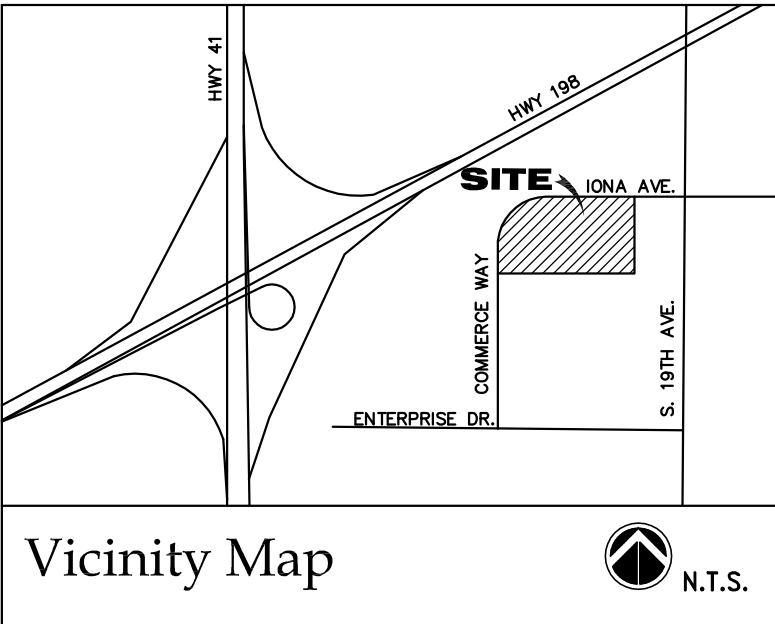
Project Information		Building Areas						
Applicant: MASTER STORAGE 365 5782 E. SILAXO ROAD CLOVIS, CA. 93619		No.	STORIES	DESCRIPTION	No. STORAGE UNITS	BLDG AREA	OCCUP. TYPE	SPKINKLERS
Address: 1305 W. IONA AVE. LEMOORE, CA 93245		A	1 STORY	MIXED USE STORAGE	COLD STORAGE UNITS 99 WINE STO. 60	1,510sf 6,943sf	B S-1	YES
				B	1 STORY	STORAGE	STO. UNIT 25	3,403sf
A.P.N.: 024-051-012		C	1 STORY	OFFICE	---	4,644sf	B	NO
Site Area: AREA = 3.67 ACRES		D	1 STORY	STORAGE	STO. UNIT 109	12,330sf	S-1	NO
EXISTING ZONE: LIGHT INDUSTRIAL		E	1 STORY	STORAGE	RV UNIT 24	14,412sf	S-1	YES
EXISTING USE: VACANT		F	1 STORY	STORAGE	STO. UNIT 159	12,795sf	S-1	NO
PROPOSED USE: SELF STORAGE FACILITY		G	1 STORY	STORAGE	STO. UNIT 25	2,500sf	S-1	NO
PARKING REQUIRED PER OFFICE SPACE: 1 SPACE PER 400 SQ. FT. OF OFFICE SPACE		H	1 STORY	STORAGE	STO. UNIT 34	3,400sf	S-1	NO
TOTAL OFFICE AREA		I/J	1 STORY	STORAGE	STO. UNIT 06	1,622sf	S-1	NO
BLDG 'A' OFFICE AREA ONLY 1,510 / 400 = 4 STALLS		K	1 STORY	STORAGE	STO. UNIT 02	392sf	S-1	NO
BLDG 'C' 4,644 / 400 = 12 STALLS		L	1 STORY	STORAGE	STO. UNIT 02	360sf	S-1	NO
BLDG 'N' EXISTING REMODEL 1,340 / 400 = 4 STALLS TOTAL		M	1 STORY	STORAGE	STO. UNIT 02	480sf	S-1	NO
REQUIRED PARKING = 16 STALLS		N	1 STORY	OFFICE	---	1,340sf	B	NO
PROPOSED NEW PARKING		TOTAL BUILDING AREA				66,131 SQ. FT.		
NEW STANDARD STALLS = 20 STALLS 9'x20'		TOTAL COLD STO. UNIT			99	5% ACCESSIBLE = 5 UNITS		
NEW ACCESSIBLE STALLS = 2 STALLS		TOTAL WINE STO. UNIT			60	5% ACCESSIBLE = 3 UNITS		
EX STANDARD STALLS = 3 STALLS 9'x20'		TOTAL STORAGE UNIT			364	5% ACCESSIBLE = 18 UNITS		
EX ACCESSIBLE STALLS = 1 STALLS		TOTAL RV/STORAGE UNIT			24	5% ACCESSIBLE = 1 UNITS		
TOTAL STALLS = 26 STALLS								

## Accessible Stor. units

---

PER CBC 2019 11B-225.5  
SELF SERVICE STORAGE STORAGE  
FACILITIES  
PER TABLE 11B-225-3  
1 TO 200 5% REQUIRED ACCESSIBLE  
201 AND OVER 10, PLUS 2 PERCENT  
TOTAL NUMBER OF UNITS OVER 200  
REQ'D

AT ACCESSIBLE, SEE DETAIL 10/A.4  
FOR REACHING, OPERABLE PARTS  
SHALL NOT BE HIGHER THAN 48" FROM  
FIN. FLR. AND SEE DETAIL 7/A.4 FOR  
FLOOR CLEARANCE AT DOORS



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Building A1 - Floor Plan

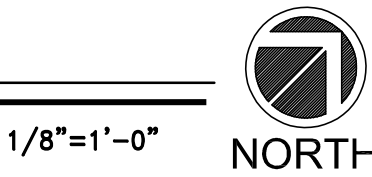
BUILDING AREA = 8,453 SF  
COVERED AREA = 6,62 SF

PER TABLE 1004.1.2 MAX. FLOOR AREA ALLOWANCE PER OCCUPANT  
BUILDING OCCUPANCY CALCULATION

OFFICE	= 1,510sf (150 GROSS O.L.F.)
	= 1,510 / 150 = 10 OCCUPANTS
STORAGE	= 6,943sf (500 GROSS O.L.F.)
	= 6,943 / 500 = 14 OCCUPANTS
TOTAL OCCUPANTS	= 24 OCCUPANTS

PER TABLE CBC 1006.2.1, EXITS & COMMON PATH OF EXITS

S OCCUPANCIES THAT EXCEED 29 OCCUPANTS REQUIRE 2 EXITS.  
PROPOSED PLAN SHOWS (3) EXIT  
COMMON PATH OF EXIT 100 FEET WITH SPRINKLERS

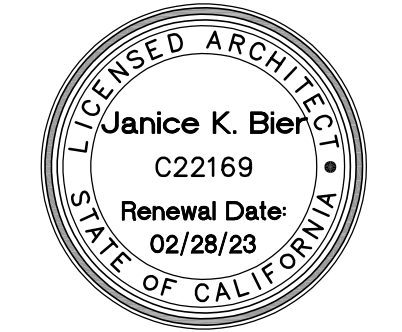


SJA

Design Group

1915 Carolina Ave.  
Clovis CA 93611  
PH: 559. 593.9692

Master Storage 365  
Iona Ave  
Lemoore, CA



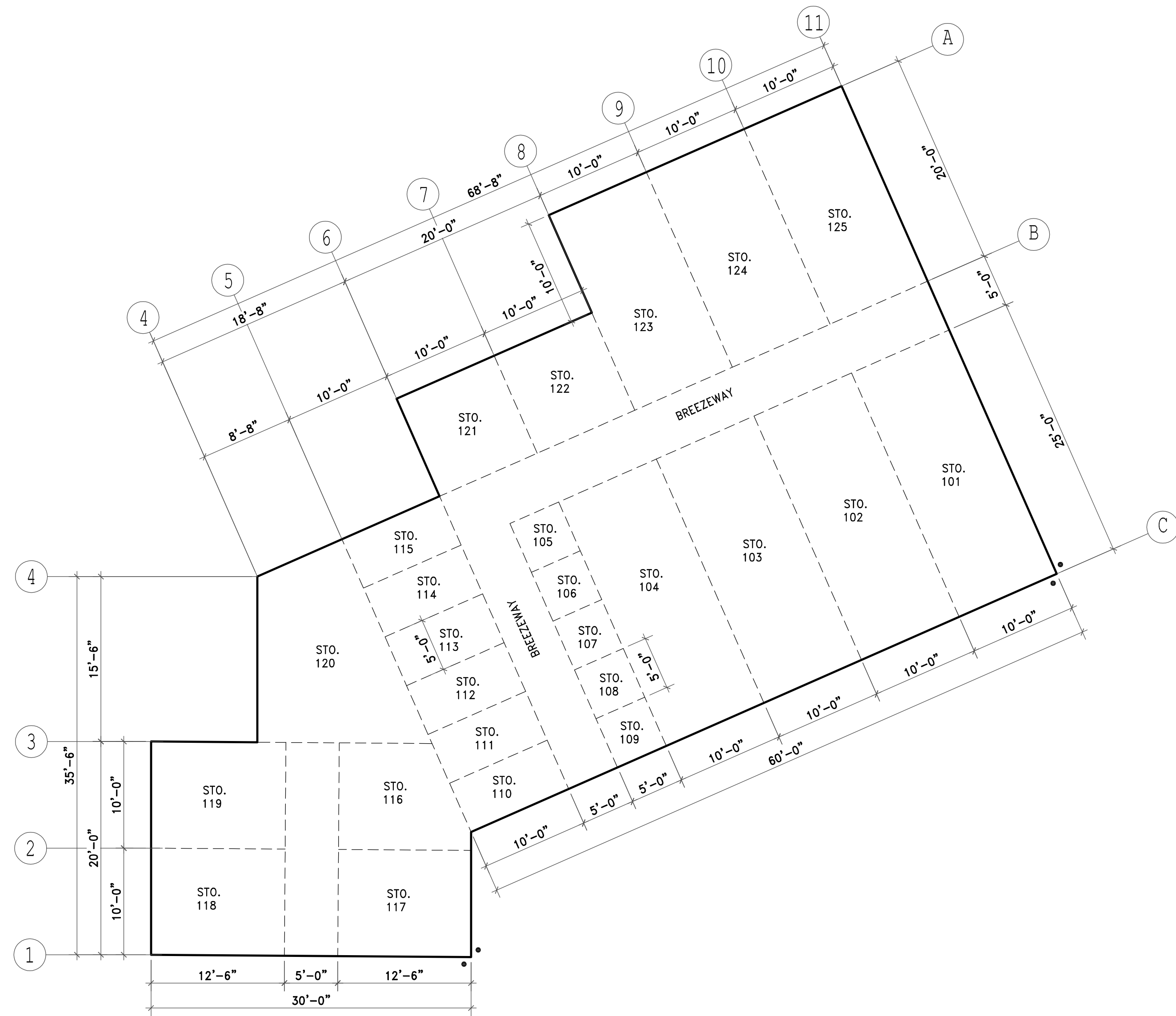
Date: 04.23.21  
Drawn By: Susan Jones  
Project # 21002

Floor Plan  
Bldg - A

Revisions  
△ X

SHEET No.

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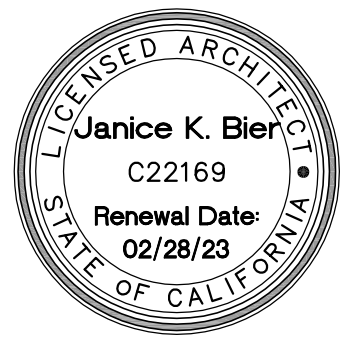
Building B - Floor Plan

BUILDING AREA = 2,928sf  
BREEZEWAYS = 475sf  
TOTAL BLDG AREA = 3,403 SF

1/8"=1'-0"



Master Storage 365  
Iona Ave  
Lemoore, CA



Date: 07.15.21  
Drawn By: Susan Jones  
Project # 21002

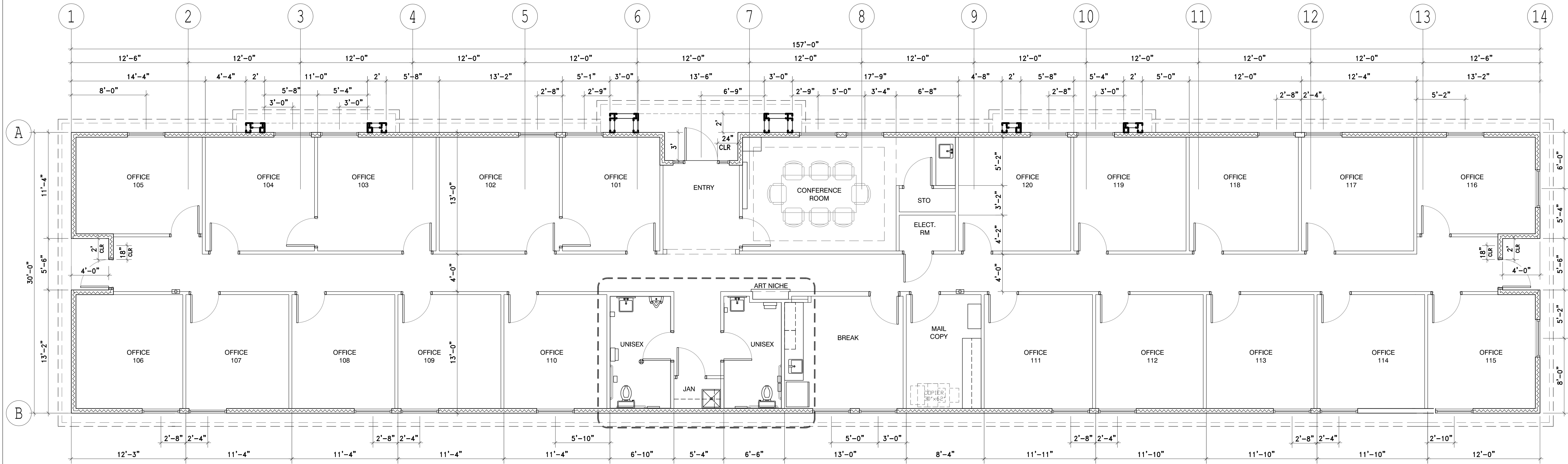
Floor Plan  
Bldg - B

Revisions  
△ x

SHEET No.

A2.1b

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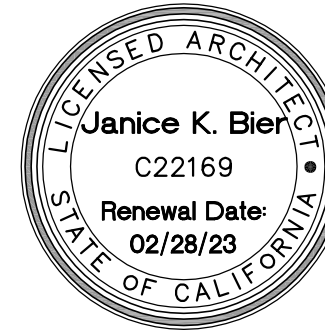


Building C - Floor Plan

BUILDING AREA = 4,642 SF  
COVERED AREA = 95 SF



Master Storage 365  
Iona Ave  
Lemoore, CA



Date: 07.15.21  
Drawn By: Susan Jones  
Project # 21002

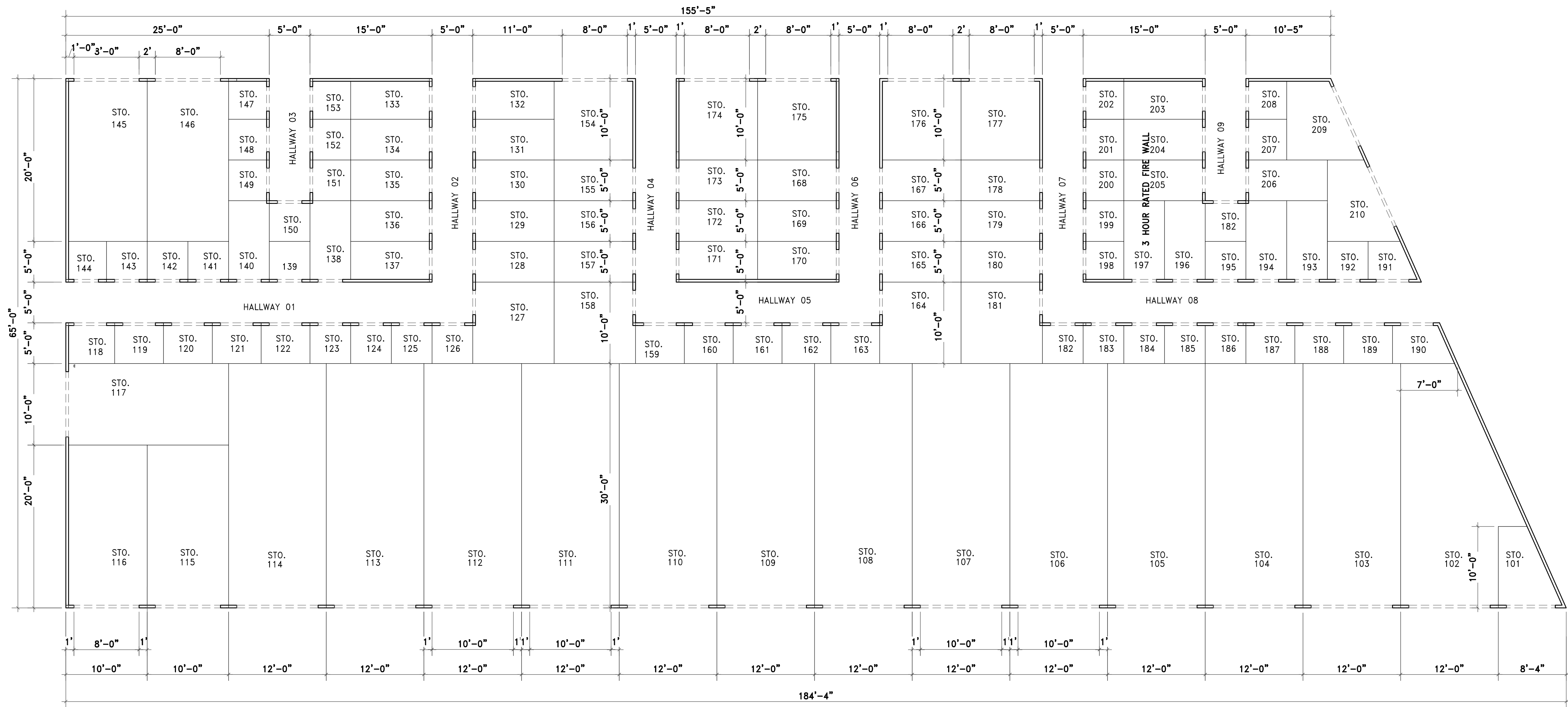
Floor Plan  
Bldg - C

Revisions  
X

SHEET No.

A2.1c

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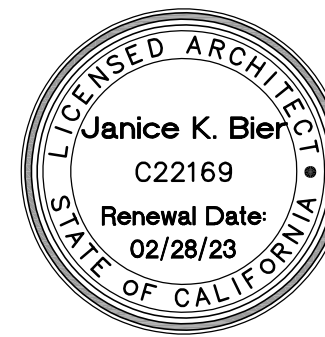
Building D - Floor Plan

BUILDING AREA = 11,043sf  
PLUS HALLWAYS & BREEZEWAYS = 1,287sf

1/8"=1'-0"



Master Storage 365  
Iona Ave  
Lemoore, CA



Date: 04.23.21  
Drawn By: Susan Jones  
Project # 21002

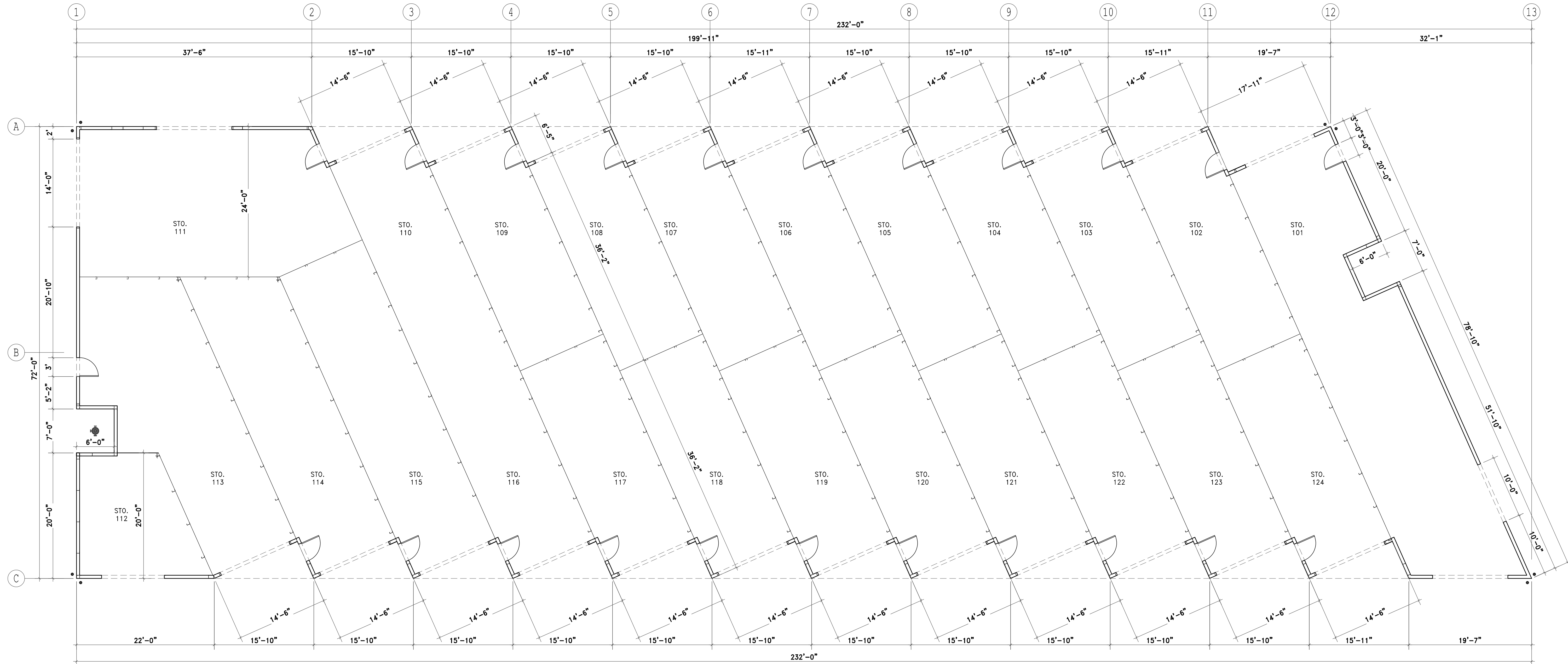
Floor Plan  
Bldg - D

Revisions  
X

SHEET No.

A2.1d

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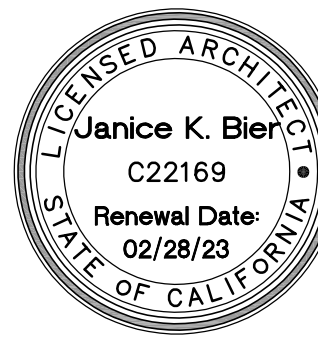
Building E - Floor Plan

BUILDING AREA = 14,412SF

1/8"=1'-0"



Master Storage 365  
Iona Ave  
Lemoore, CA



Date: 04.23.21  
Drawn By: Susan Jones  
Project # 21002

Floor Plan  
Bldg - E

Revisions  
△ X

SHEET No.

A2.1e



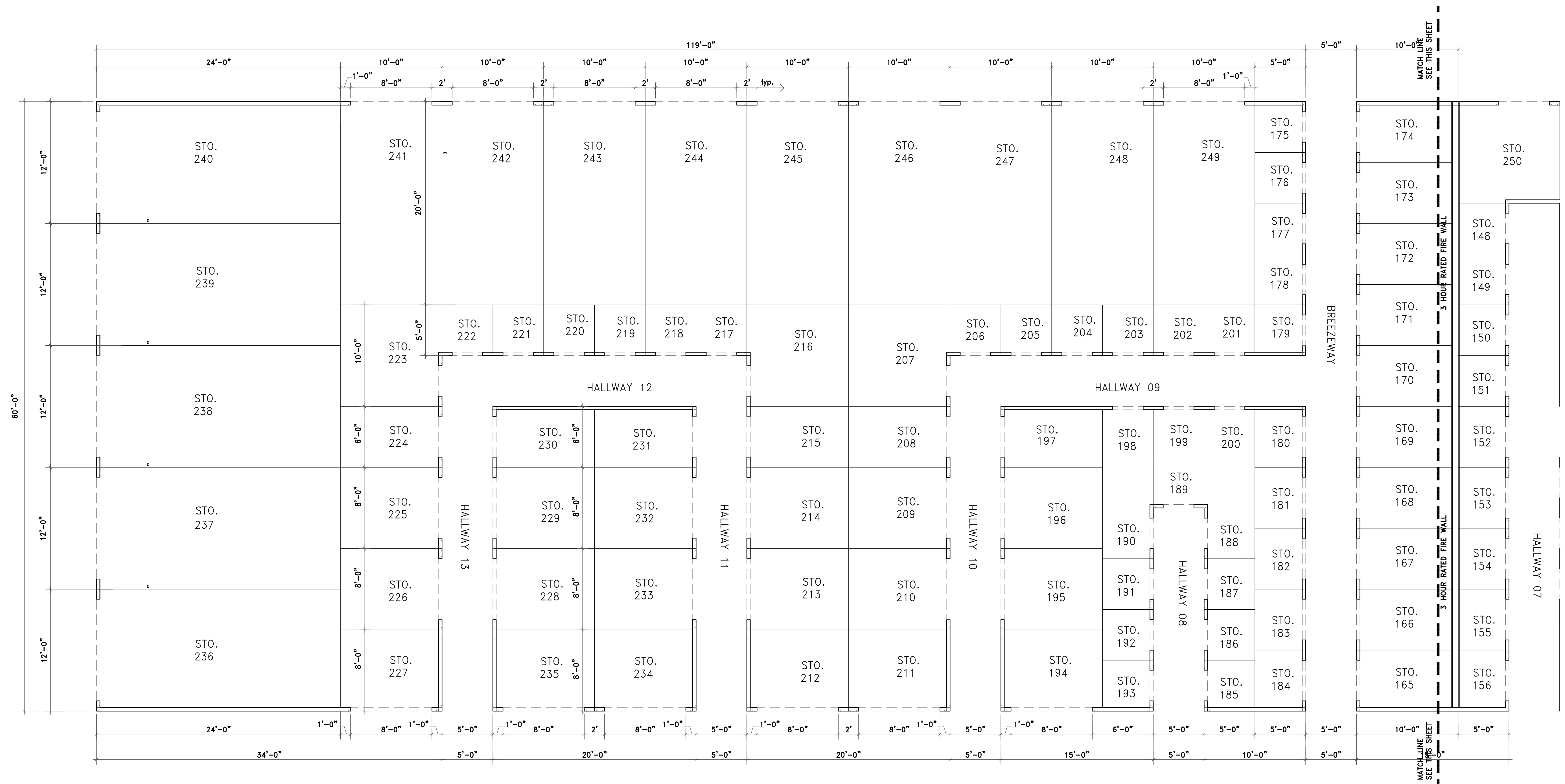
ate: 04.23.21  
rawn By: Susan Jones  
roject # 21002

floor Plan  
ldg - F

Revisions  
X

SHEET No.

## A2.1.f1



### Building F - Partial Floor Plan

BUILDING AREA = 11,865SF  
PLUS HALLWAYS & BREEZEWAYS = 930 SF

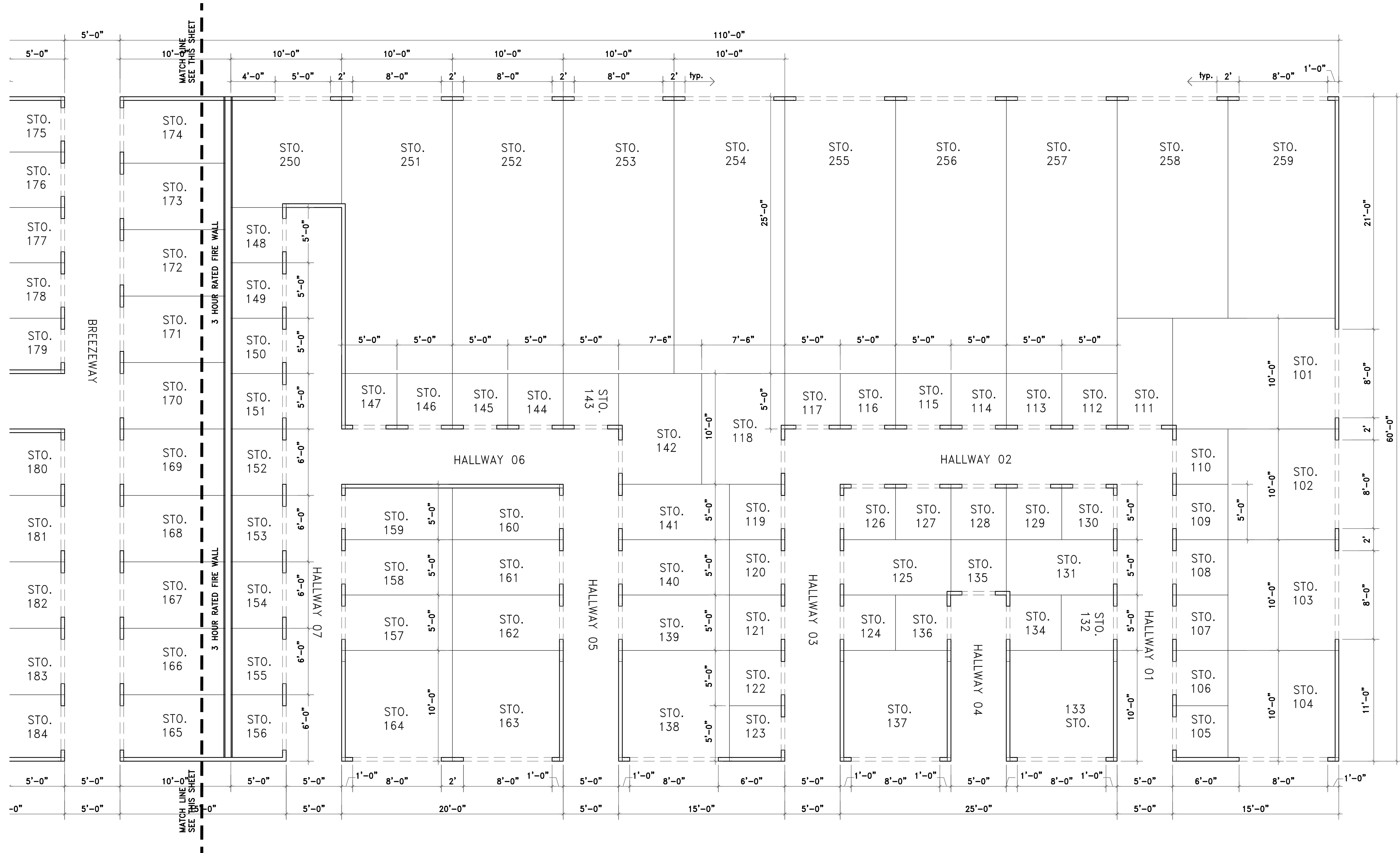
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1/8"=1'-0"



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Building F - Partial Floor Plan

BUILDING AREA = 11,865SF  
PLUS HALLWAYS & BREEZEWAYS = 930 SF

3/16"=1'-0"



NORTH

SJA

Design Group

1915 Carolina Ave.  
Clovis CA 93611

PH: 559. 593.9692

Master Storage 365  
Iona Ave  
Lemoore, CA



Date: 04.23.21  
Drawn By: Susan Jones  
Project # 21002

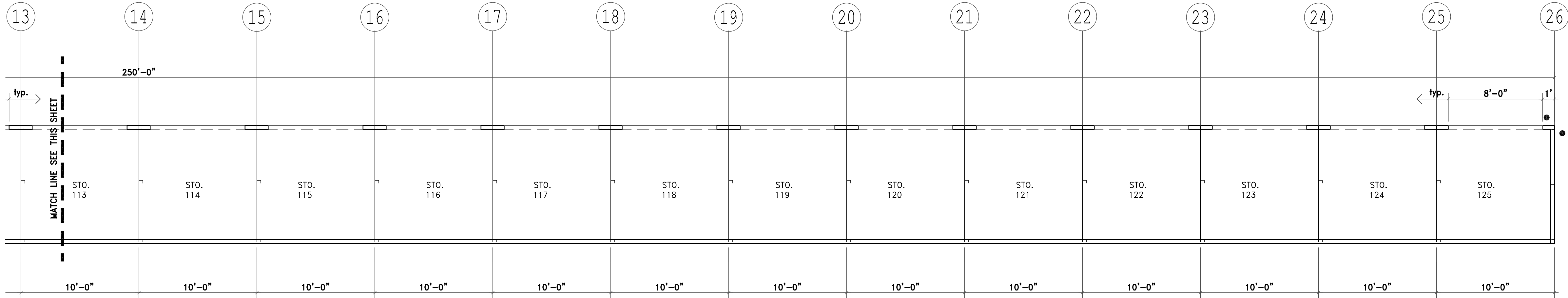
Floor Plan  
Bldg - F

Revisions  
△ x

SHEET No.

A2.1.f2

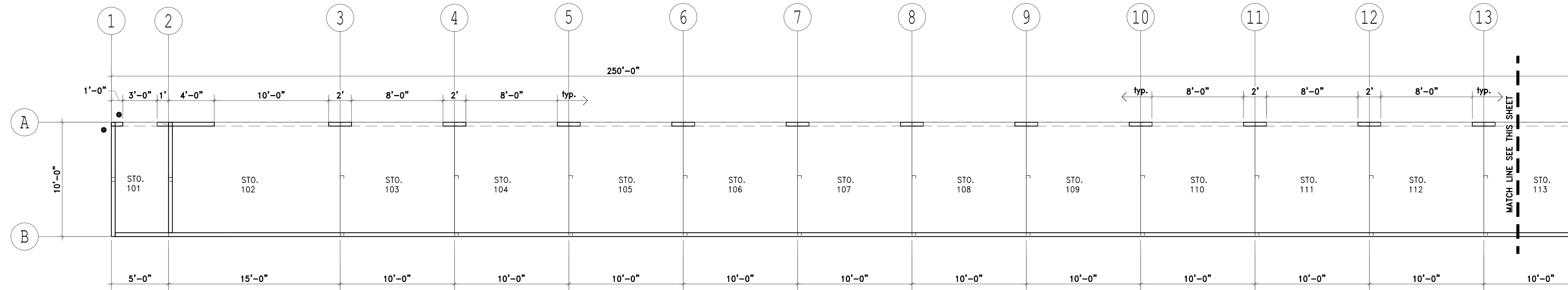
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Building G - Partial Floor Plan



3/16"=1'-0"

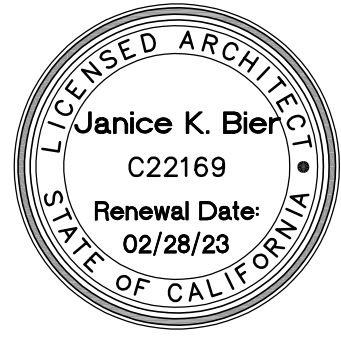


Building G - Partial Floor Plan



BUILDING AREA = 2,500SF

3/16"=1'-0"



Date: 04.23.21  
Drawn By: Susan Jones  
Project # 21002

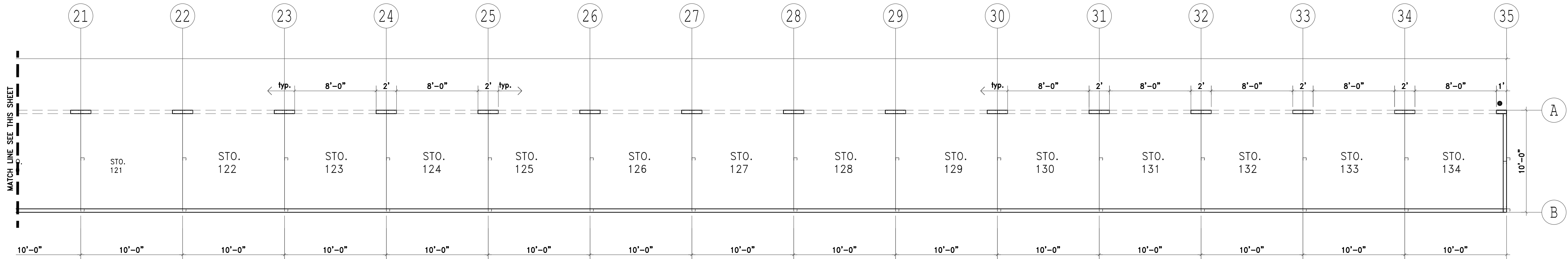
Floor Plan  
Bldg - G

Revisions  
△ x

SHEET No.

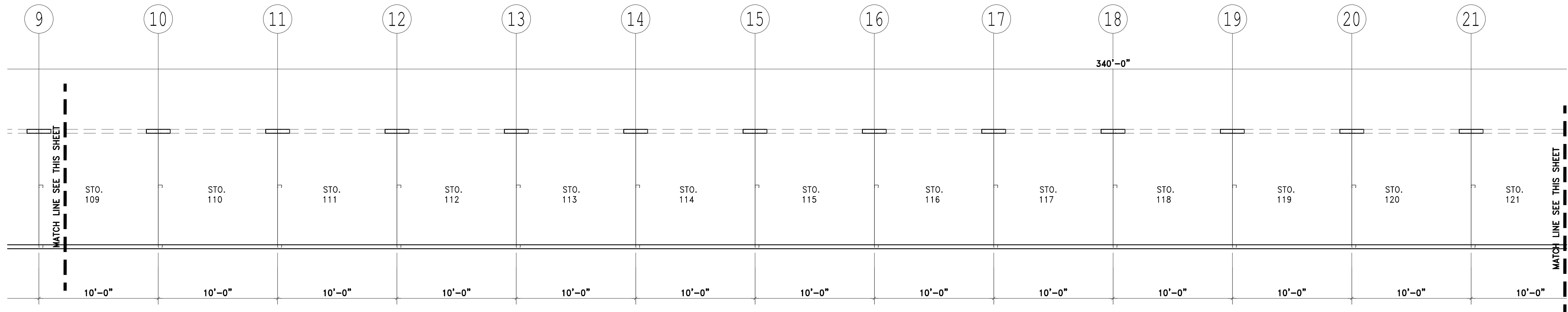
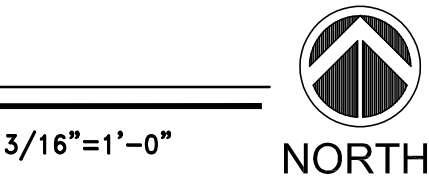
A2.1g

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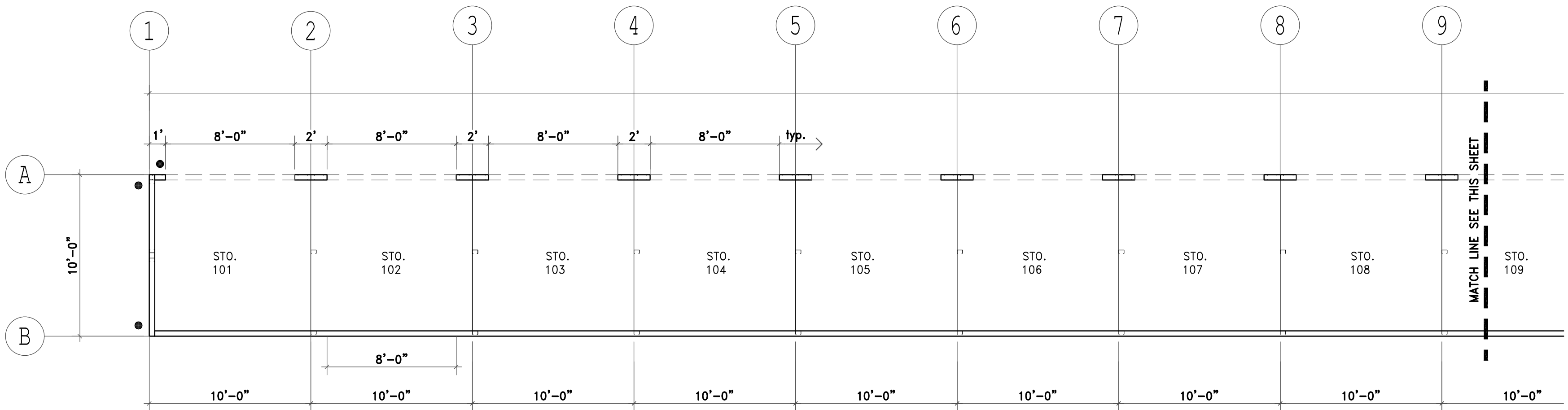
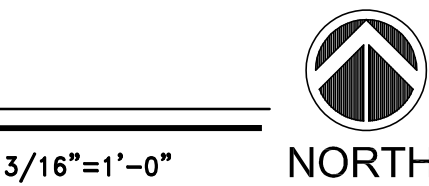


Building H - Partial Floor Plan

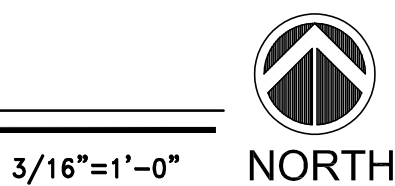
BUILDING AREA = 3,400SF



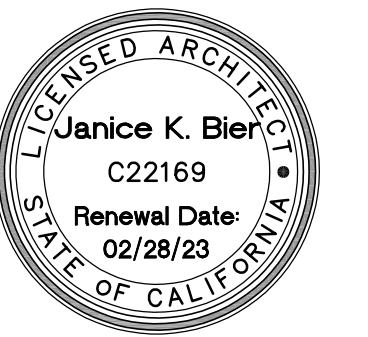
Building H - Partial Floor Plan



Building H - Partial Floor Plan



**Master Storage 365**  
Iona Ave  
Lemoore, CA



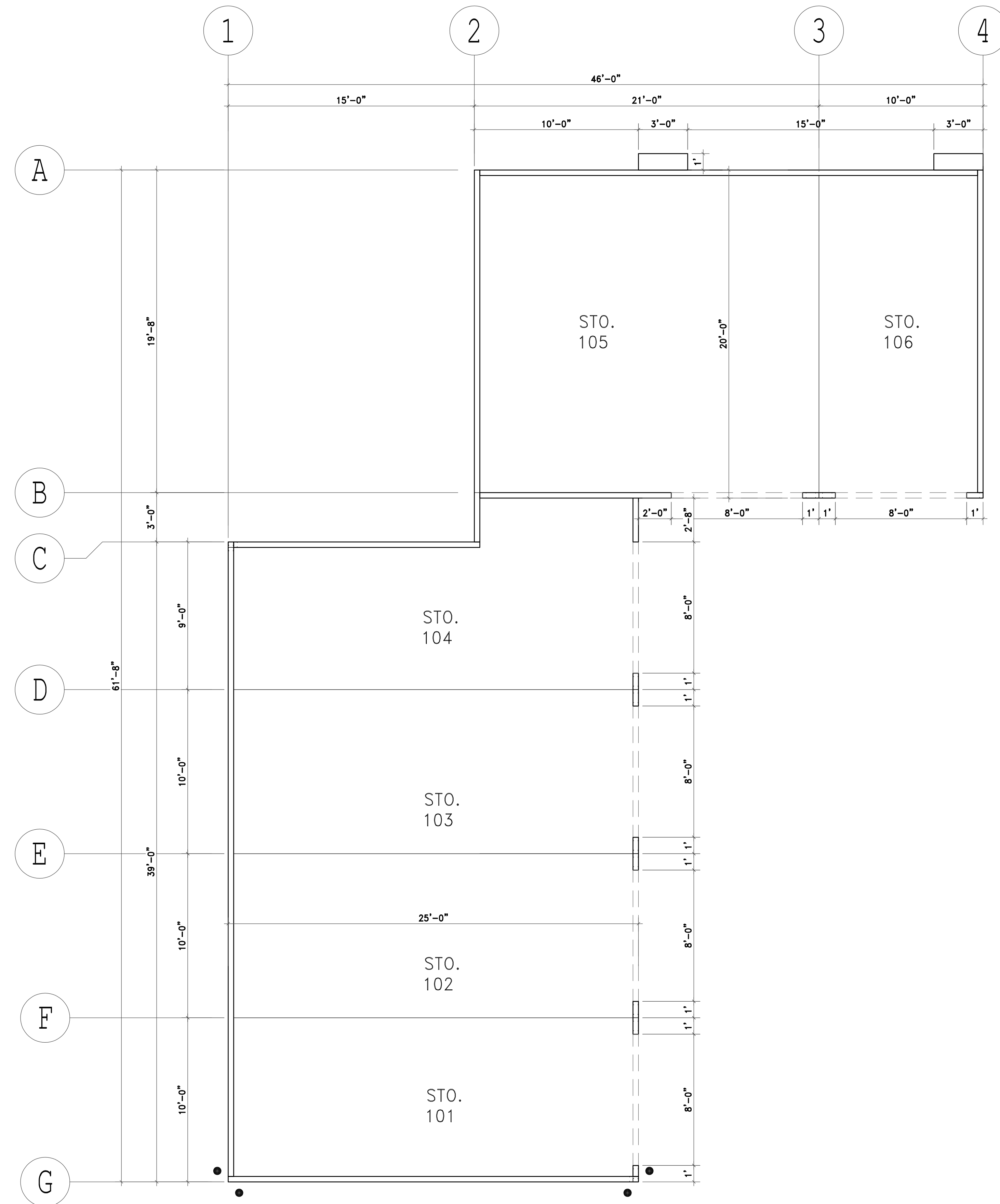
ate: 04.23.21  
rawn By: Susan Jones  
project # 21002

floor Plan  
ldg -I/J

X

HEET No.

## A2.11.J



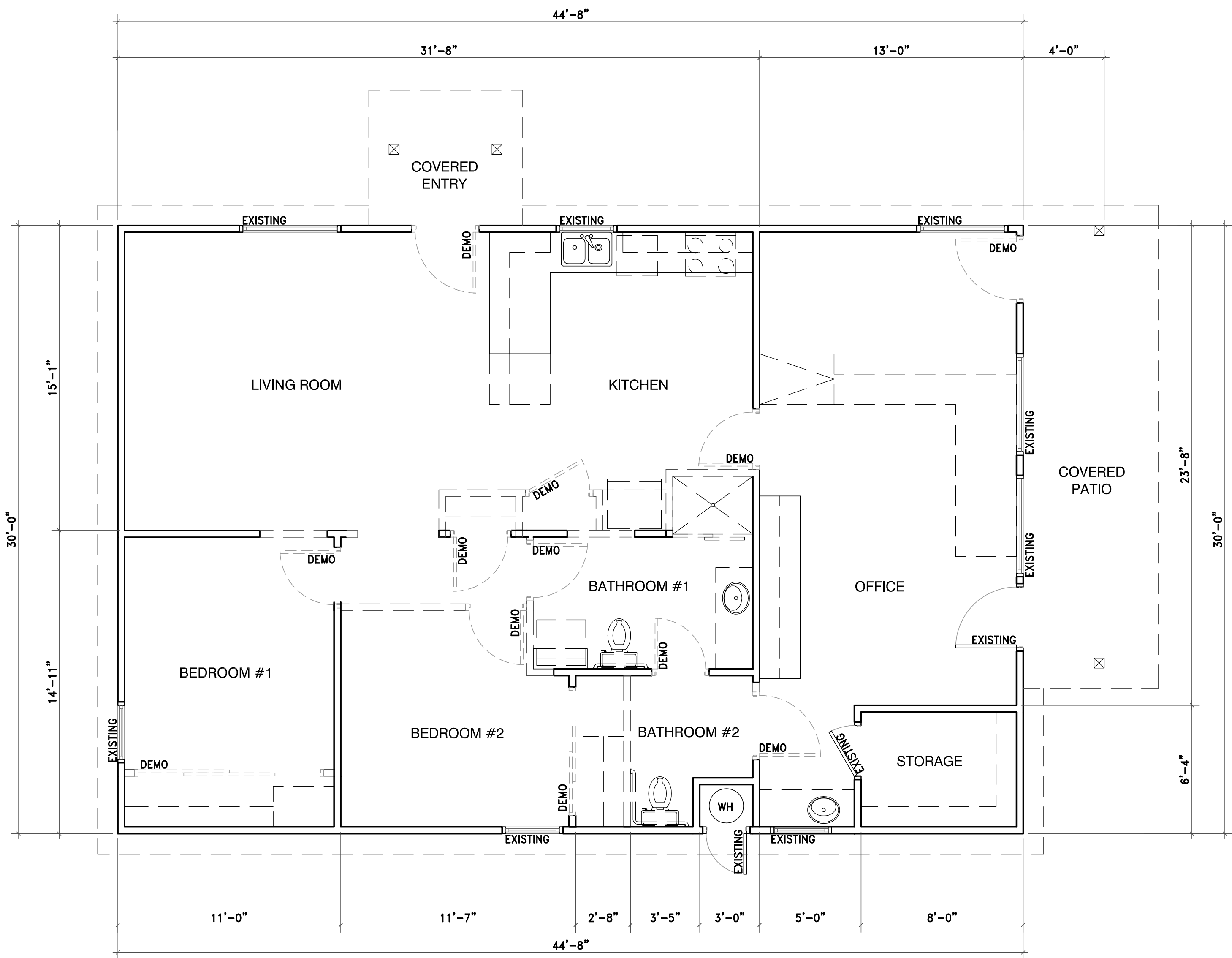
## Building I/J - Floor Plan

BUILDING 'I' AREA	= 620 SF
BUILDING 'J' AREA	= 1,002 SF
TOTAL BLDG AREA	= 1,622 SF

$$1/4'' = 1' - 0''$$


NORTH

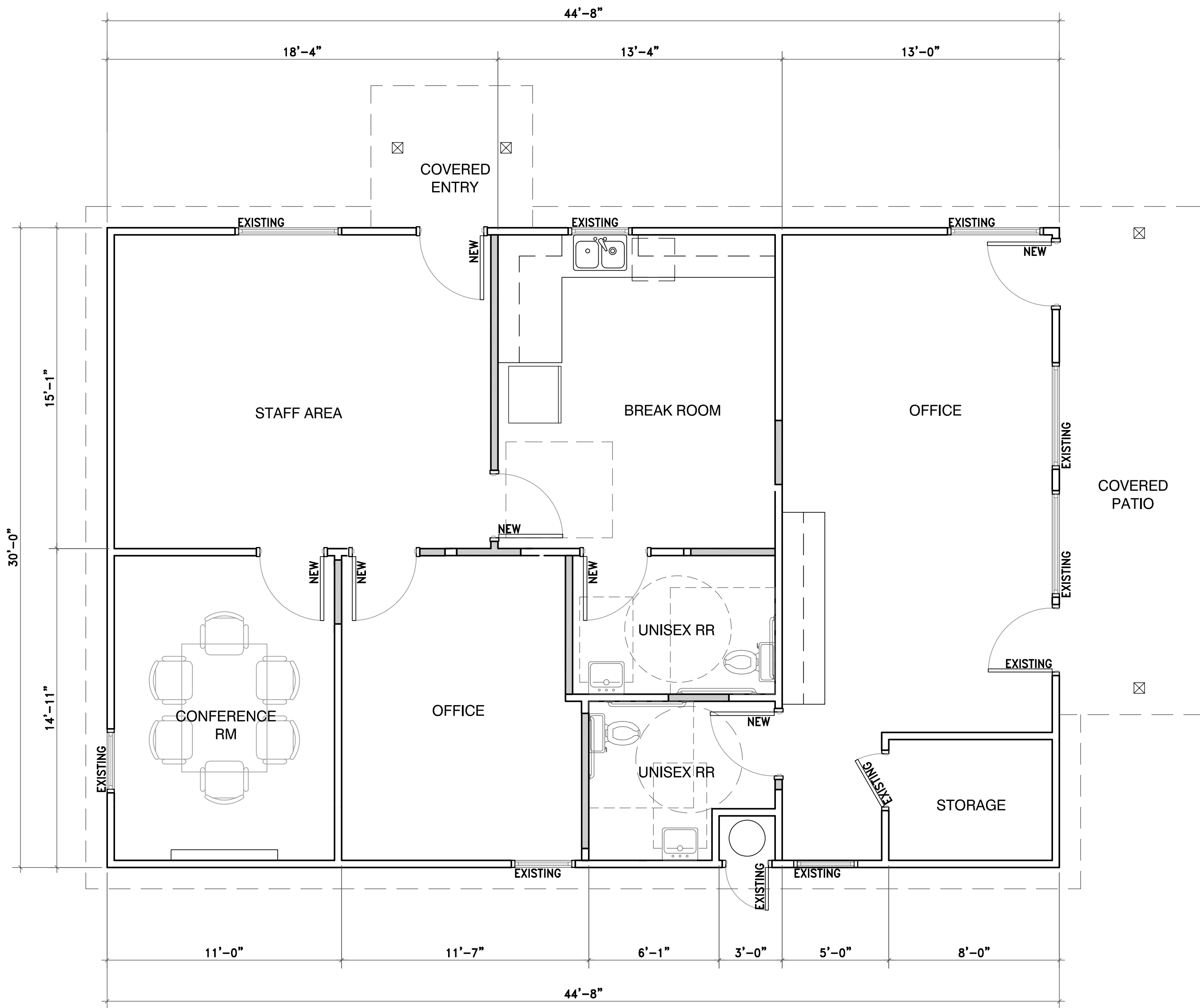
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Building N- Demo Floor Plan

BUILDING AREA = 1,340 SF  
COVERED PATIO/ENTRY = 210 SF

1/4"=1'-0"



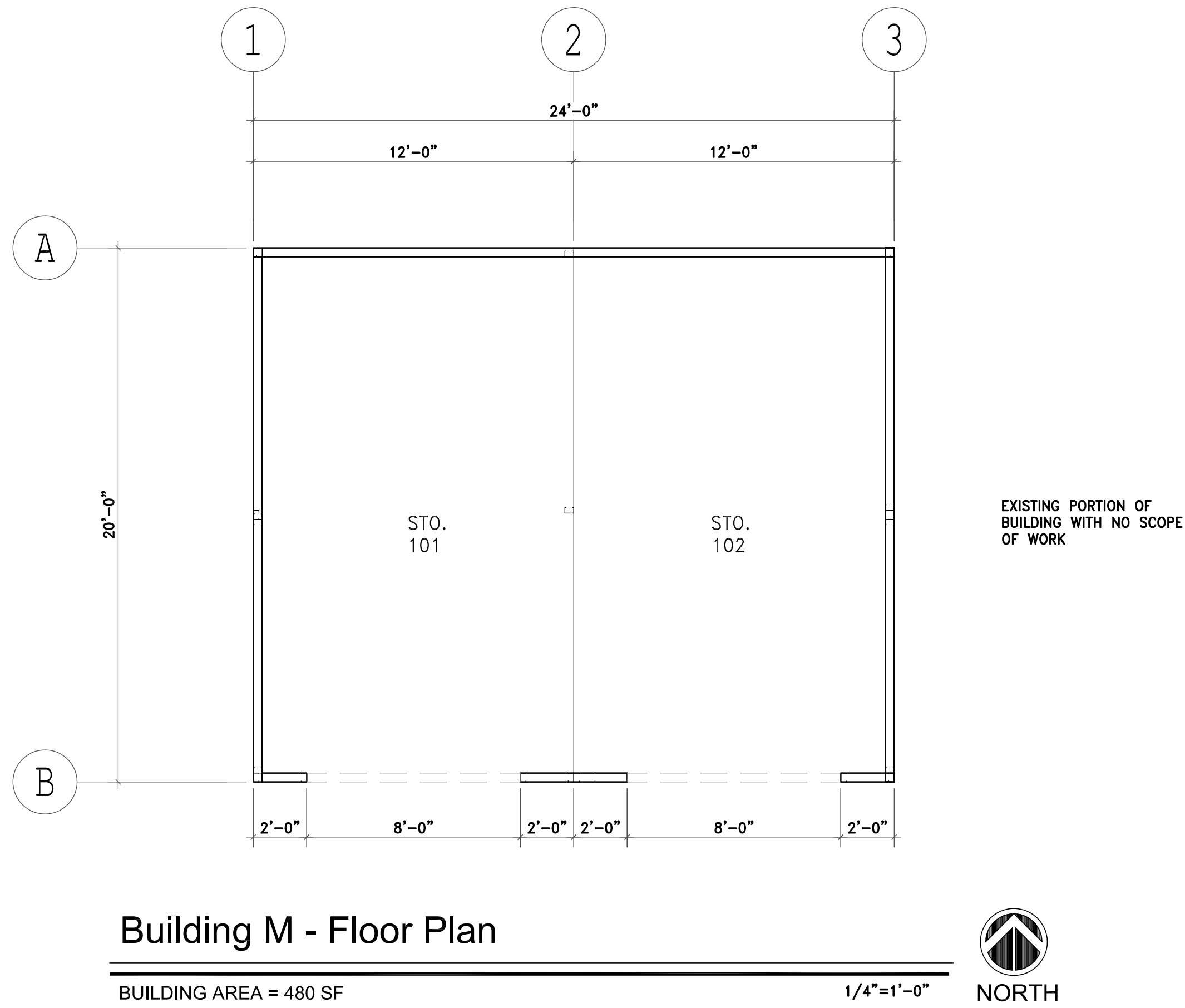
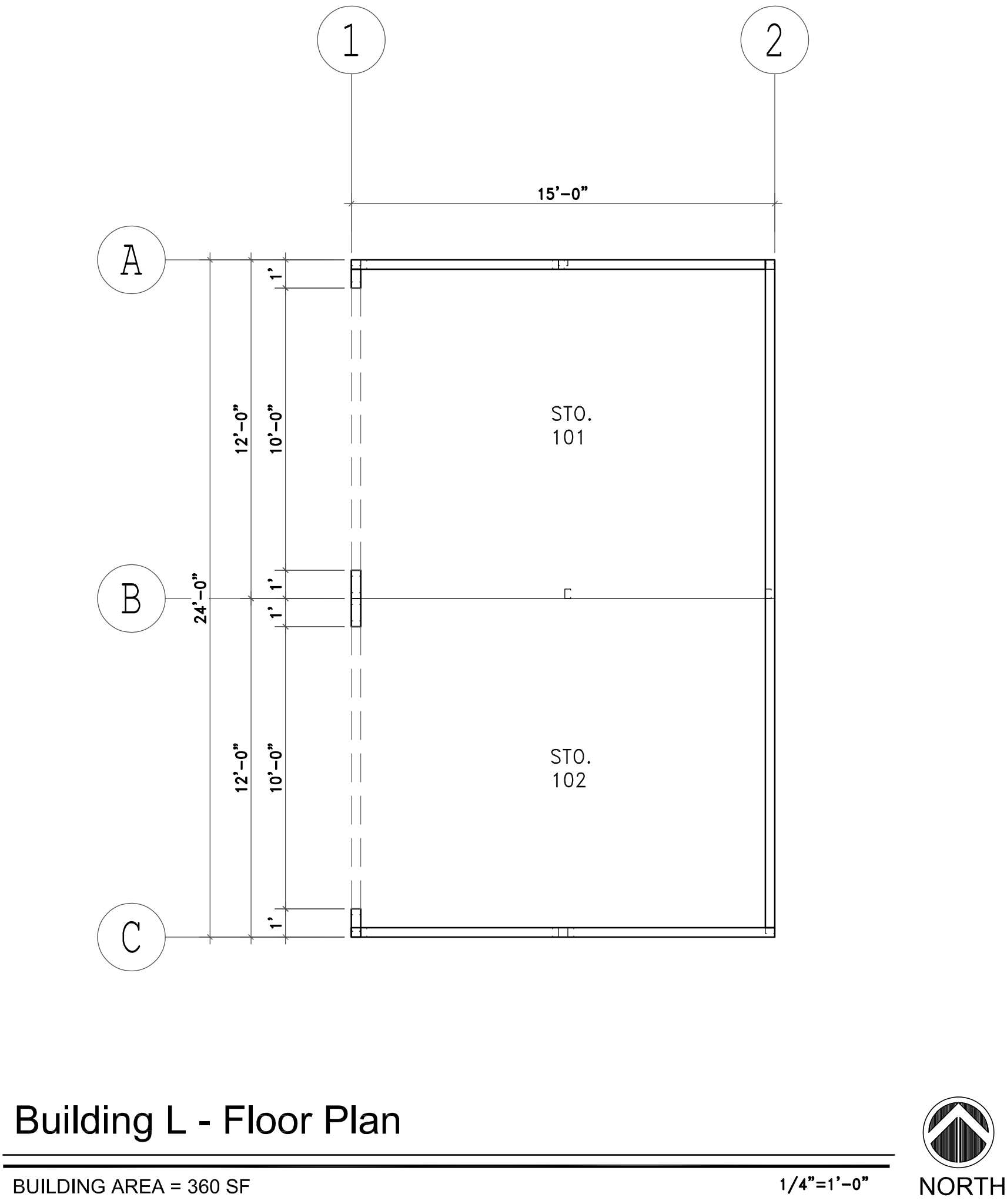
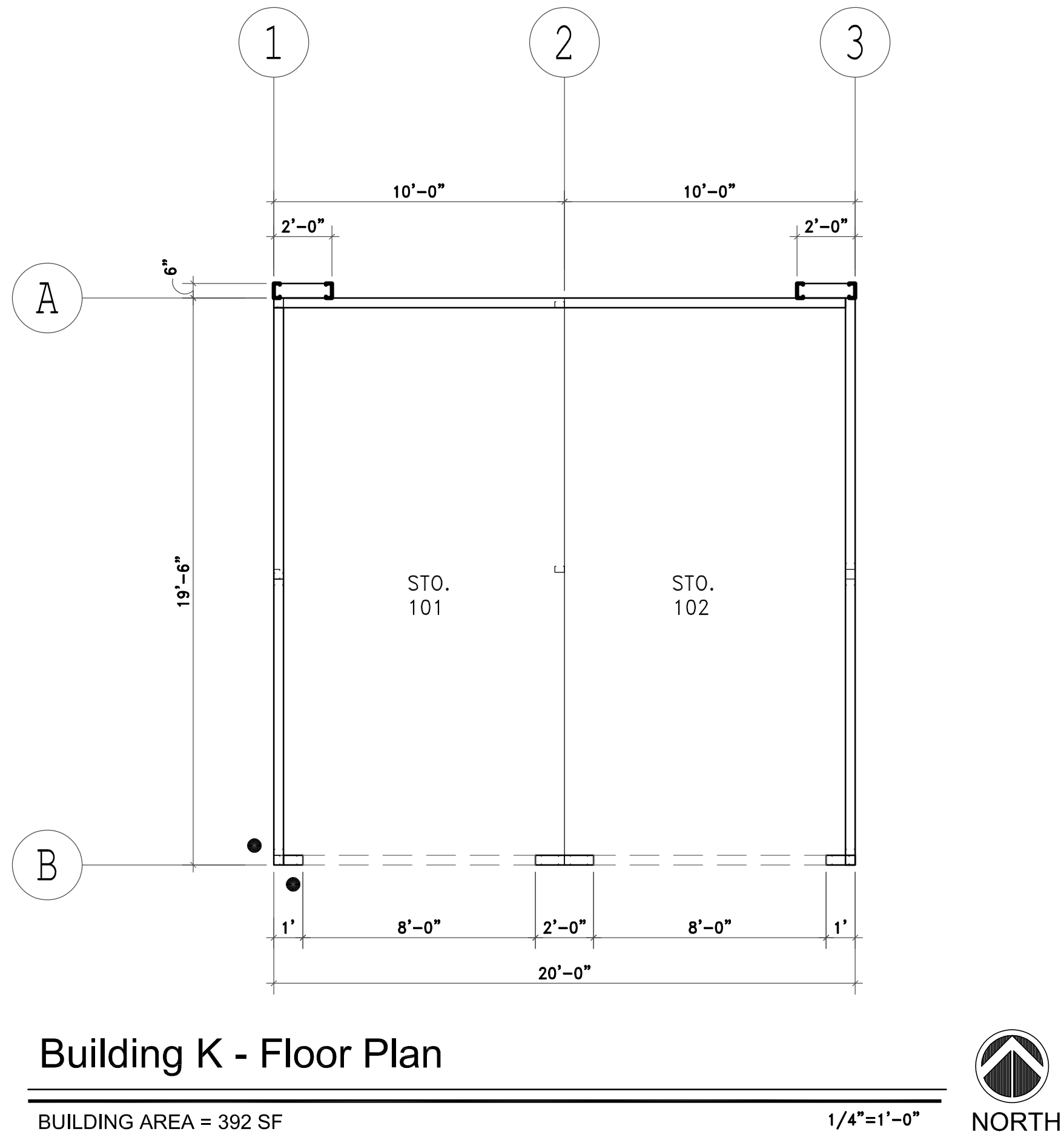
Building N- Proposed Floor Plan

BUILDING AREA = 1,340 SF  
COVERED PATIO/ENTRY = 210 SF

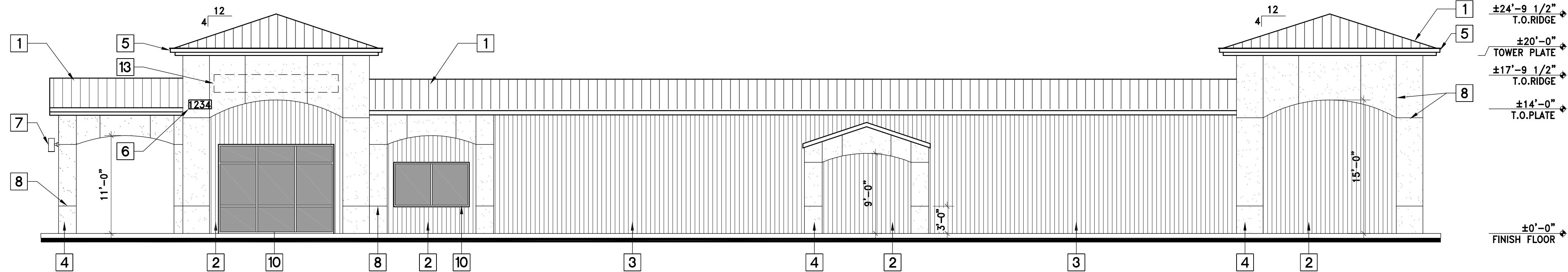
1/4"=1'-0"



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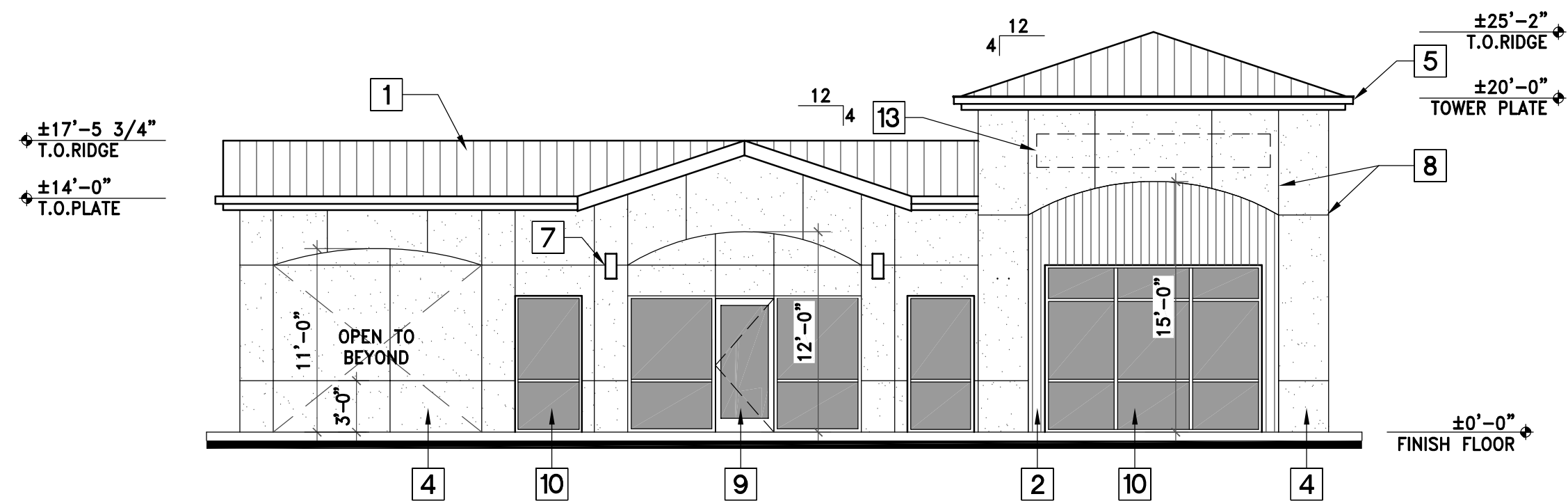


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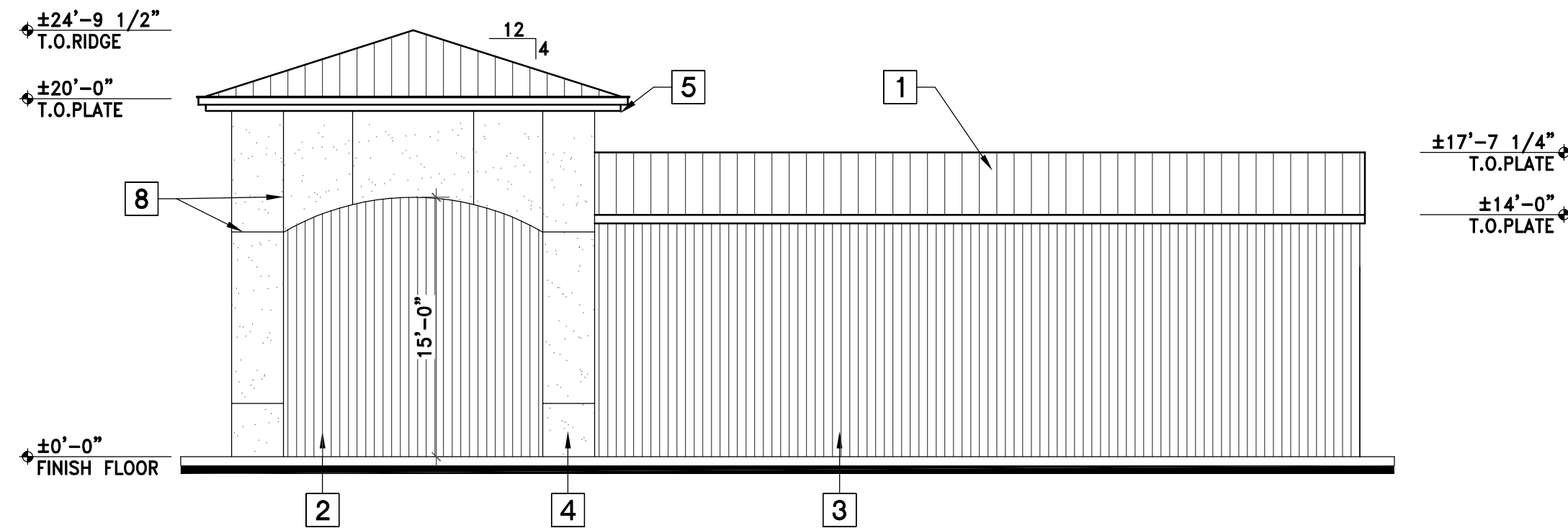
Building A1 - North Elevation

1/8"=1'-0"



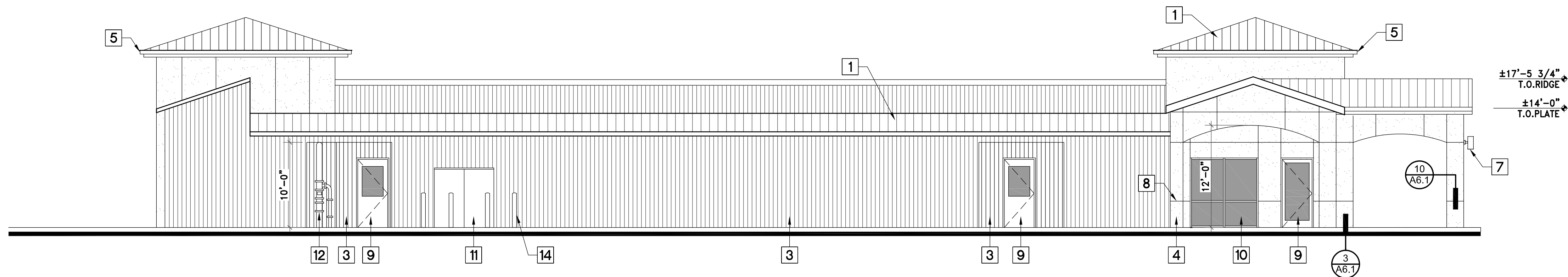
Building A1 - East Elevation

1/8"=1'-0"



Building A1 - West Elevation

1/8"=1'-0"



Building A1 - South Elevation

1/8"=1'-0"

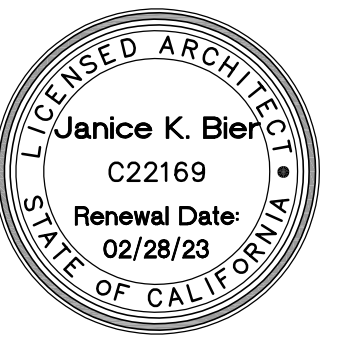
KEYNOTES	
No.	Description
1	METAL ROOFING PANELS- MCELROY METALS OR EQ. CONCEALED FASTENING SYSTEM, 24 GAGE OR APPROVED EQ.
2	"D"CHANNEL METAL WALL PANELS- MCELROY METALS OR EQ. CONCEALED FASTENING SYSTEM, 24 GAGE OR APPROVED EQ., PAINTED "DARK BRONZE"
3	"U"CHANNEL METAL WALL PANELS- MCELROY METALS OR EQ. CONCEALED FASTENING SYSTEM, 24 GAGE OR APPROVED EQ., PAINTED "TAN"
4	7/8" CEMENT PLASTER o/ METAL LATH o/ TYVEK RESISTANT BARRIER o/ PLYWOOD SHEATHING
5	PRE-FORMED METAL ROOF GUTTER, SEE KIWI DWGS
6	BUILDING ADDRESS SIGN, COLOR OF NUMBERS SHALL CONTRAST WITH BACKGROUND. MIN SIZE 6" HIGH AND SHALL BE VISIBLE FROM INTERNAL STREET
7	EXTERIOR LIGHTING SCONCES, SEE ELECTRICAL
8	CEMENT PLASTER CONTROL JOINT, TYPICAL SEE DETAILS 10/A6.1
9	STOREFRONT DOOR, SEE OPENING SCHEDULE
10	STOREFRONT WINDOW, SEE OPENING SCHEDULE
11	MAIN SWITCHBOARD, SEE ELECTRICAL DRAWINGS
12	FIRE SPRINKLE RISER, SEE CIVIL AND FIRE SPRINKLE DRAWINGS
13	BUILDING SIGNAGE-COORDINATE W/ OWNER FOR EXACT FONT, STYLE, AND SIZE. UNDER SEPARATE PERMIT, CONTRACTOR TO PROVIDE BACKING FOR SIGNS AND ELECTRICAL TO PROVIDE POWER, SEE ELECTRICAL
14	6" DIA. CONCRETE FILLED BOLLARD PAINTED SAFETY YELLOW SEE DETAIL 10/A1.1

**SJA**  
Design Group

1915 Carolina Ave.  
Clovis CA 93611

PH: 559. 593.9692

Master Storage 365  
Iona Ave  
Lemoore, CA



Date: 04.23.21  
Drawn By: Susan Jones  
Project # 21002

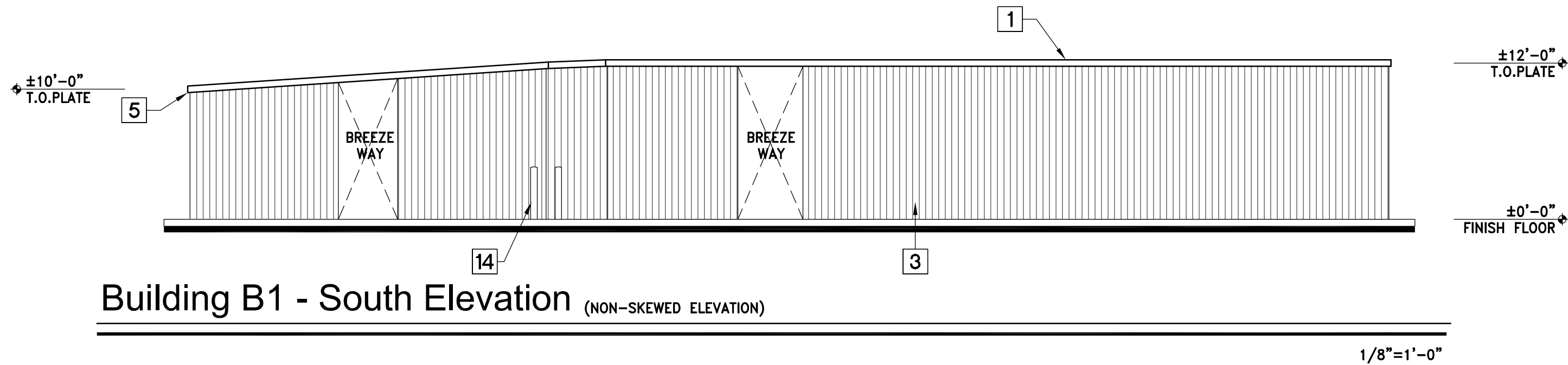
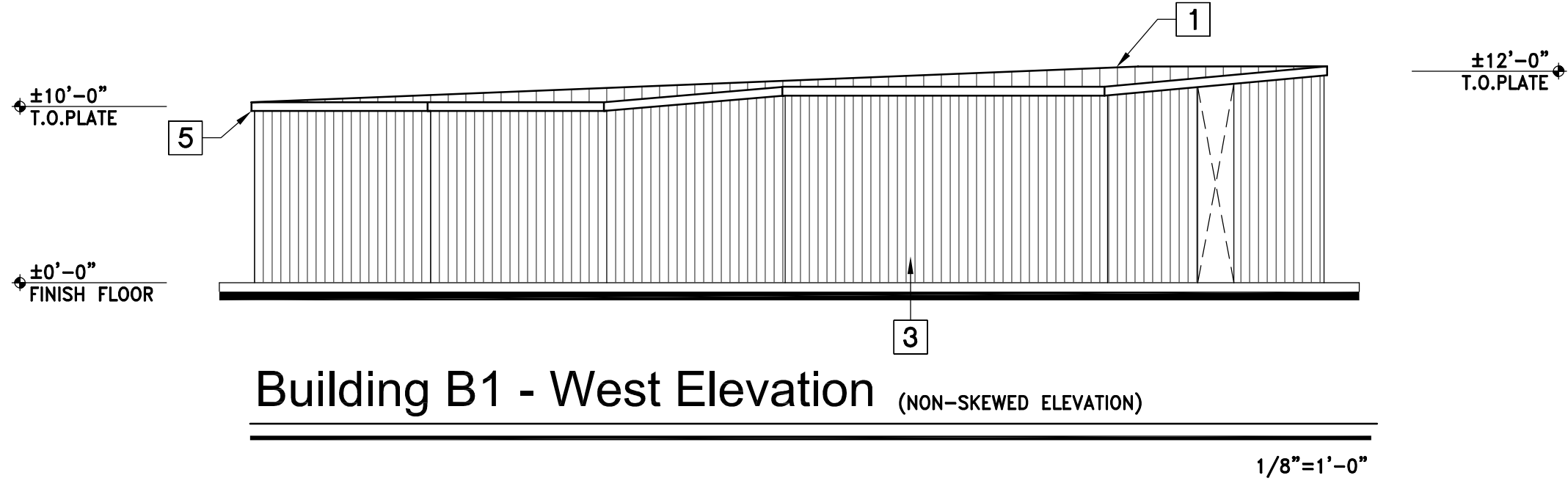
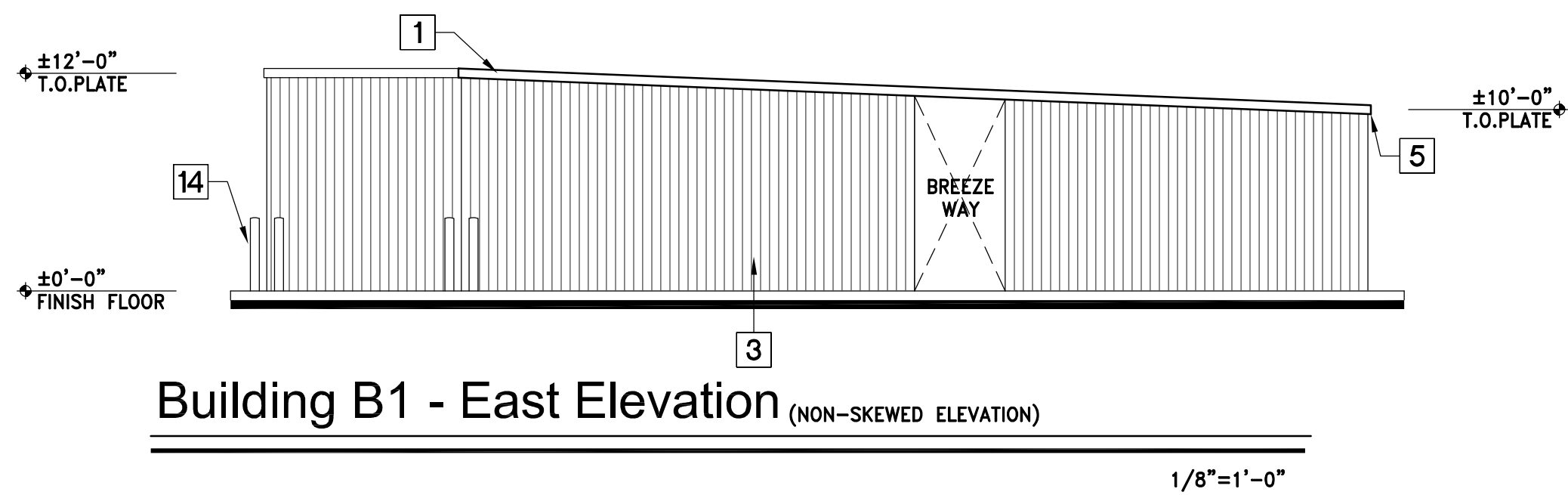
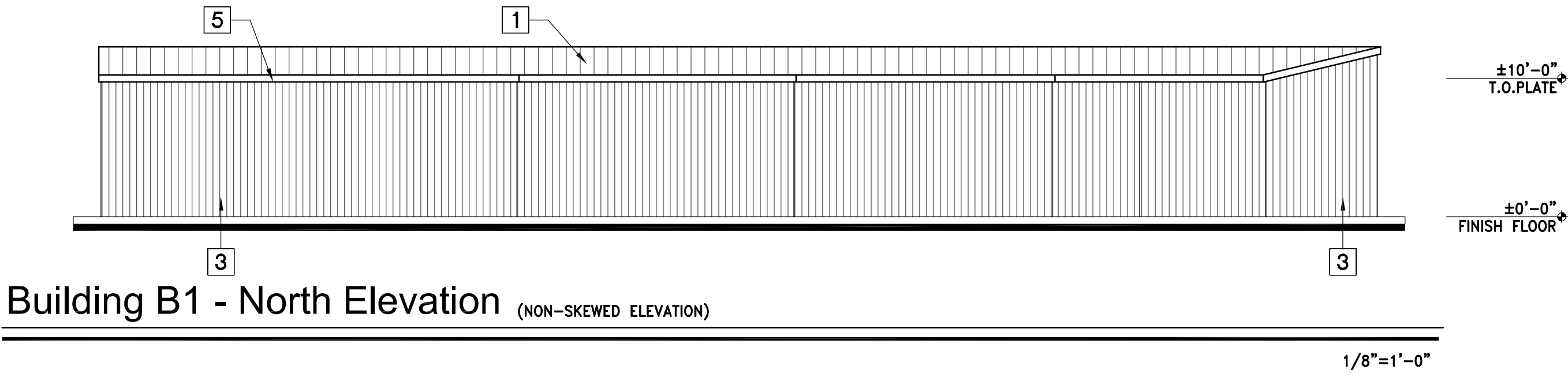
Exterior  
Elevation  
Bldg - A1

Revisions  
X

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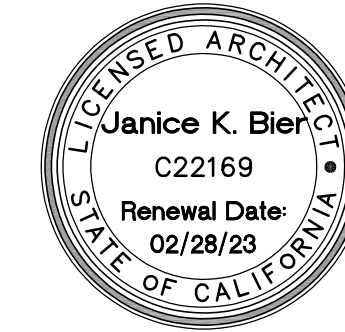
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2	"D"CHANNEL METAL WALL PANELS- MCELROY METALS OR EQ. CONCEALED FASTENING SYSTEM, 24 GAGE OR APPROVED EQ., PAINTED "DARK BRONZE"
3	"U"CHANNEL METAL WALL PANELS- MCELROY METALS OR EQ. CONCEALED FASTENING SYSTEM, 24 GAGE OR APPROVED EQ., PAINTED "TAN"
4	7/8" CEMENT PLASTER o/MTL LATH o/ TYVEK RESISTANT BARRRIER o/ PLYWD SHEATHING
5	PRE-FORMED METAL ROOF GUTTER, SEE KIWI DWGS
6	CEMENT PLASTER CONTROL JOINT, SEE DETAILS 10/A6.1
7	ROLL UP DOOR, SEE OPENING SCHEDULE
8	MAN DOOR, SEE OPENING SCHEDULE
9	LED WALLPACK LIGHTING, SEE ELECTRICAL DWGS
10	2A:10BC RATED FIRE EXTINGUISHER SEMI RECESSED CABINET, MOUNTED SO THAT TOP IS NOT MORE THAN 48" TO OPERABLE PART FROM FINSHD FLOOR. PROVIDE ONE (1) FIRE EXTINGUISHER FOR EVERY 3000 SQUARE FEET OF FLOOR SPACE AT A MAXIMUM SPACINF OF 75 FEET. TOTAL OF (2)
11	FIRE HYDRANT AT RECESSED ALCOVE AREA, SEE CIVIL DWGS
12	ELECTRICAL PANELS, SEE ELECTRICAL DWGS
13	2 HR RATED WALL, SEE DETAIL 8/A6.3
14	BOLLARD TYP. AT BLDG CORNERS

Master Storage 365  
Iona Ave  
Lemoore, CA



Date: 07.15.21  
Drawn By: Susan Jones  
Project # 21002

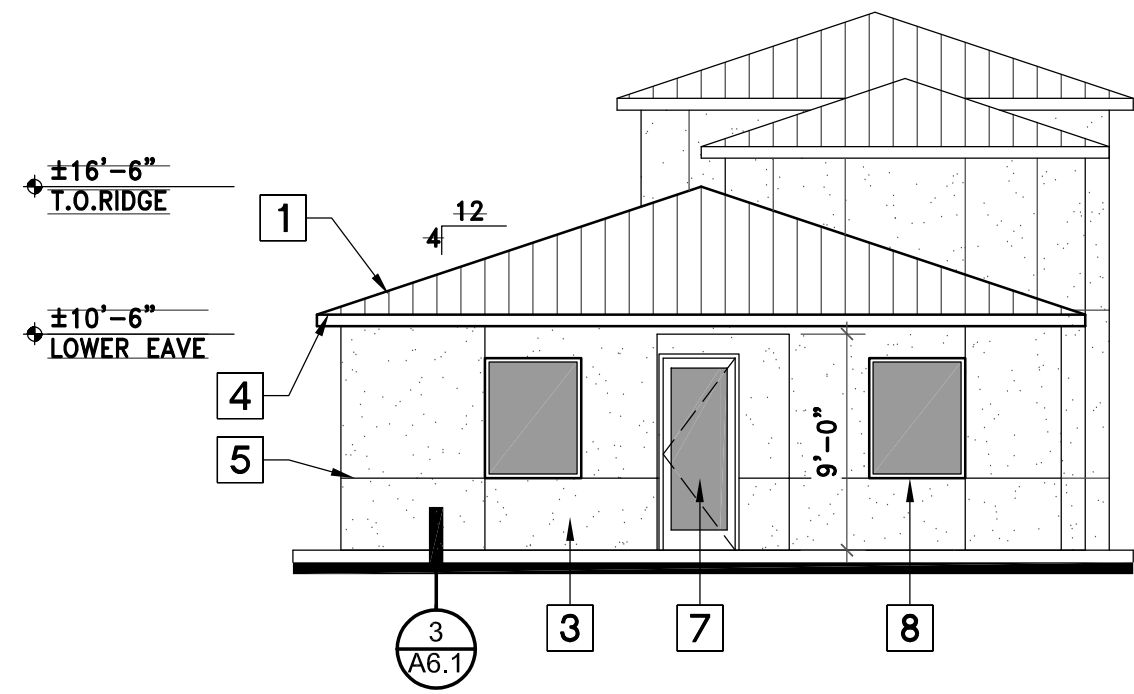
Exterior  
Elevation  
Bldg - B1

Revisions  
△ x

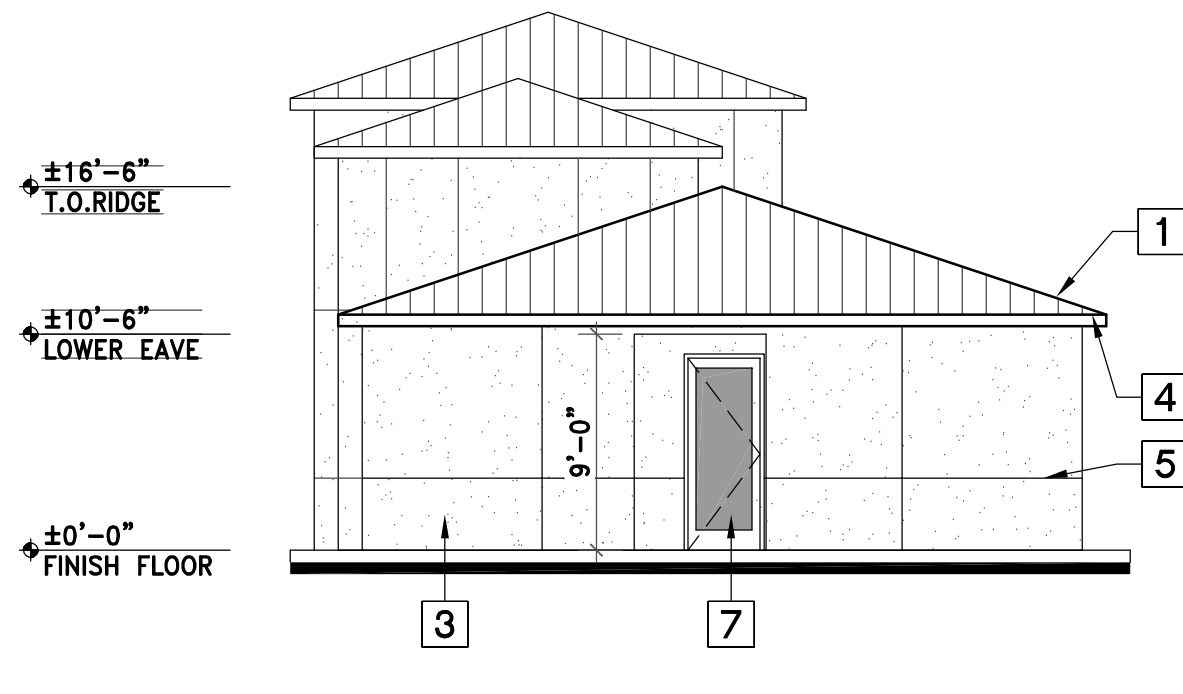
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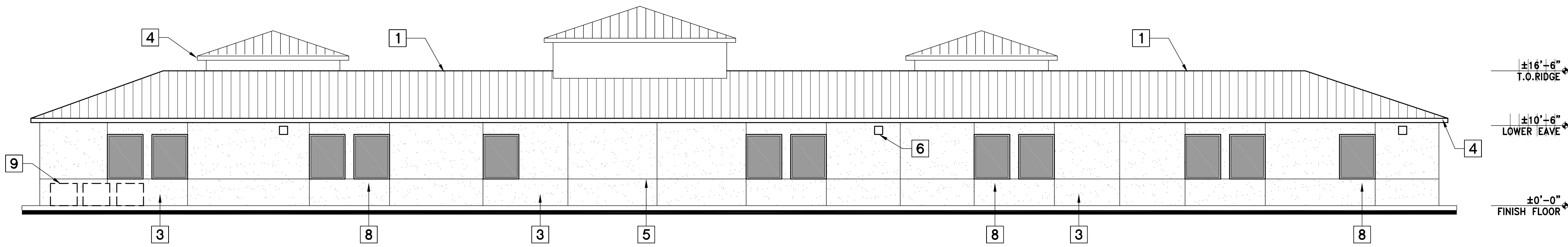
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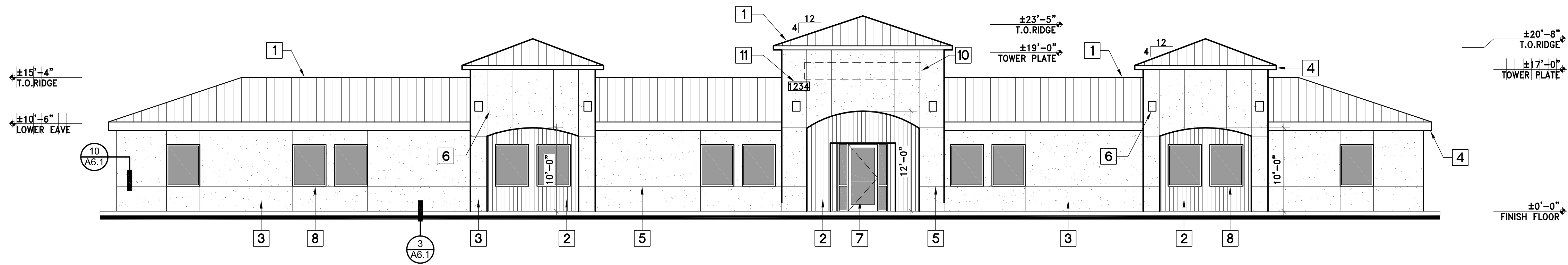
Building C1 - North Elevation



Building C1 - South Elevation



Building C1 - East Elevation



Building C1 - West Elevation

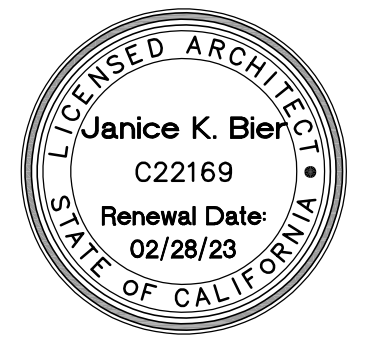
KEYNOTES	
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3	7/8" CEMENT PLASTER o/ METAL LATH o/ TYVEK RESISTANT BARRIER o/ PLYWOOD SHEATHING
4	PRE-FORMED METAL ROOF GUTTER, SEE KIWI DWGS
5	CEMENT PLASTER CONTROL JOINT, TYPICAL. SEE DETAILS 10/A6.1
6	EXTERIOR LIGHTING, SEE ELECTRICAL DWGS
7	STOREFRONT DOOR, SEE OPENING SCHEDULE
8	STOREFRONT WINDOW, SEE OPENING SCHEDULE
9	MECH. OUTDOOR UNITS SEE MECH DWGS
10	BUILDING SIGNAGE-COORDINATE W/ OWNER FOR EXACT FONT, STYLE, AND SIZE. UNDER SEPARATE PERMIT, CONTRACTOR TO PROVIDE BACKING FOR SIGNS AND ELECTRICAL TO PROVIDE POWER, SEE ELECTRICAL
11	BUILDING ADDRESS SIGN, COLOR OF NUMBERS SHALL CONTRAST WITH BACKGROUND. MIN SIZE 6" HIGH AND SHALL BE VISIBLE FROM INTERNAL STREET
12	ELECTRICAL PANELS, SEE ELECTRICAL DRAWINGS

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1915 Carolina Ave.  
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Master Storage 365  
Iona Ave  
Lemoore, CA



Date: 04.23.21  
Drawn By: Susan Jones  
Project # 21002

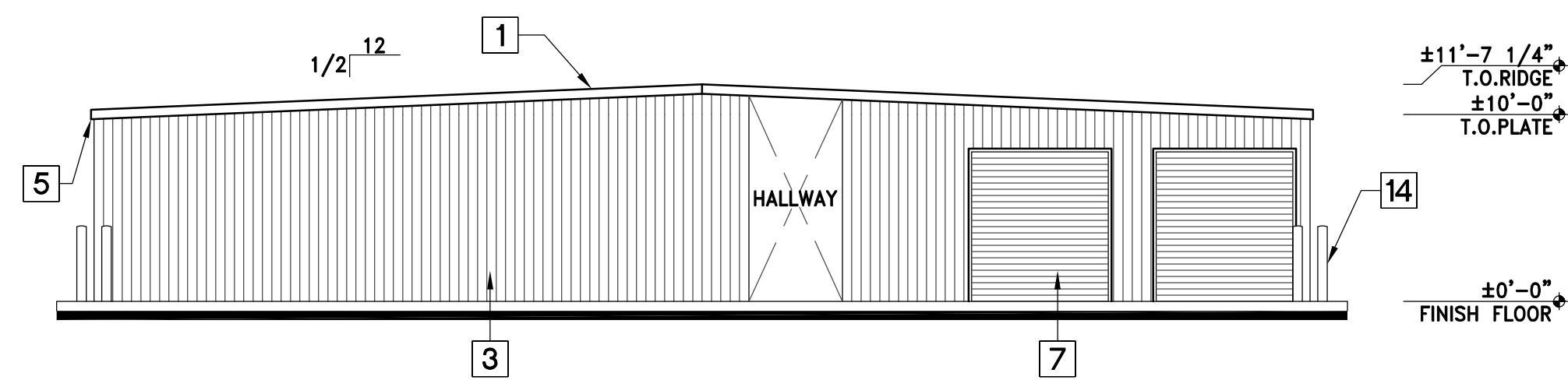
Exterior  
Elevation  
Bldg - C1

Revisions  
△ X

SHEET No.

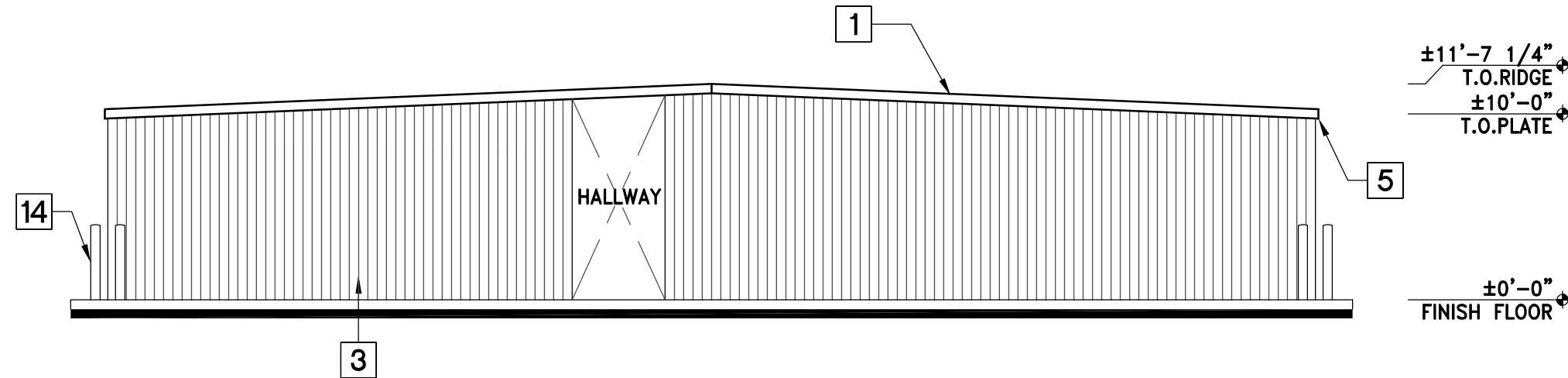
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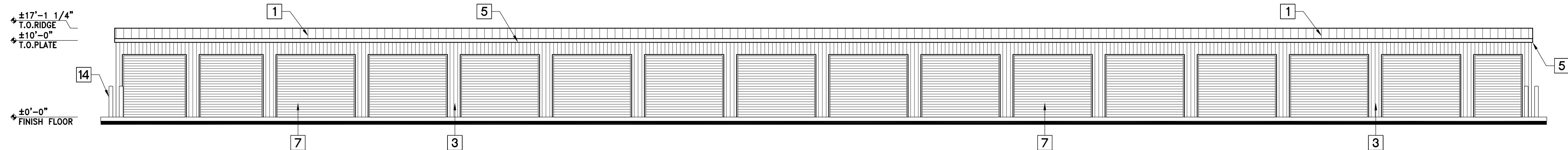
Building D1 - North Elevation

1/8"=1'-0"



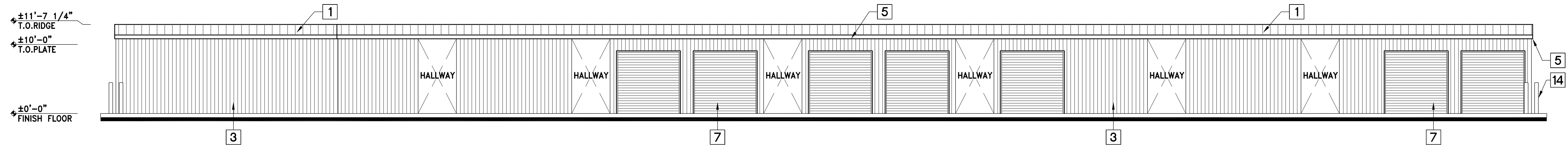
Building D1 - South Elevation

1/8"=1'-0"



Building D1 - East Elevation

1/8"=1'-0"



Building D1 - West Elevation

1/8"=1'-0"

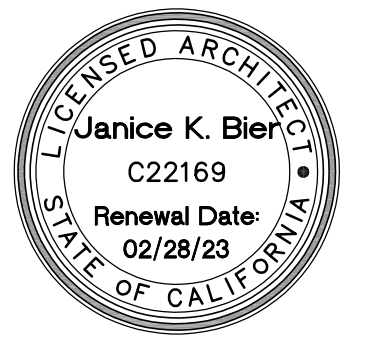
KEYNOTES	
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5	PRE-FORMED METAL ROOF GUTTER, SEE KIVI DWGS
6	CEMENT PLASTER CONTROL JOINT, SEE DETAILS 10/A6.1
7	ROLL UP DOOR, SEE OPENING SCHEDULE
8	MAN DOOR, SEE OPENING SCHEDULE
9	LED WALLPACK LIGHTING, SEE ELECTRICAL DWGS
10	2A:10BC RATED FIRE EXTINGUISHER SEMI RECESSED CABINET, MOUNTED SO THAT TOP IS NOT MORE THAN 48" TO OPERABLE PART FROM FINSHED FLOOR. PROVIDE ONE (1) FIRE EXTINGUISHER FOR EVERY 3000 SQUARE FEET OF FLOOR SPACE AT A MAXIMUM SPACINF OF 75 FEET. TOTAL OF (2)
11	FIRE HYDRANT AT RECESSED ALCOVE AREA, SEE CIVIL DWGS
12	ELECTRICAL PANELS, SEE ELECTRICAL DWGS
13	2 HR RATED WALL, SEE DETAIL 8/A6.3
14	BOLLARD TYP. AT BLDG CORNERS

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Master Storage 365  
Iona Ave  
Lemoore, CA



Date: 04.23.21  
Drawn By: Susan Jones  
Project # 21002

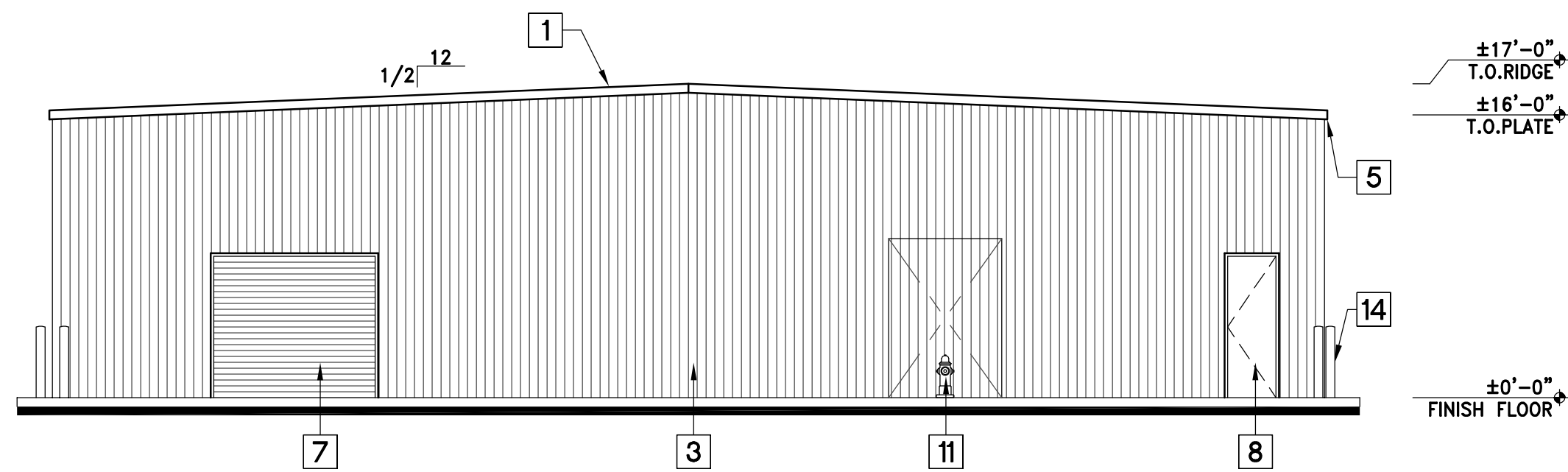
Exterior  
Elevation  
Bldg - D1

Revisions  
△ X

SHEET No.

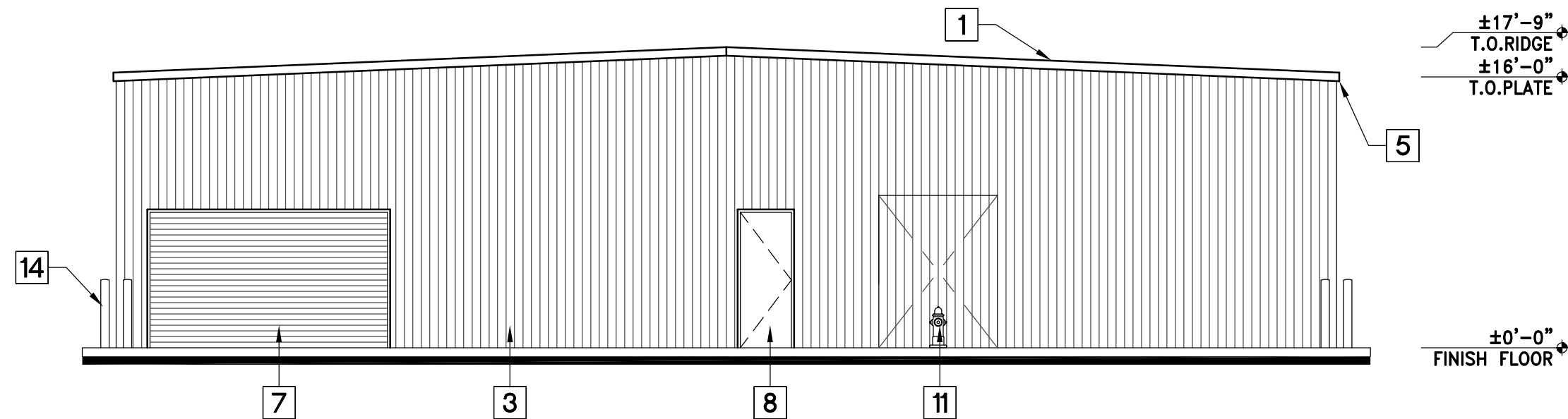
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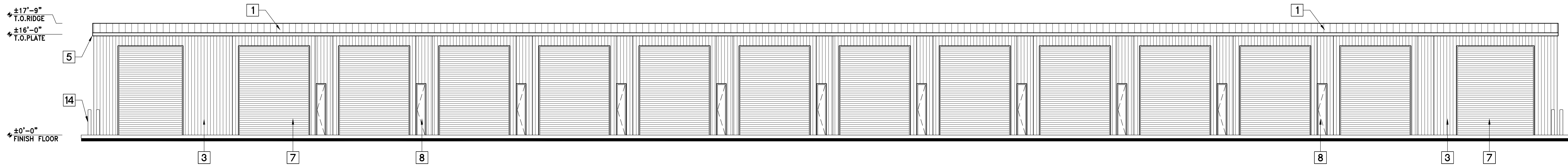
Building E1 - North Elevation

1/8"=1'-0"



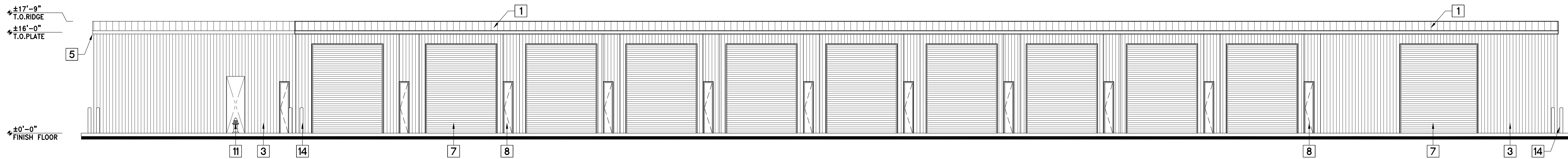
Building E1 - South Elevation

1/8"=1'-0"



Building E1 - East Elevation

1/8"=1'-0"



Building E1 - West Elevation

1/8"=1'-0"

KEYNOTES	
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5	PRE-FORMED METAL ROOF GUTTER, SEE KIWJ DWGS
6	CEMENT PLASTER CONTROL JOINT, SEE DETAILS 10/A6.1
7	ROLL UP DOOR, SEE OPENING SCHEDULE
8	MAN DOOR, SEE OPENING SCHEDULE
9	LED WALLPACK LIGHTING, SEE ELECTRICAL DWGS
10	2A:10BC RATED FIRE EXTINGUISHER SEMI RECESSED CABINET, MOUNTED SO THAT TOP IS NOT MORE THAN 48" TO OPERABLE PART FROM FINISHED FLOOR. PROVIDE ONE (1) FIRE EXTINGUISHER FOR EVERY 3000 SQUARE FEET OF FLOOR SPACE AT A MAXIMUM SPACINF OF 75 FEET. TOTAL OF (2)
11	FIRE HYDRANT AT RECESSED ALCOVE AREA, SEE CIVIL DWGS
12	ELECTRICAL PANELS, SEE ELECTRICAL DWGS
13	2 HR RATED WALL, SEE DETAIL 8/A6.3
14	BOLLARD TYP. AT BLDG CORNERS

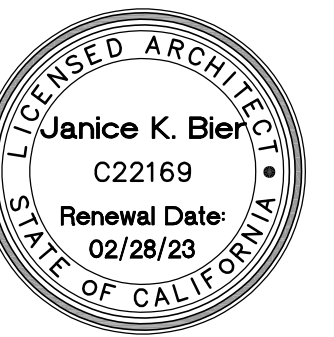
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Design Group

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Master Storage 365

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Date: 04.23.21  
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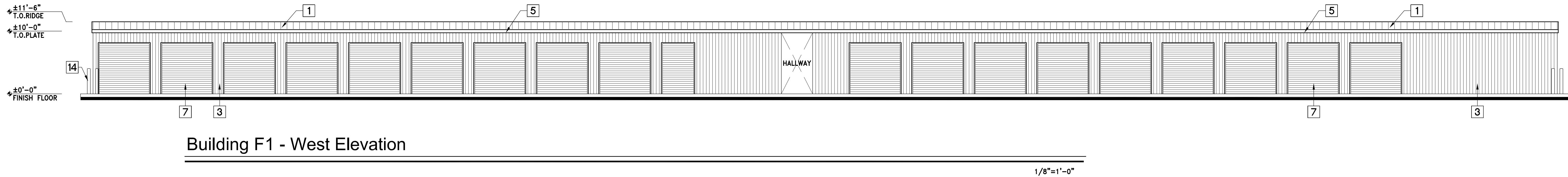
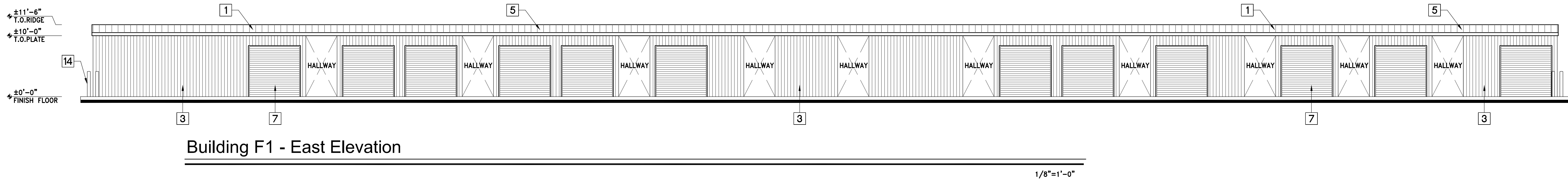
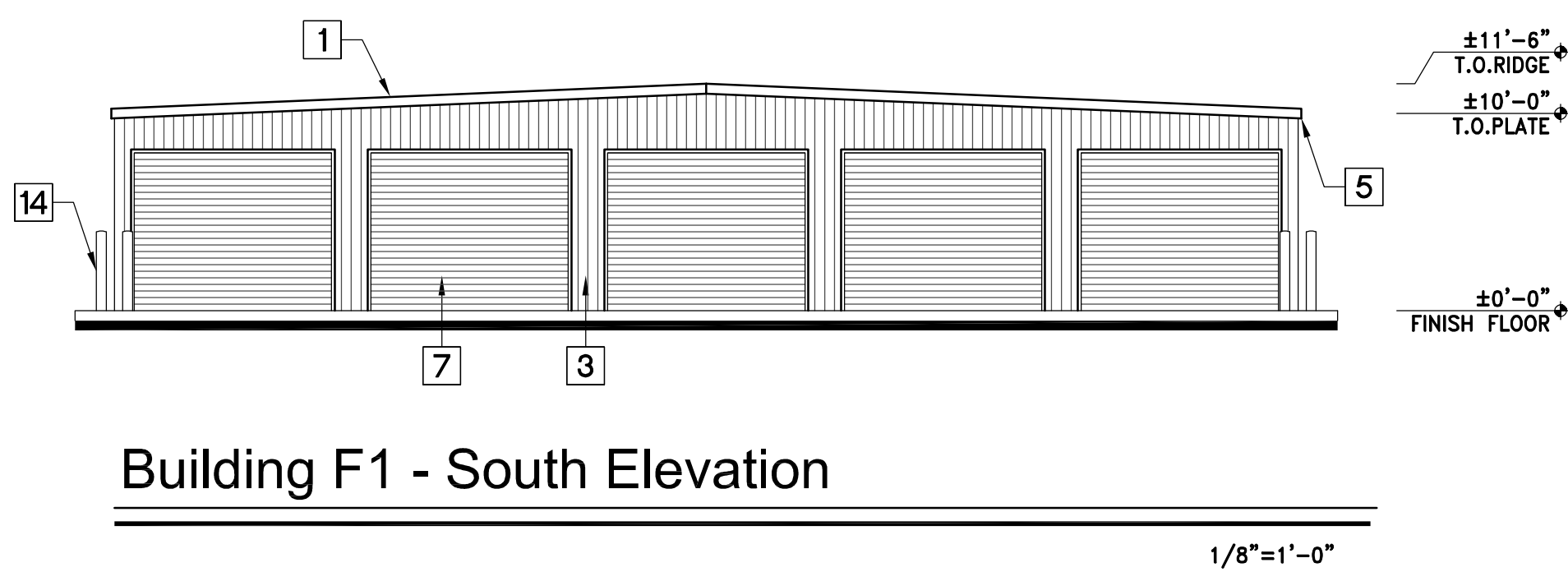
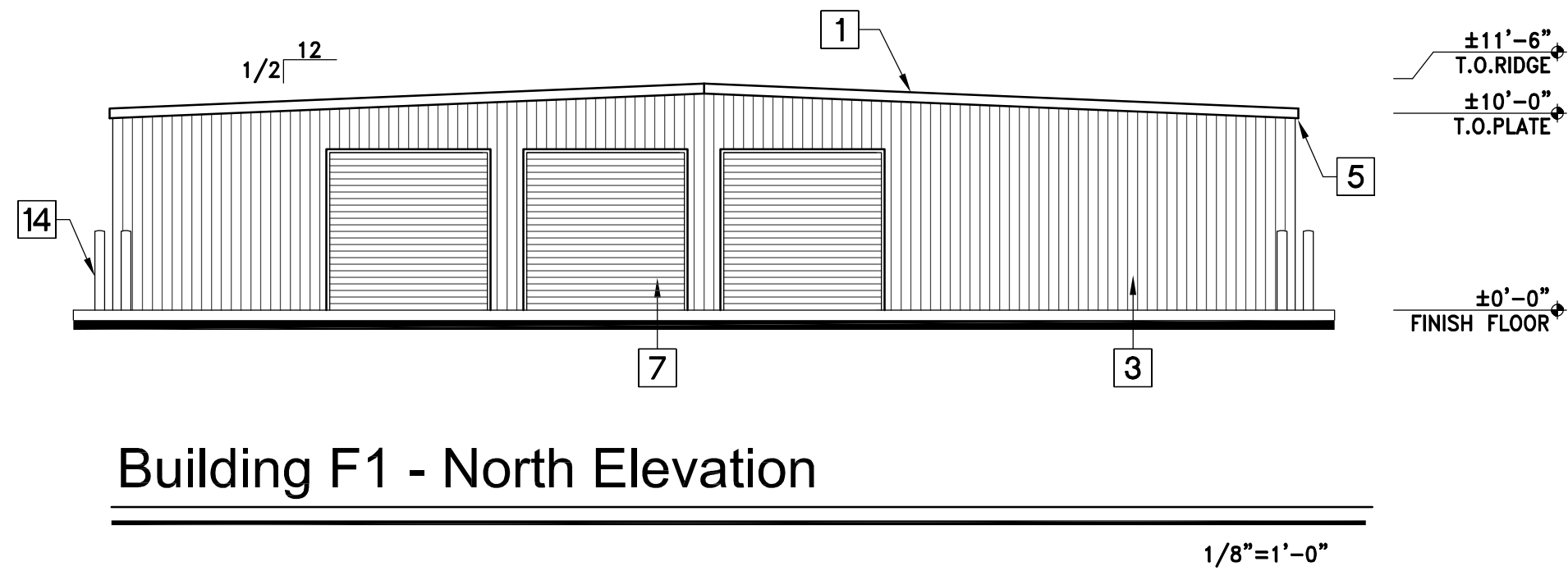
Exterior  
Elevation  
Bldg - E1

Revisions  
△ X

SHEET No.

A3.1e1

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KEYNOTES	
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6	CEMENT PLASTER CONTROL JOINT, SEE DETAILS 10/A6.1
7	ROLL UP DOOR, SEE OPENING SCHEDULE
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10	2A:10BC RATED FIRE EXTINGUISHER SEMI RECESSED CABINET, MOUNTED SO THAT TOP IS NOT MORE THAN 48" TO OPERABLE PART FROM FINSHED FLOOR. PROVIDE ONE (1) FIRE EXTINGUISHER FOR EVERY 3000 SQUARE FEET OF FLOOR SPACE AT A MAXIMUM SPACINF OF 75 FEET. TOTAL OF (2)
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13	2 HR RATED WALL, SEE DETAIL 8/A6.3
14	BOLLARD TYP. AT BLDG CORNERS

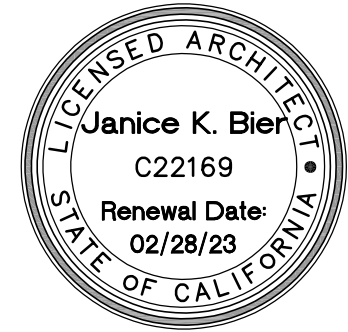
SJA

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Master Storage 365  
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Date: 04.23.21  
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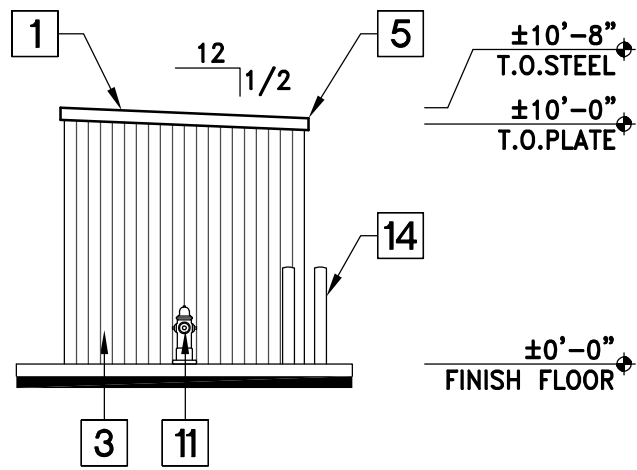
Exterior  
Elevation  
Bldg - F1

Revisions  
△ x

SHEET No.

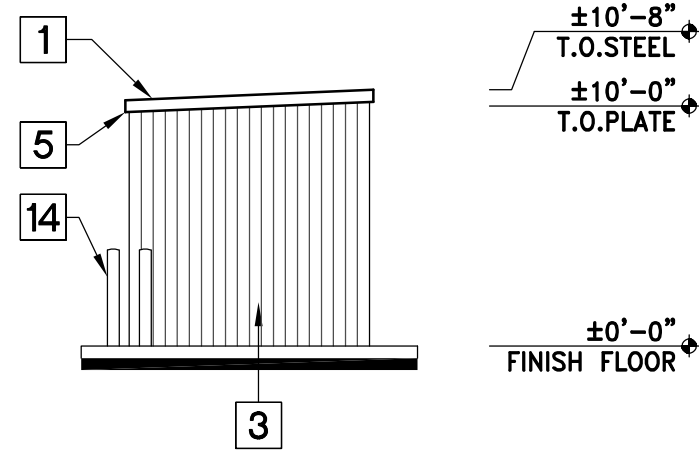
A3.1f1

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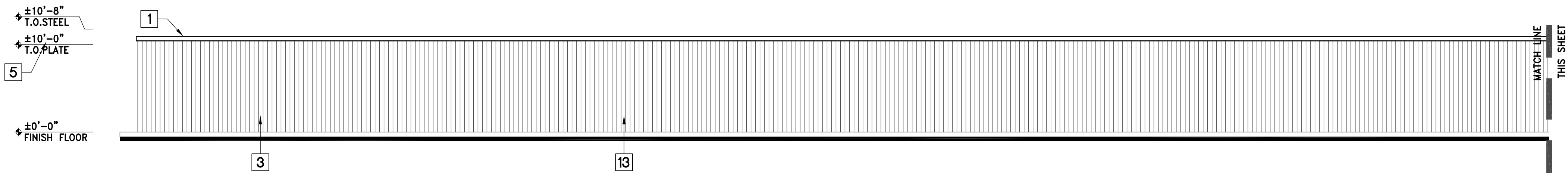
Building G1 - North Elevation

1/8"=1'-0"



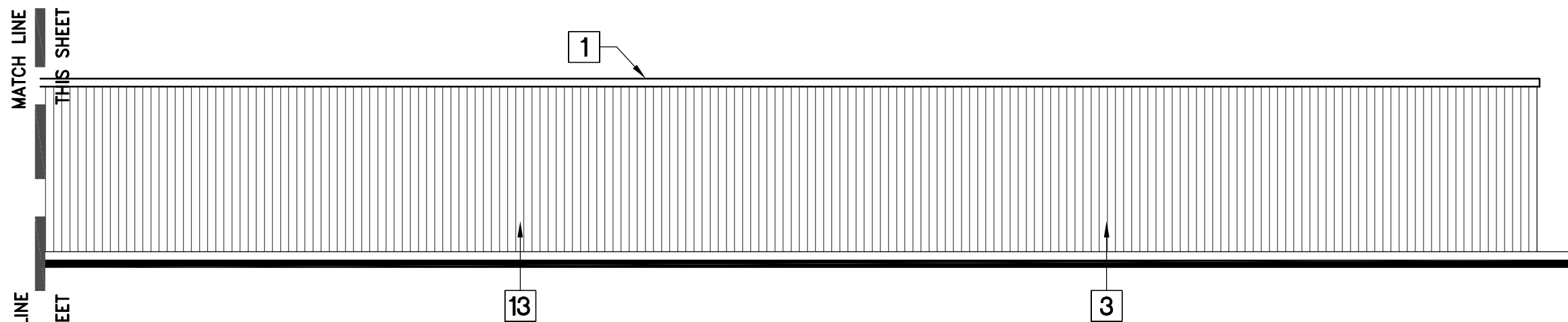
Building G1 - South Elevation

1/8"=1'-0"



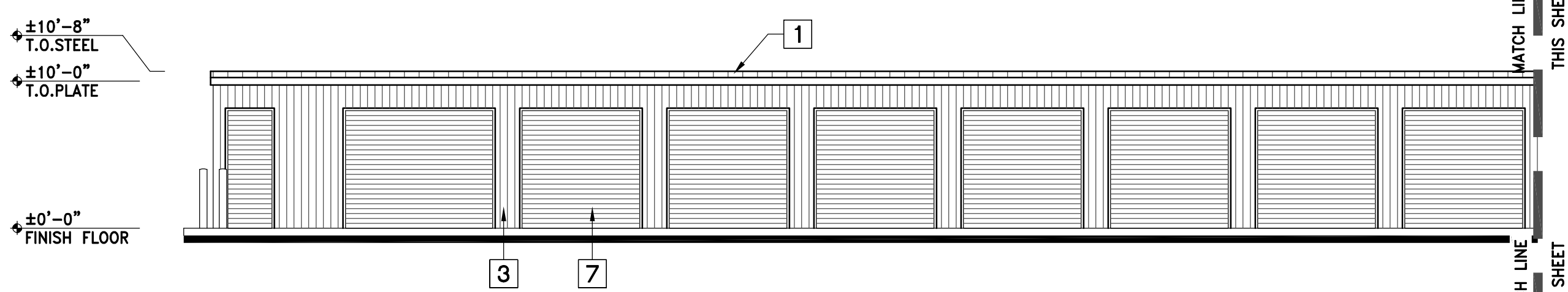
Building G1 - East Elevation

1/8"=1'-0"



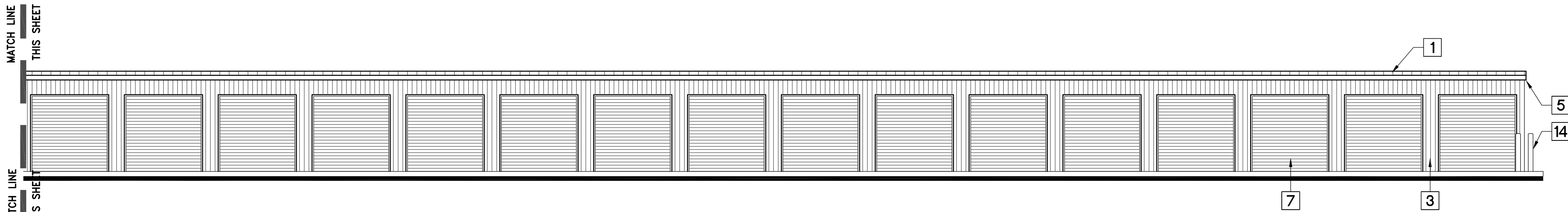
Building G1 - East Elevation - Cont.

1/8"=1'-0"



Building G1 - West Elevation

1/8"=1'-0"

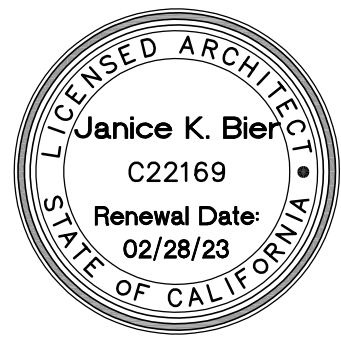


Building G1 - West Elevation - Cont.

1/8"=1'-0"

KEYNOTES	
No.	Description
1	METAL ROOFING PANELS- MCELROY METALS OR EQ. CONCEALED FASTENING SYSTEM, 24 GAGE OR APPROVED EQ.
2	"D"CHANNEL METAL WALL PANELS- MCELROY METALS OR EQ. CONCEALED FASTENING SYSTEM, 24 GAGE OR APPROVED EQ., PAINTED "DARK BRONZE"
3	"U"CHANNEL METAL WALL PANELS- MCELROY METALS OR EQ. CONCEALED FASTENING SYSTEM, 24 GAGE OR APPROVED EQ., PAINTED "TAN"
4	7/8" CEMENT PLASTER o/MTL LATH o/ TYVEK RESISTANT BARRRIER o/ PLYWD SHEATHING
5	PRE-FORMED METAL ROOF GUTTER, SEE KIVI DWGS
6	CEMENT PLASTER CONTROL JOINT, SEE DETAILS 10/A6.1
7	ROLL UP DOOR, SEE OPENING SCHEDULE
8	MAN DOOR, SEE OPENING SCHEDULE
9	LED WALLPACK LIGHTING, SEE ELECTRICAL DWGS
10	2A:10BC RATED FIRE EXTINGUISHER SEMI RECESSED CABINET, MOUNTED SO THAT TOP IS NOT MORE THAN 48" TO OPERABLE PART FROM FINSHED FLOOR. PROVIDE ONE (1) FIRE EXTINGUISHER FOR EVERY 3000 SQUARE FEET OF FLOOR SPACE AT A MAXIMUM SPACINF OF 75 FEET. TOTAL OF (2)
11	FIRE HYDRANT AT RECESSED ALCOVE AREA, SEE CIVIL DWGS
12	ELECTRICAL PANELS, SEE ELECTRICAL DWGS
13	2 HR RATED WALL, SEE DETAIL 8/A6.3
14	BOLLARD TYP. AT BLDG CORNERS

Master Storage 365  
Iona Ave  
Lemoore, CA



Date: 04.23.21  
Drawn By: Susan Jones  
Project # 21002

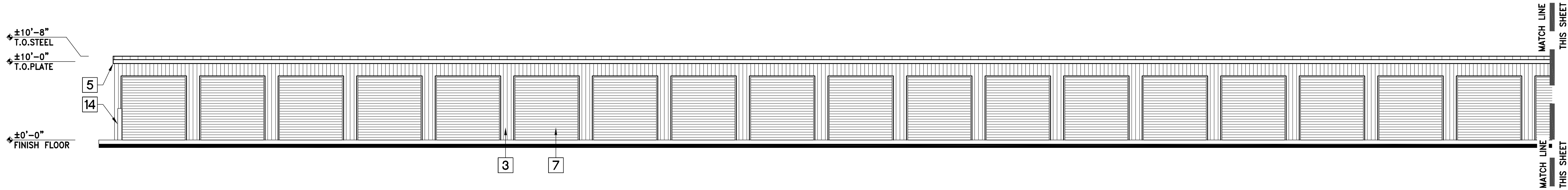
Exterior  
Elevation  
Bldg - G1

Revisions  
△ X

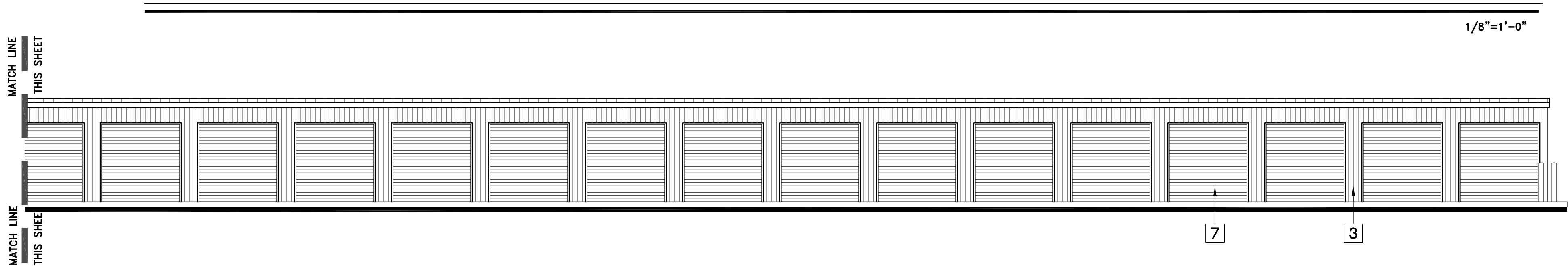
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A3.1g1

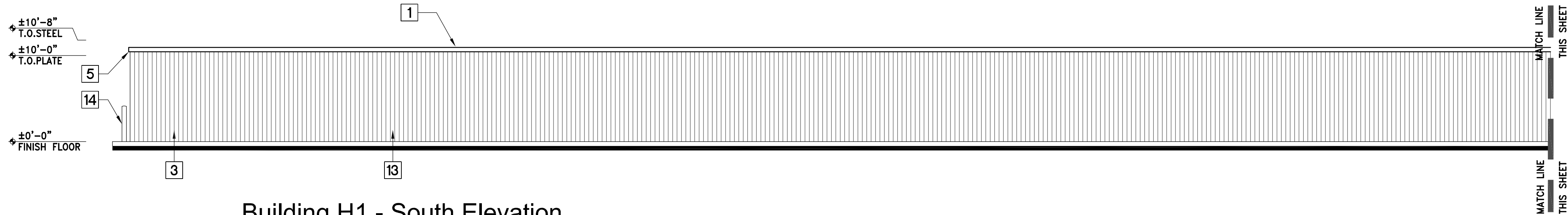
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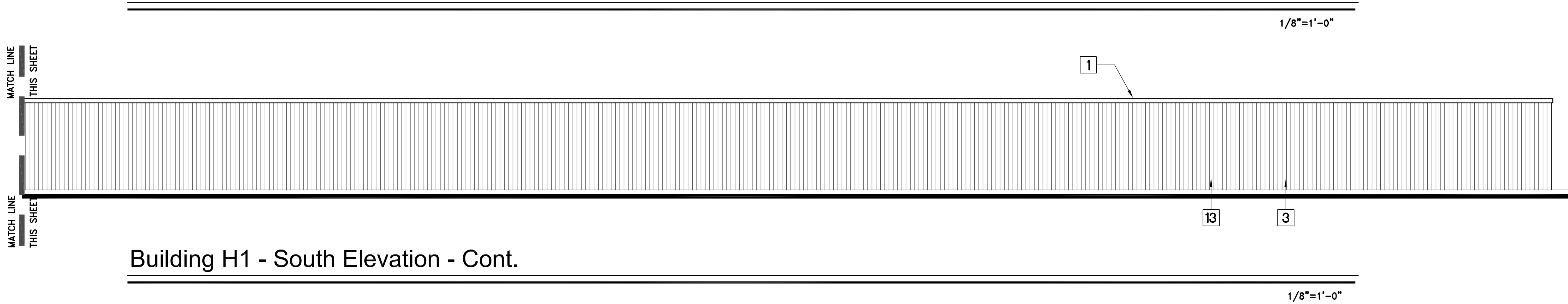
Building H1 - North Elevation



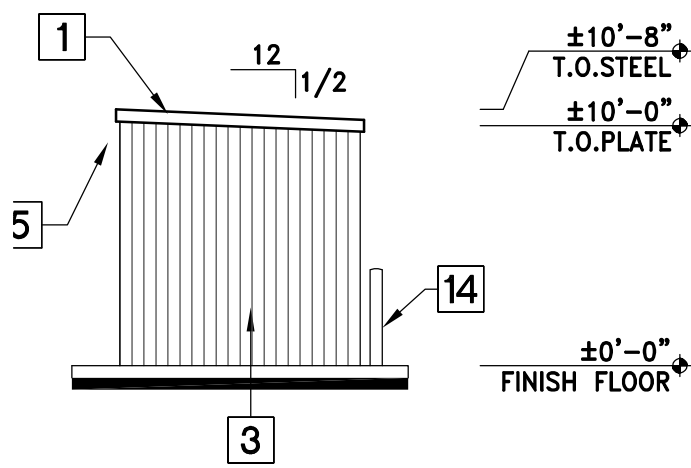
Building H1 - North Elevation - Cont.



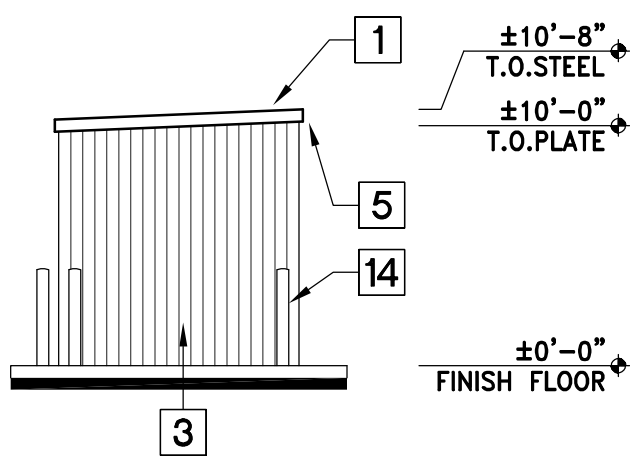
Building H1 - South Elevation



Building H1 - South Elevation - Cont.



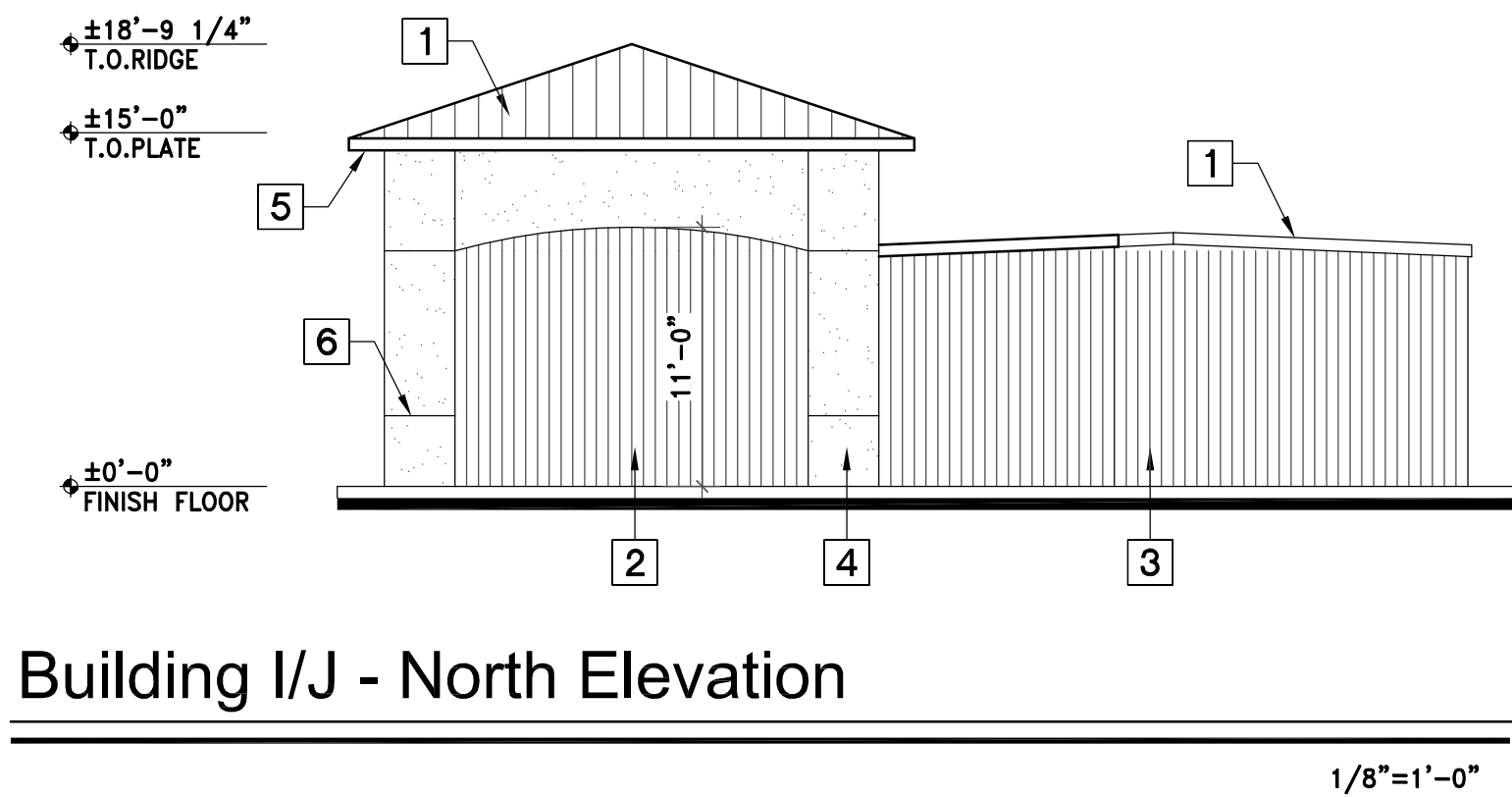
Building H1 - East Elevation



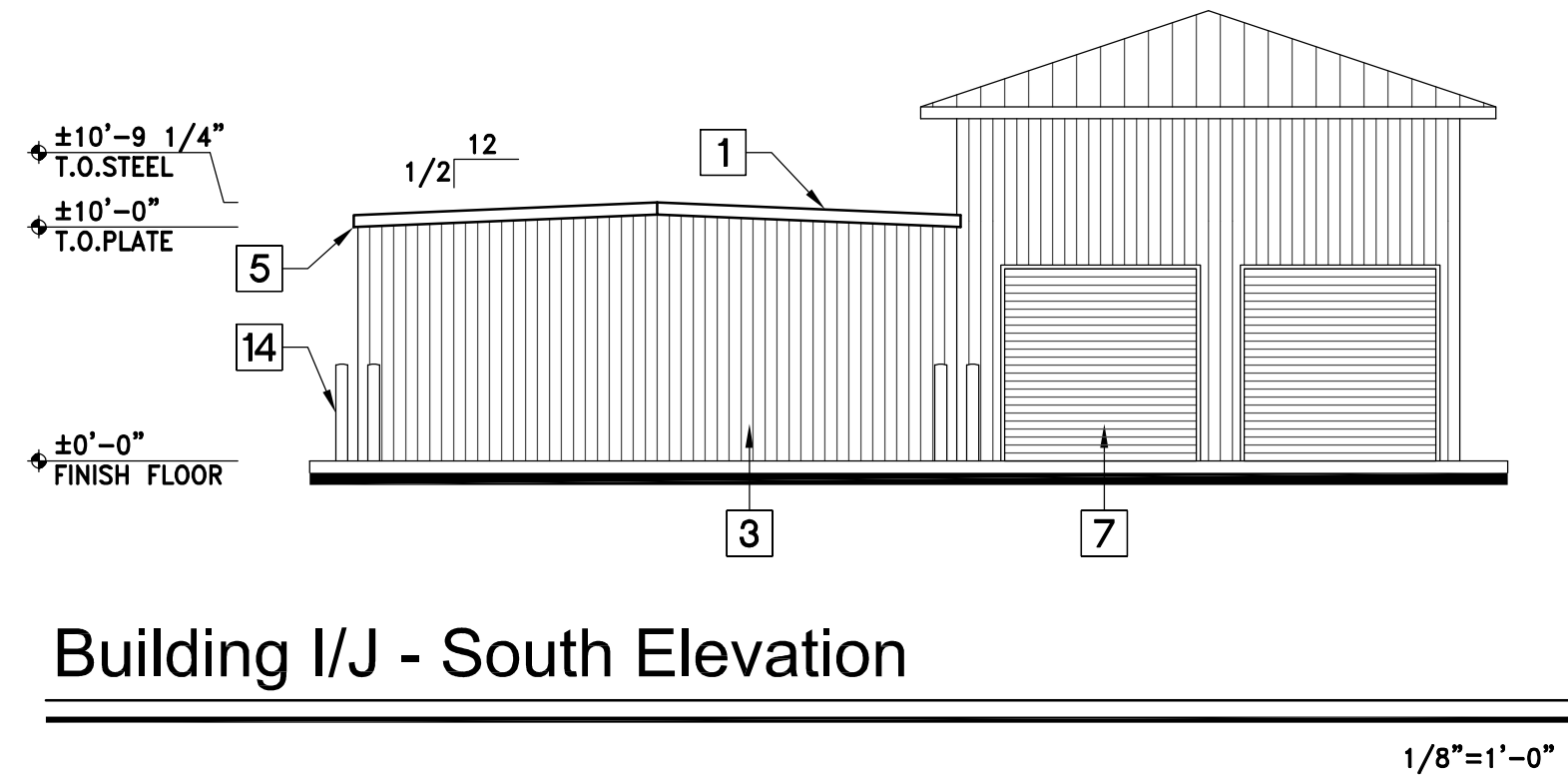
Building H1 - West Elevation

KEYNOTES	
No.	Description
1	METAL ROOFING PANELS- MCELROY METALS OR EQ. CONCEALED FASTENING SYSTEM, 24 GAGE OR APPROVED EQ.
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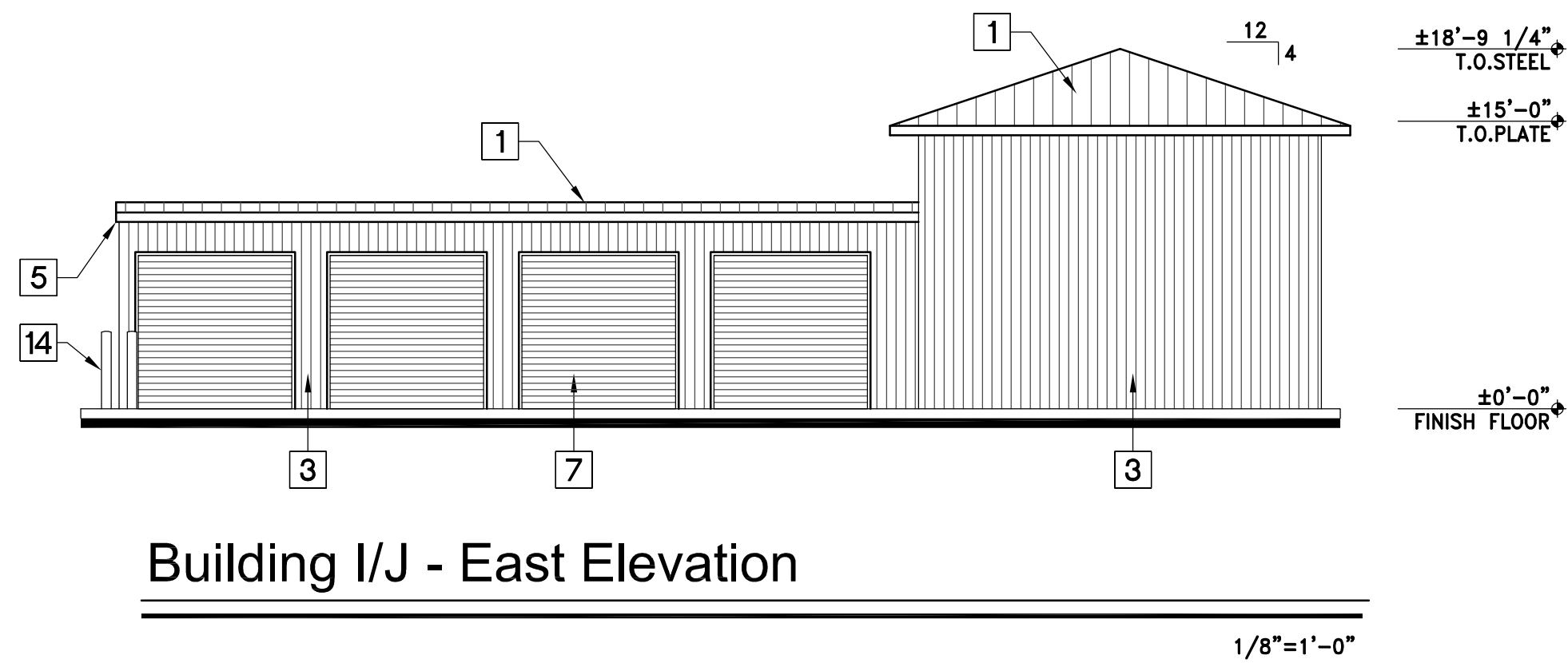
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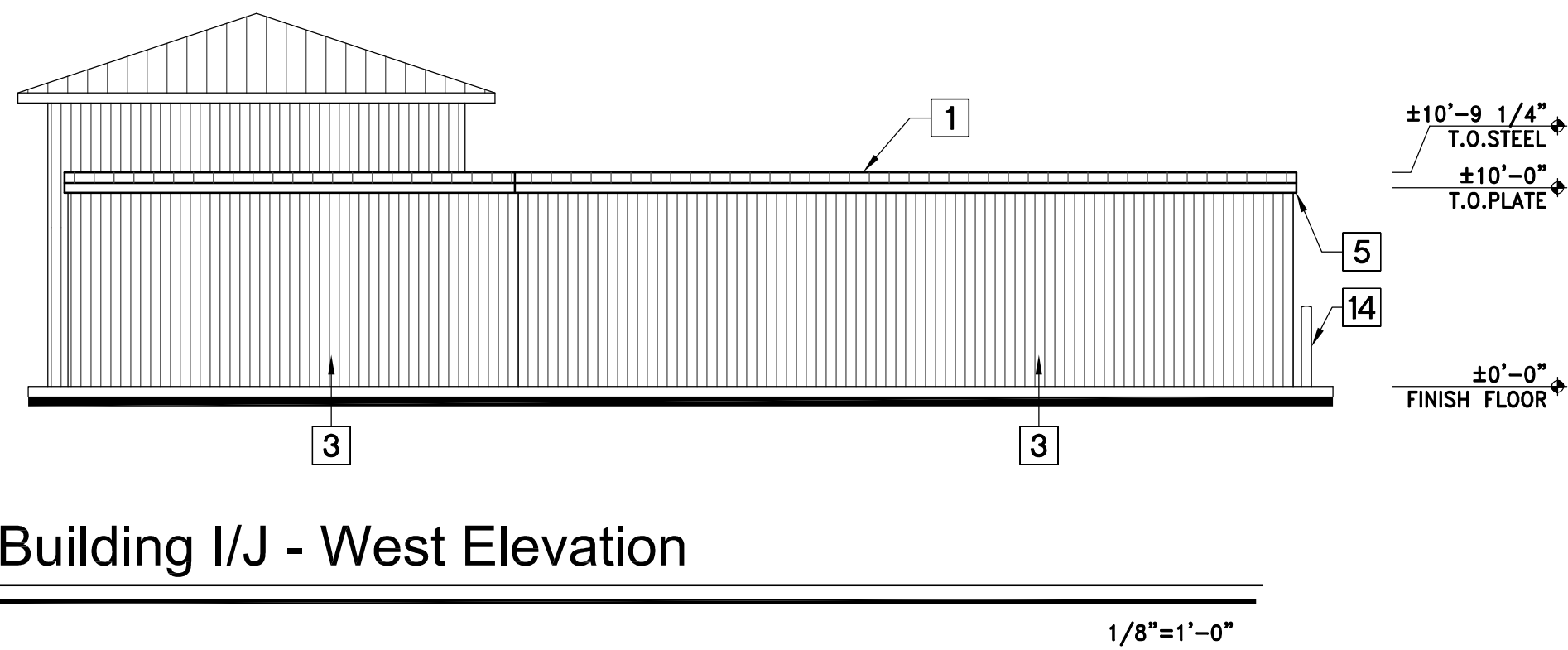
Building I/J - North Elevation



Building I/J - South Elevation



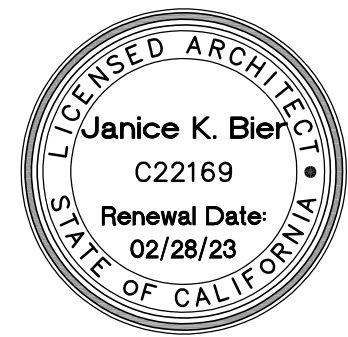
Building I/J - East Elevation



Building I/J - West Elevation

KEYNOTES	
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14	BOLLARD TYP. AT BLDG CORNERS

Master Storage 365  
Iona Ave  
Lemoore, CA



Date: 04.23.21  
Drawn By: Susan Jones  
Project # 21002

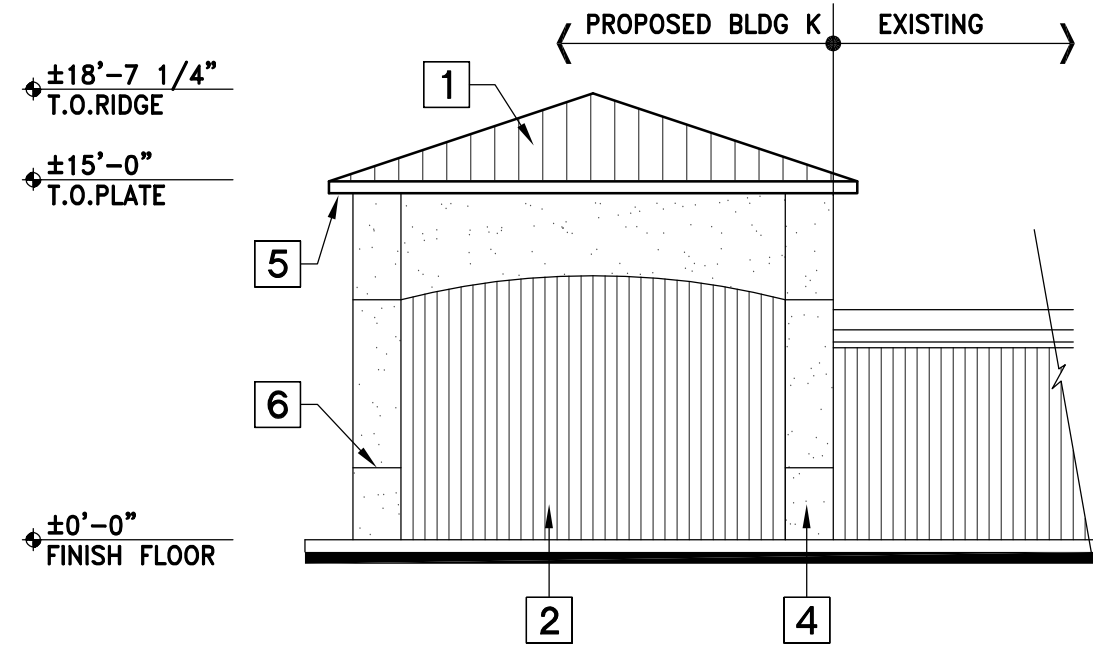
Exterior  
Elevation  
Bldg - I/J

Revisions  
△ x

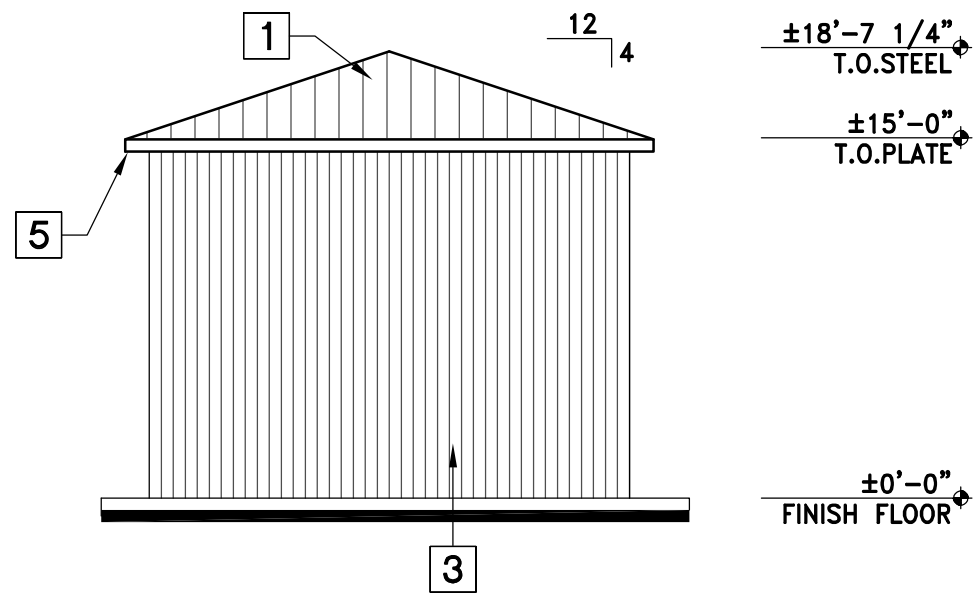
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A3.11.j1

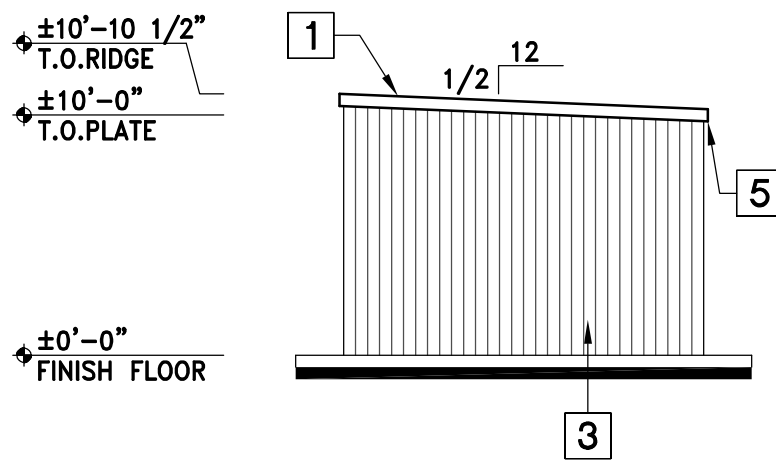
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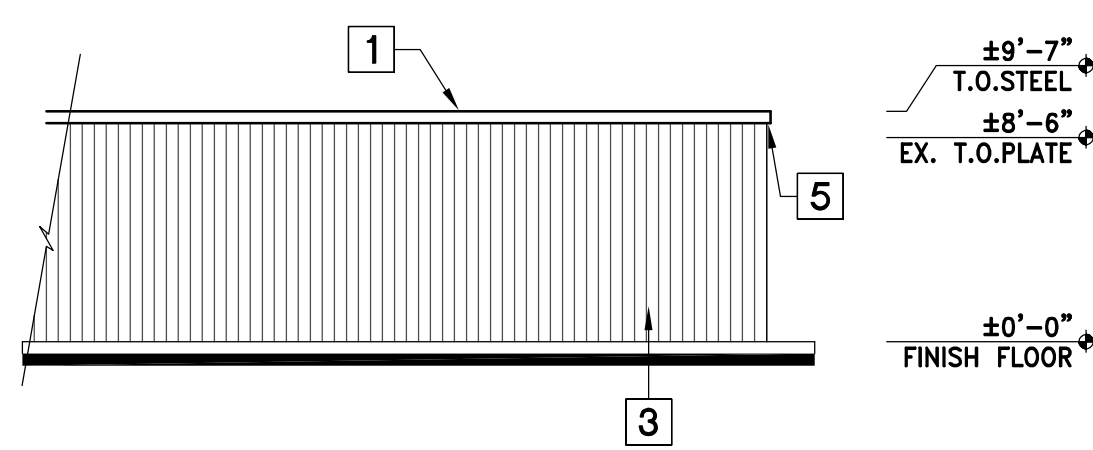
Building K - North Elevation



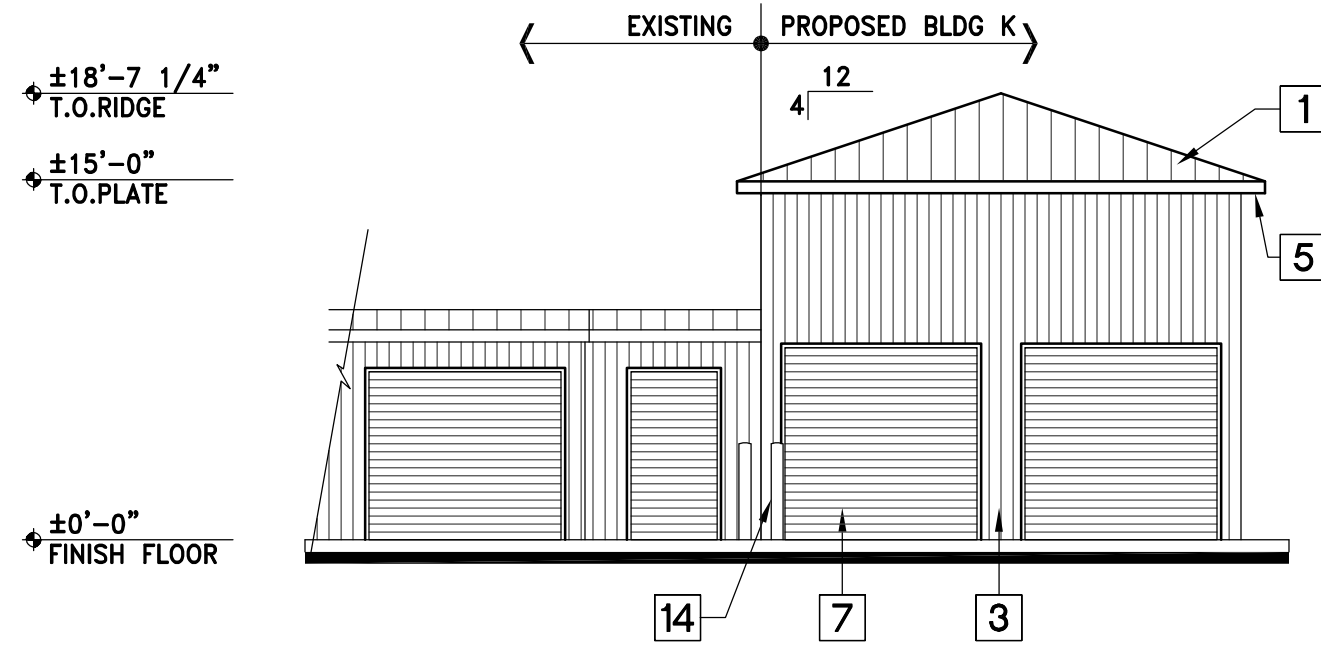
Building K - East Elevation



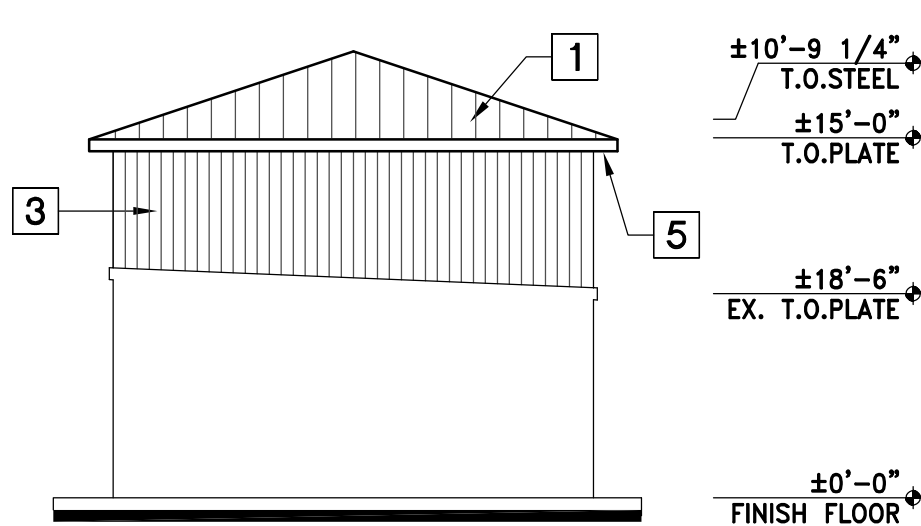
Building L - South Elevation



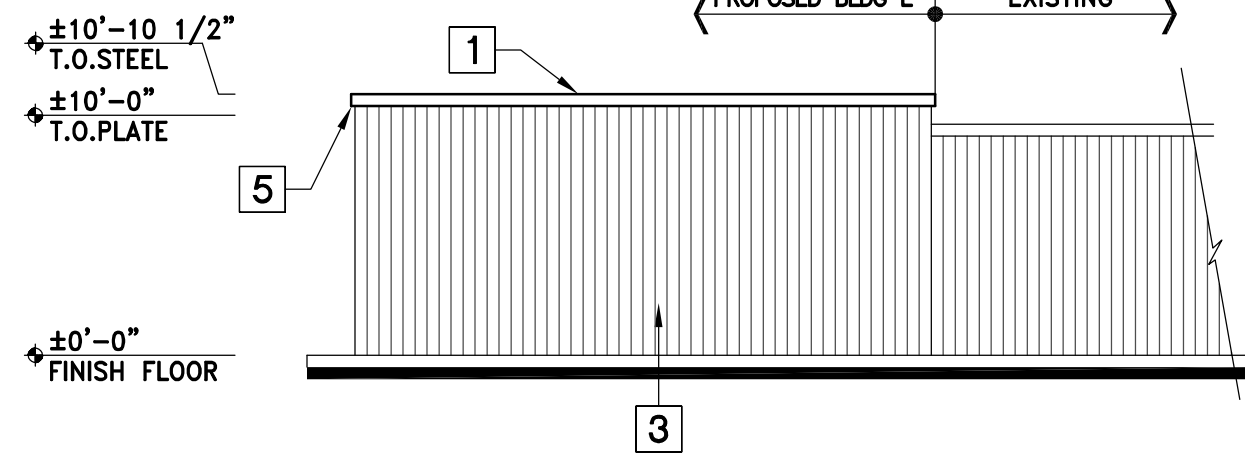
Building M - North Elevation



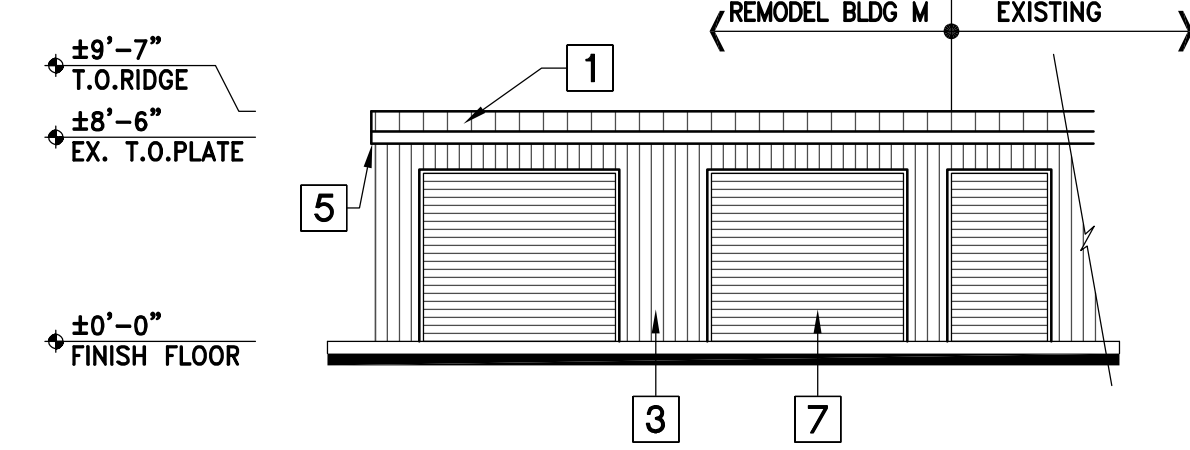
Building K - South Elevation



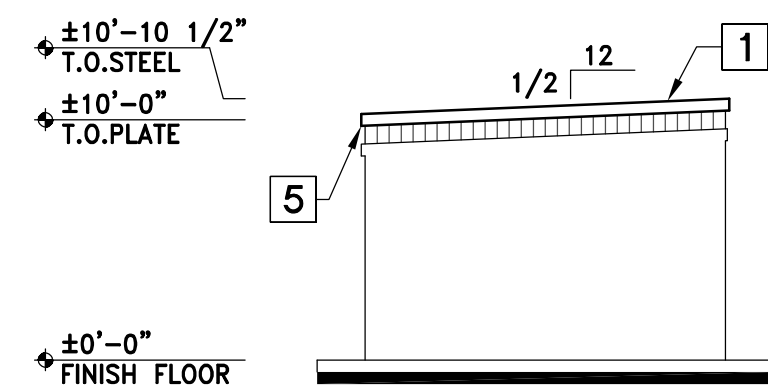
Building K - West Elevation



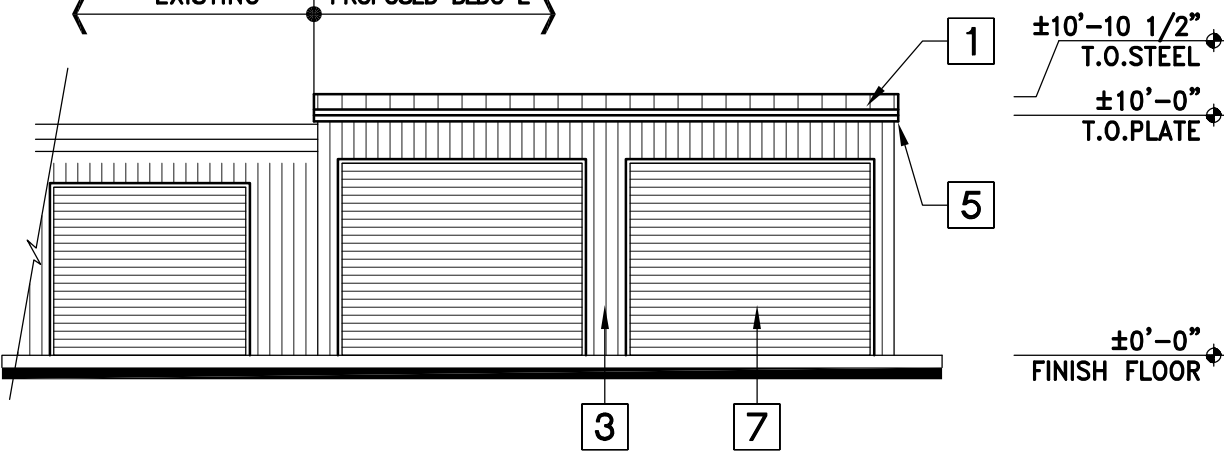
Building L - East Elevation



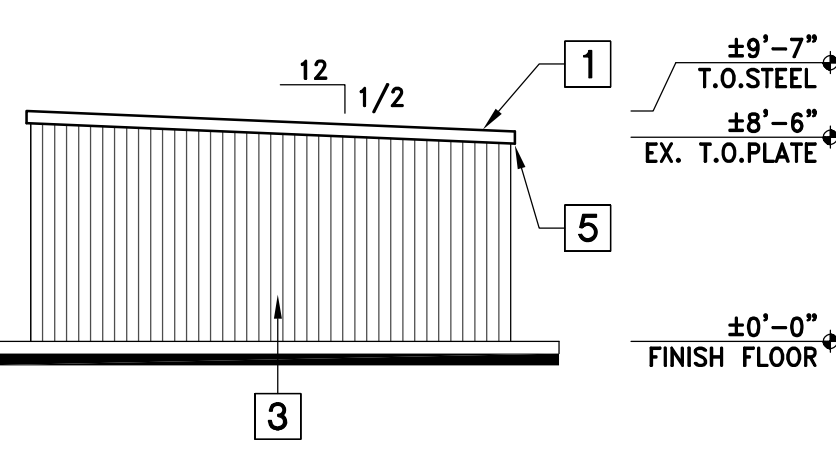
Building M - South Elevation



Building L - North Elevation



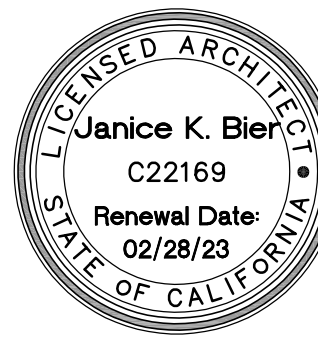
Building L - West Elevation



Building M - West Elevation

KEYNOTES	
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14	BOLLARD TYP. AT BLDG CORNERS

Master Storage 365  
Iona Ave  
Lemoore, CA



Date: 04.23.21  
Drawn By: Susan Jones  
Project # 21002

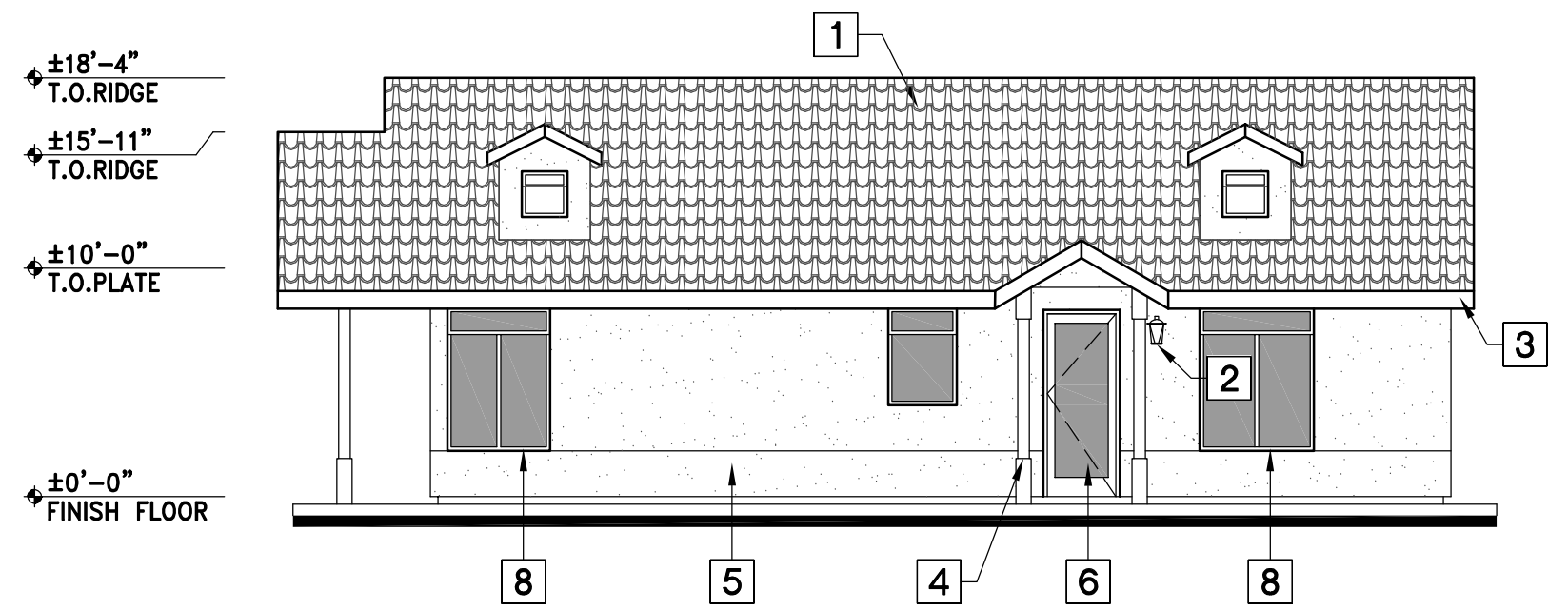
Exterior  
Elevation  
Bldg - K, L, & M

Revisions  
X

SHEET No.

A3.1k.l.m

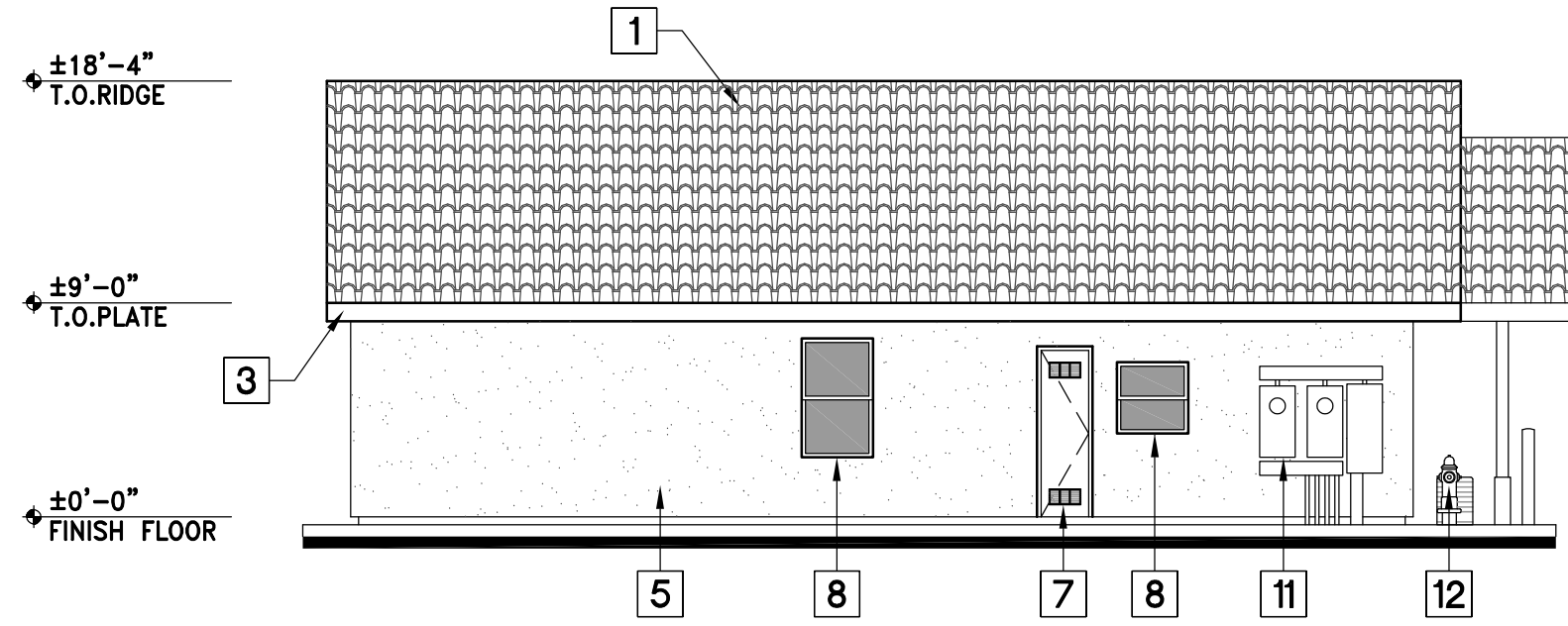
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Building N - North Elevation

Existing bldg

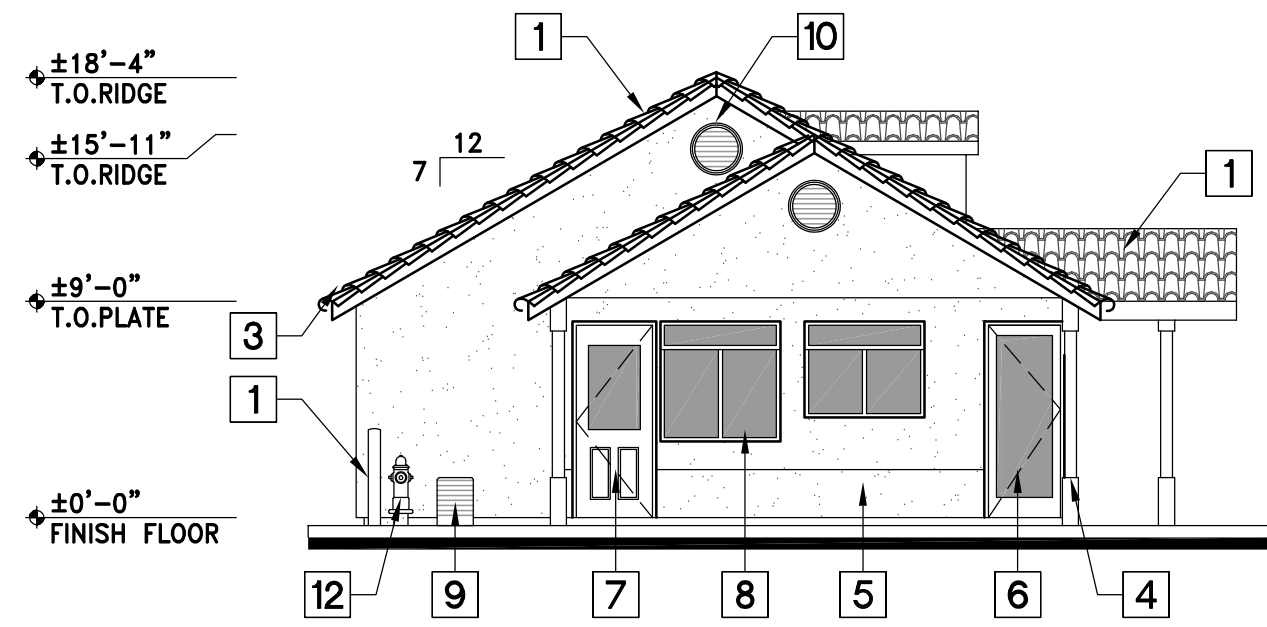
1/8"=1'-0"



Building N - South Elevation

Existing bldg

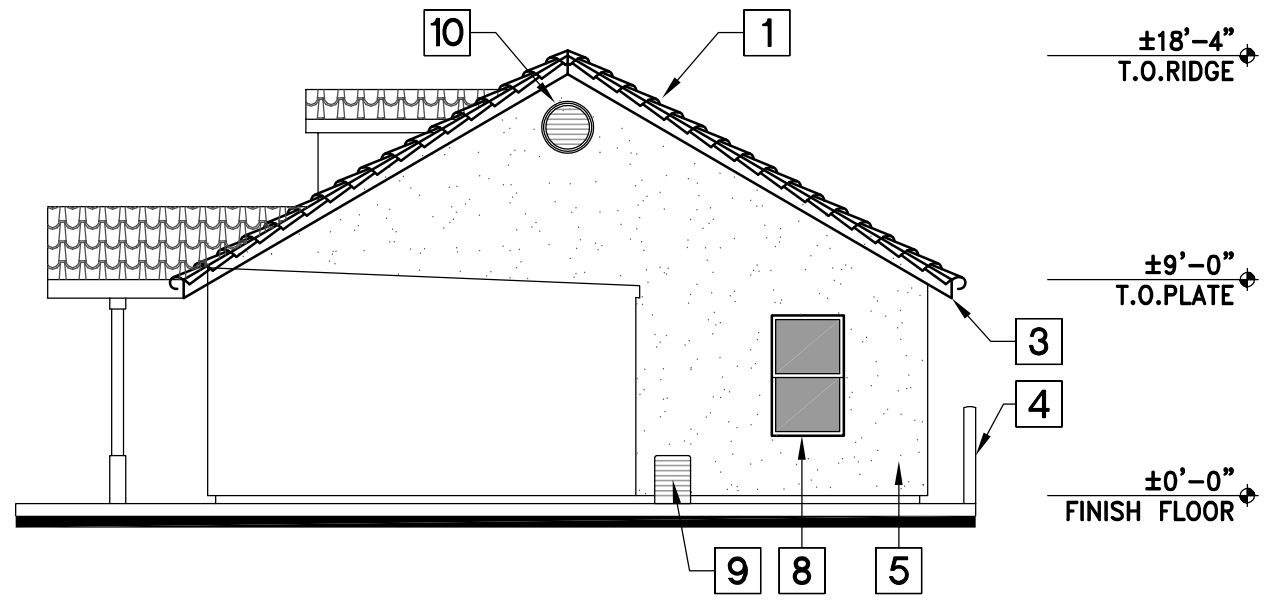
1/8"=1'-0"



Building N - East Elevation

Existing bldg

1/8"=1'-0"



Building N - West Elevation

Existing bldg

1/8"=1'-0"

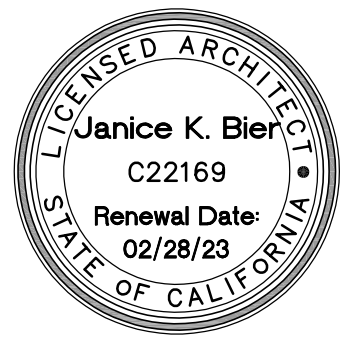
KEYNOTES	
No.	Description
1	EXISTING TILE ROOF, PATCH AND REPAIR AS NEEDED
2	EXISTING DECORATIVE WALL LIGHT
3	EXISTING FASCIA BOARD
4	EXISTING BUILDING COLUMN
5	EXISTING STUCCO FINISH, PATCH AND REPAIR AS NEEDED
6	NEW STOREFRONT DOOR, SEE OPENING SCHEDULE
7	EXISTING DOORS, SEE OPENING SCHEDULE
8	EXISTING WINDOW, SEE OPENING SCHEDULE
9	EXISTING MECH. OUTDOOR UNITS SEE MECH DWGS
10	EXISTING GABLE END VENTS
11	EXISTING ELECTRICAL SERVICE CENTER, SEE ELECTRICAL DRAWINGS
12	EXISTING FIRE HYDRANT

**SJA**  
Design Group

1915 Carolina Ave.  
Clovis CA 93611

PH: 559. 593.9692

Master Storage 365  
Iona Ave  
Lemoore, CA



Date: 04.23.21  
Drawn By: Susan Jones  
Project # 21002

Exterior  
Elevation  
Bldg - N

Revisions  
△ x

SHEET No.

A3.1n.1



MAJOR SPR NO: 2021-06  
SUBMITTAL NO: 1  
SUBMITTAL DATE: July 28, 2021

PROJECT TITLE: Master Storage  
DESCRIPTION: 66,131 sq. ft. Expansion  
LOCATION: 3.67 acres on the SEC Iona Avenue and Commerce Way  
Expansion Site: 906 Commerce Way / Existing Site: 1305 Iona Avenue

APPLICANT: Master Storage 365  
PROPERTY OWNER: MS Lemoore, LLC (Richard Torosian, Representative)  
APN(S): Expansion Site 024-051-012 / Existing Site 024-051-013

**FIRE DEPARTMENT COMMENTS DATED: August 19, 2021**

The following comments are applicable when checked:

- ☐ Refer to previous comments dated \_\_\_\_\_.
- ☐ More information is needed before a Site Plan Review can be conducted. Please submit plans with more detail.
- ☐ No fire protection items required for parcel map or lot line adjustment; however, any future projects will be subject to fire protection requirements.
- ☒ Address numbers must be placed on the exterior of the building in such a position as to be clearly and plainly visible from the street. Numbers will be at least 6 inches high and shall be of a color to contrast with their background. If multiple addresses served by a common driveway, the range of numbers shall be posted at the roadway / driveway.
- ☐ No additional fire hydrants are required for this project; however, additional fire hydrants may be required for any future development.
- ☐ There is / are \_\_\_\_\_ fire hydrants required for this project. One hydrant shall be installed every \_\_\_\_\_ ft. (see marked plans for fire hydrant locations).
- ☐ The turning radius for emergency fire apparatus is 20 feet inside radius and 43 feet outside radius. Ensure that the turns identified to you during site plan comply with these requirements. An option is a hammer-head constructed to City of Lemoore standards.
- ☐ An access road is required and shall be a minimum of 20 feet wide. The road shall be an all-weather driving surface accessible prior to and during construction.
- ☐ Buildings or portions of buildings or facilities exceeding 30 feet in height above the lowest level of fire department vehicle access shall be provided with an approved fire apparatus access roads capable of accommodating fire department aerial apparatus. Access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders. Access routes shall be located within a minimum of 15 feet and maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building.
- ☐ A fire lane is required for this project. The location will be given to you during the site plan meeting.
- ☒ A Knox Box key lock system is required. Applications are available at the City of Lemoore Fire Department Administrative Office. NOTE: Knox boxes shall be ordered using an approved application from Lemoore Fire Department Administrative Office, 711 W. Cinnamon Drive. Please allow adequate time for shipping and installation.
- ☒ The security gates, if to be locked, shall be locked with a typical chain and lock that can be cut with a common bolt cutter, or the developer may opt to provide a Knox Box key lock system. Applications are available at the Lemoore Fire Department Administrative Office.
- ☐ That portion of the building that is built upon a property line shall be constructed as to comply with Section 503.4 and Table 5-A of the California Building Code.
- ☐ Commercial dumpsters with 1.5 cubic yards or more shall not be stored or placed within 5 feet of combustible walls, openings, or a combustible roof eave line except when protected by a fire sprinkler system.



MAJOR SPR NO: 2021-06

SUBMITTAL NO: 1  
SUBMITTAL DATE: July 28, 2021

PROJECT TITLE: Master Storage  
DESCRIPTION: 66,131 sq. ft. Expansion  
LOCATION: 3.67 acres on the SEC Iona Avenue and Commerce Way  
Expansion Site: 906 Commerce Way / Existing Site: 1305 Iona Avenue  
APPLICANT: Master Storage 365  
PROPERTY OWNER: MS Lemoore, LLC (Richard Torosian, Representative)  
APN(S): Expansion Site 024-051-012 / Existing Site 024-051-013

- ☐ If you handle hazardous material in amounts that exceed the exempt amounts listed on Table 3-D of the California Building Code, you are required to submit an emergency response plan to the Kings County Health Department. Prior to the building final inspection, we will require a copy of the plan and any Material Safety Data Sheets.
- ☐ An automatic fire sprinkler system is required for this building. A fire hydrant is required within 50 feet of the fire department connection. The fire hydrant, fire department connection and the PIV valve should be located together and minimum 25 feet from the building, if possible. The caps on the FDC shall be Knox locking caps.
- ☐ All hardware on exit doors shall comply with Chapter 10 of the California Fire Code. This includes all locks, latches, dolt locks, and panic and exit hardware.
- ☐ Provide illuminated exit signs and emergency lighting throughout the building.
- ☐ All Fire and Life Safety systems located within the building shall be maintained.
- ☐ An automatic fire extinguishing system for protection of the kitchen grease hood and ducts is required.
- ☐ City of Lemoore Fire Department Impact Fee. *For information call (559) 924-6744*
- ☐ City of Lemoore Fire Department Permit Fee – complete application during Building Department permit process.

Additional comments: \_\_\_\_\_

- ☐ No comments. Acceptable as submitted.

Bruce German

8/19/2021

Authorized signature

Date

Bruce German, Fire Chief  
Printed name



MAJOR SPR NO: 2021-06

SUBMITTAL NO: 1  
SUBMITTAL DATE: July 28, 2021

PROJECT TITLE: Master Storage  
DESCRIPTION: 66,131 sq. ft. Expansion  
LOCATION: 3.67 acres on the SEC Iona Avenue and Commerce Way  
Expansion Site: 906 Commerce Way / Existing Site: 1305 Iona Avenue  
APPLICANT: Master Storage 365  
PROPERTY OWNER: MS Lemoore, LLC (Richard Torosian, Representative)  
APN(S): Expansion Site 024-051-012 / Existing Site 024-051-013

**PUBLIC SAFETY COMMENTS DATED: .2021**

The following comments are applicable when checked:

☐ Public Safety Impact Fee:

Ordinance No.: \_\_\_\_\_ Effective Date: \_\_\_\_\_

Impact fees shall be imposed by the City of Lemoore pursuant to this Ordinance as a condition of, or in conjunction with, the approval of a development project. "New Development or Development Project" means any new building, structure or improvement of any parcels of land upon which no like building, structure or improvement previously existed. NOTE: Refer to Engineering Site Plan comments for fee estimation.

☐ Not enough information provided. Please provide the following information:

\_\_\_\_\_

☐ Access controlled / restricted etc.:

\_\_\_\_\_

☐ Landscaping concerns:

\_\_\_\_\_

☐ Lighting concerns:

\_\_\_\_\_

☐ Line of sight issues:

\_\_\_\_\_

☐ Surveillance issues:

\_\_\_\_\_

☐ Territorial reinforcement – define property lines (private / public space):

\_\_\_\_\_

☐ Traffic concerns:

\_\_\_\_\_

☐ Request opportunity to comment or make recommendations as to safety issues as plans are developed.

\_\_\_\_\_

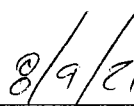
☐ Additional comments: \_\_\_\_\_

\_\_\_\_\_

☒ No comments. Acceptable as submitted.



Authorized signature



Date

Michael Kendall, Police Chief  
Printed name

# City of Lemoore

## CEQA Class 32 (Infill Development) Exemption Findings

The purpose of CEQA Categorical Exemption 32 (Section 15332 of California Environmental Quality Act ("CEQA") Guidelines, Title 14, Chapter 3 of the California Code of Regulations) is to promote in-fill development within urbanized areas. The class consists of environmentally benign in-fill projects which are consistent with local general plan and zoning requirements. This class is not intended to be applied to projects which would result in any significant traffic, noise, air quality, or water quality effects.

### Project Description:

**Major Site Plan Review No. 2019-01:** a request by Master Storage (Precision Engineering, agent) to construct an expansion of an existing ministorage facility including 5,670 sq.ft. of leasable office suites. The site is located at the southeast corner of Iona Avenue and Commerce Way (APNs 024-051-012 and 024-051-013).

### Required Findings:

- a) *The project is consistent with the applicable General Plan designation and all applicable General Plan policies as well as with applicable zoning designations and regulations.*

SUPPORTING INFORMATION: The project site is designated Light Industrial and zoned Light Industrial (ML). A ministorage is consistent with this land use designation and zone.

- b) *The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.*

SUPPORTING INFORMATION: The project site is a 3.48-acre parcel located at the intersection of Iona Avenue and Commerce Way within the city limits of Lemoore.

- c) *The project site has no value as habitat for endangered, rare or threatened species.*

SUPPORTING INFORMATION: The project site is located within an urbanizing area on a lot with periodic ground disturbance to keep weeds under control. A biological pre-construction clearance survey was prepared for the site, and is incorporated into this review by reference. According to the survey document, the project site and the surrounding area consists of developed land for commercial use or is currently undeveloped non-native grassland scheduled for commercial use. All Project-related ground disturbance will occur within the project site. At present, the site provides low quality suitable habitat that makes it unlikely to support any special-status plant species. Therefore, the project site is expected to have low potential for any special-status wildlife species to occur, except burrowing owl or San Joaquin kit fox that could be present from time to time as a transient forager.

This clearance survey provides evidence that a Class 32 Categorical Exemption is supported as determined by the City in MSPR No. 2019-01.

- d.1) Approval of the project would not result in any significant effects relating to traffic.*

SUPPORTING INFORMATION: The project site is located on an active industrial corridor. Both Iona Avenue and Commerce Way are completely built out from curb to curb along the site. The Lemoore General Plan shows that full buildout of the site and surrounding site would not result in a significant traffic impact.

- d.2) Approval of the project would not result in any significant effects relating to noise.*

SUPPORTING INFORMATION: The project site is located in an industrial area where certain levels of noise are expected. The use of the site as a mini-storage and office is expected to generate noise at levels much less than surrounding uses.

- d.3) Approval of the project would not result in any significant effects relating to air quality.*

SUPPORTING INFORMATION: The project site proposes 62,706 sq.ft. of new building space and is located along an existing industrial corridor. The project falls well below the 370,000 sq.ft. designated for industrial parks in the Small Project Analysis Levels (SPAL) document that standardizes requirements for air quality mitigation measures as set forth by the San Joaquin Valley Air Pollution Control District. There are no known significant air quality issues.

- d.4) Approval of the project would not result in any significant effects relating to water quality.*

SUPPORTING INFORMATION: The site will connect to the existing municipal water service system provided by the City of Lemoore and will remain within the design capacities of the system. There are no known significant water quality issues.

- e) The site can be adequately served by all required utilities and public services.*

SUPPORTING INFORMATION: The Project Site is located in an existing industrial area already serviced by all major utilities and municipal services. The project is not anticipated to produce any undue burden on municipal utilities or services. Water service, sewer service, police protection, and fire service can adequately be provided for by the City of Lemoore. There are no known significant utility or service issues.

## **Attachments:**

Biological Clearance Report – Master Storage Project Expansion. February 2020

Authority cited: CEQA Guidelines Section 15332 of California Environmental Quality Act (“CEQA”) Guidelines, Title 14, Chapter 3 of the California Code of Regulations

BIOLOGICAL CLEARANCE REPORT

**MASTER STORAGE EXPANSION PROJECT**

Prepared for:

City of Lemoore  
711 West Cinnamon Drive  
Lemoore, California 93245  
Contact Person: Steve Brandt  
Phone: (559)924-6744

Consultant:



5080 California Avenue, Suite 220  
Bakersfield, CA 93309  
Contact: Jaymie Brauer  
Phone: (661) 616-2600

February 2020



February 7, 2020

Steve Brandt  
City Planner  
City of Lemoore  
711 West Cinnamon Drive  
Lemoore, CA 93245

**RE: Biological Pre-Construction Clearance Survey Results for the Master Storage Expansion Project**

Dear Mr. Brandt:

This letter provides the results of the biological pre-construction clearance survey conducted for the proposed Master Storage Expansion Major Site Plan Review No. 2019-01 ([MSPR]; Project). The Project is located on the southeast corner of Iona Avenue and Commerce Way in Lemoore, California. The Project will include the expansion of an existing ministorage facility including 5,670 sq. ft. of leasable office suites. The initial work will include grading, general masonry, and associated infrastructure such as water and electrical lines and paved parking. The Project is located within Kings County, California (Attachment A, Figure 1). A biological clearance survey was conducted on February 6, 2020 to support the City's use of a Class 32 Categorical Exemption under the California Environmental Quality Act (CEQA), as required by the MSPR No. 2019-01 (Attachment B).

The Project site is within Section 16, Township 19S, Range 20E, Mount Diablo Base and Meridian (MDB&M), and the *Lemoore* U.S. Geological Survey (USGS) 7.5-minute topographic quadrangle (Attachment A - Figure 2).

QK was retained by the City of Lemoore to conduct a pre-construction clearance survey to identify the presence or absence of special-status plant and wildlife species or their habitat within the Project site. The Project is subject to requirements related to environmental compliance with the California Environmental Species Act, the Federal Environmental Species Act (16 U.S.C. 1531-1543), and the Migratory Bird Treaty Act (16 U.S.C. 703-711) as noted in the Major Site Plan No. 2019-01. Results of the survey are provided herein. Photographs were taken to document existing conditions and to provide a visual perspective of the Project site (Attachment C - Representative Photographs).

## **METHODOLOGY**

QK Biologists Karissa Denney and Erica Pena conducted the survey on February 6, 2020. The primary focus of the survey is to detect the presence of special-status species that have the potential

to occur at the Project site. The survey includes a 250-foot buffer (Biological Study Area or BSA, Attachment A, Figure 3). The survey focused on detecting special-status species known to be in the area. The survey included 100% visual coverage of the Project site, where feasible. The survey was conducted during the daytime, during which there is a high probability of detecting special-status species including sign (e.g. tracks, scat, prey remains, dens, etc.).

Representative photographs relevant to sensitive biological resources were taken to document site conditions at the time of the survey. Information on special-status species within a 10-mile radius of the Project site was obtained from the California Natural Diversity Database (CNDDB).

## SURVEY RESULTS

### General Site Conditions

The Project site is within the city of Lemoore and is bordered to the north, east, and west by commercial buildings, with undeveloped land to the immediate south and northwest. (Attachment A, Figure 3). The staging yard and equipment lay down areas will be located within the Project site boundary (Attachment A, Figure 3). An existing ministorage facility is located on the eastern half of the Project site (APN 024-051-012) and the western half is currently an open vacant lot with ruderal vegetation and non-native grassland (APN 024-051-013). Plant and wildlife species observed within the BSA include 5 plant species, two mammal species, and two bird species (Table 1). Numerous inactive small mammal burrows were observed in the BSA. Based on their size and configuration, the burrows were determined to be previously utilized by California ground squirrels (*Otospermophilus beecheyi*). Gopher(s) (*Geomyidae*) sign including above surface disturbance was also observed throughout the Project site.

**TABLE 1**  
**Plant and Wildlife Species Observed,**  
**Master Storage Expansion Project, Lemoore, California**

Scientific Name	Common Name
<b>Plants</b>	
<i>Amaranthus albus</i>	tumbleweed
<i>Croton setigerus</i>	turkey mullein
<i>Helianthus annuus</i>	common sunflower
<i>Salsola tragus</i>	Russian thistle
<i>Schismus sp.</i>	Mediterranean grass
<b>Wildlife</b>	
<i>Geomyidae</i>	gopher
<i>Otospermophilus beecheyi</i>	California ground squirrel
<i>Quiscalus mexicanus</i>	Great-tailed grackle
<i>Zenaida macroura</i>	mourning dove

\* Indicates sign (i.e. tracks, scat, nest, burrow or den, calls) observed.

## **Presence/Absence of Covered Species**

California Natural Diversity Database (CNDDDB) queries were conducted prior to the site visit. CNDDDB presents historical occurrences of covered plant species, covered mammal species, covered sensitive status bird species and covered reptile and amphibian species.

### *Special Status and Nesting Birds*

Based on a 10-mile radius CNDDDB search, special-status bird species recorded within the Project site vicinity included; Swainson's hawk (*Buteo swainsoni*), burrowing owl (*Athene cunicularia*), tricolored blackbird (*Agelaius tricolor*), western snowy plover (*Charadrius alexandrinus nivosus*), and yellow-headed blackbird (*Xanthocephalus xanthocephalus*). No previous or current nesting sign for Swainson's hawk, western snowy plover or yellow-headed blackbird were observed during the survey. Suitable nesting habitat (i.e. riparian or wetland) for tricolored blackbird is absent from the site. None of the inactive small mammal burrows showed sign of use by burrowing owl (i.e. whitewash, burrow size or configuration) were present on the Project site. However, burrowing owls could potentially be present from time to time as a transient forager.

### *Special-Status Mammals*

Based on a 10-mile radius CNDDDB search, special-status mammal species recorded within the Project site vicinity included; Fresno kangaroo rat (*Dipodomys nitratooides*), Tipton kangaroo rat (*Dipodomys nitratooides nitratooides*), San Joaquin kit fox (*Vulpes macrotis mutica*), and hoary bat (*Lasiurus cinereus*). No small mammal burrows or sign (i.e. scat, tracks, etc.) that could indicate the presence of Fresno or Tipton kangaroo rat species were observed during the survey. Suitable roosting or foraging habitat for the hoary bat is absent from the site. No San Joaquin kit fox or their sign (i.e. scat, tracks, or denning) was observed during the survey. However, San Joaquin kit fox could potentially be present from time to time as a transient forager.

## **CONCLUSION**

The Project site and the surrounding area consists of developed land for commercial use or is currently undeveloped non-native grassland scheduled for commercial use. All Project-related ground disturbance will occur within the Project site. At present, the BSA provides low quality suitable habitat that makes it unlikely to support any special-status plant species. Therefore, the Project site is expected to have low potential for any special-status wildlife species to occur, except burrowing owl or San Joaquin kit fox that could be present from time to time as a transient forager. This clearance survey provides evidence that a Class 32 Categorical Exemption is supported as determined by the City in MSPR No. 2019-01.

Should Project conditions change, or ground-breaking activities not commence within the next 30 days from the day of the survey, further consultation is warranted. This biological clearance

*February 7, 2020*

report is valid for 30 days from February 6, 2020. If you have any questions regarding this report or require additional information, please contact Jaymie Brauer or myself at (661) 616-2600.

Sincerely,



Karissa A. Denney  
*Associate Environmental Scientist*

Attachments:

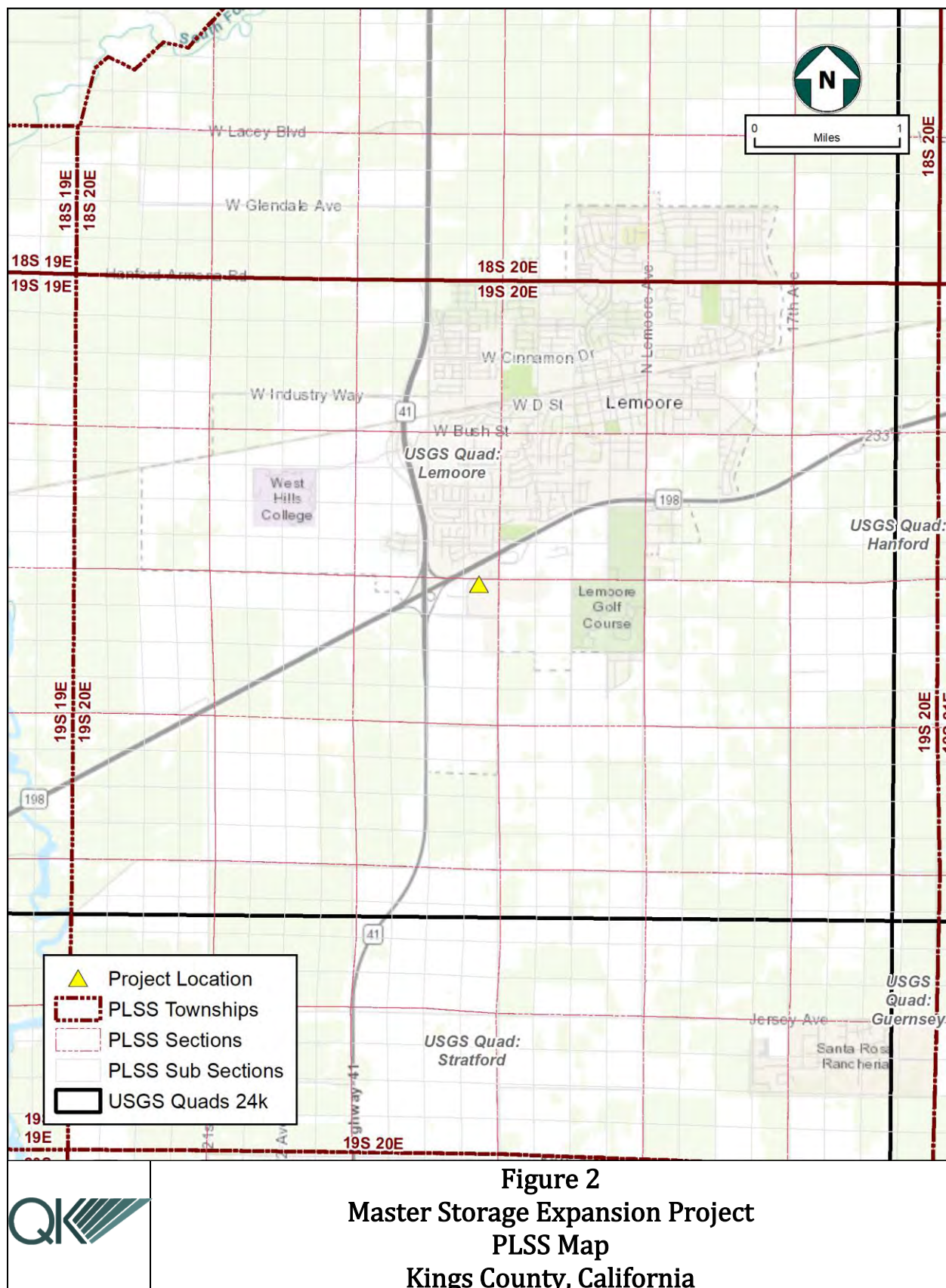
- A. Project Figures
- B. Major Site Plan Review No. 2019-01
- C. Representative Photographs

cc: file  
190002.02

## **ATTACHMENT A**

## **PROJECT FIGURES**







**Figure 3**  
**Master Storage Expansion Project**  
**Biological Study Area Map**  
**Kings County, California**

**ATTACHMENT B**  
**Major Site Plan Review No. 2019-01**



711 W. Cinnamon Drive • Lemoore, California 93245 • Planning (559) 924-6744  
**Community Development Department**

## **Major Site Plan Review 2019-01**

**To:** Master Storage  
**From:** Steve Brandt, City Planner  
**Date:** December 5, 2019  
**Subject:** **Major Site Plan Review No. 2019-01:** a request by Master Storage (Precision Engineering, agent) to construct an expansion of an existing ministorage facility including 5,670 sq.ft. of leasable office suites. The site is located at the southeast corner of Iona Avenue and Commerce Way (APNs 024-051-012 and 024-051-013).

---

Please resubmit a revised site plan that incorporates the comments provided herein and on the attached site plan. These comments are subject to approval by the Lemoore Planning Commission.

### **Zoning/General Plan:**

The use of the site is allowed in the Light Industrial zone.

### **Environmental Review:**

Based on information available at this time, it is anticipated that the project may be found Categorically Exempt from the California Environmental Quality Act based on the Class 32 Exemption after a cultural review and limited biological survey of the site are performed. The Exemption will be invoked if no cultural study is deemed required and the site has no value as habitat for endangered or threatened species.

### **Time Limits:**

Unless a condition of approval establishes a different time limit, this permit, if not exercised within two (2) years of approval, shall expire and become void, except where an extension of time is approved in compliance with Lemoore Municipal Code Section 9-2A-9 subsection C, "Permit

Extensions". The exercise of a permit occurs when the applicant or property owner has performed substantial work and incurred substantial liabilities in good faith reliance upon such permit(s).

**Attached Comments:**

Comments from Building Department  
Comments from City Engineering  
Comments from Fire Department  
Comments from Planning Department  
Comments from Police Department  
Comments from Public Works Department  
Initial Site Plan with Markups

DATE:	December 5, 2019
SITE PLAN NO:	Major Site Plan No. 2019-01
PROJECT TITLE:	Master Storage expansion
DESCRIPTION:	Ministorage facility expansion including 5,670 sq.ft. of leasable office suites
APPLICANT:	Master Storage (Precision Engineering).
PROPERTY OWNER:	Tom Vorhees
LOCATION:	Southeast corner of Iona Avenue and Commerce Way
APN(S):	024-051-012, 024-051-013

### **BUILDING DEPARTMENT**

**Building Safety - The following comments are applicable when checked. Comments in *italics* are specific to the project.**

- ☒ These are general comments and DO NOT constitute a complete plan check for your specific project. Please refer to the applicable California Code and local ordinances for additional requirements.
- ☒ A Business License is required.
- ☒ A building permit will be required.
- ☒ Indicate abandoned wells, septic systems, and excavations on construction plans.
- ☒ Meet State and Federal Americans with Disabilities Act (ADA) requirements.
- ☒ A path of travel, parking, and common area must comply with ADA Requirements.
- ☒ All accessible units must meet ADA Requirements.
- ☒ Maintain sound transmission control between units at a minimum of 50 STC.
- ☒ Maintain fire-resistive requirements at property lines.
- ☒ Demolition permit and deposit is required.
- ☒ Obtain required permits from San Joaquin Valley Air Pollution Control District, if applicable.
- ☐ Treatment connection charge to be assessed based on use.
- ☐ Plans must be approved by the Kings County Health Department.
- ☐ Project is located in a flood zone.
- ☐ Hazardous materials report required.
- ☐ Arrange for an onsite inspection.
- ☒ School Development fees apply.
- ☒ Park Development fee collected with building permits.
- ☒ Development impact fees will be required. Exact amount of fees to be calculated based on building permit submittal. Impact fees include fire, general municipal facilities, law enforcement, refuse vehicles and containers, storm drainage, streets and thoroughfares, wastewater, and water for all types of uses. Residential uses also pay community/recreational facilities and park fees.
- ☐ Additional comments:
- ☐ No comments. Acceptable as submitted.

DATE:	December 5, 2019
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APN(S):	024-051-012, 024-051-013

## **CITY ENGINEERING**

**Engineering - The following comments are applicable when checked. Comments in *italics* are specific to the project.**

- ☒ Submit improvement plans detailing all proposed work.
- ☐ Bonds, certificate of insurance, cash payment of fees/inspection, and approved map and plan required prior to approval of Final Map.
- ☐ The Final Map and Improvements shall conform to the Subdivision Map Act, the City of Lemoore's Subdivision Ordinance and Standard Improvements.
- ☐ A preconstruction conference is required prior to the start of any construction.
- ☐ Right-of-way dedication required. A title report is required for verification of ownership ☐ by map ☐ by deed.
- ☒ City encroachment permit required which shall include an approved traffic control plan.
- ☐ Caltrans encroachment permit required.
- ☐ Caltrans comments required prior to tentative parcel map approval.
- ☐ Public Facilities Maintenance District (PFMD) / Home Owners Association required prior to approval of Final Map. PFMD will maintain common area landscaping, street lights, street trees and local streets as applicable. Submit completed PFMD application and filing fee a minimum of 75 days before approval of Final Map.
- ☒ Landscape and irrigation improvement plans shall be submitted for each phase. Landscape plans will need to comply with the City of Lemoore's street tree ordinance. A street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting district.
- ☐ Dedicate landscape lots to the City that are to be maintained by the Public Facilities Maintenance District.
- ☐ Written comments required from ditch company.
- ☒ Grading and drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades.
  - ☒ Prepared by a registered civil engineer or project architect.
  - ☒ All elevations shall be based on the City's benchmark network.Storm run-off from the project shall be handled as follows:
  - ☒ Directed to the City's existing storm drainage system
  - ☒ Directed to a permanent on-site basin. *Depends on occupancy use.*
  - ☐ Directed to a temporary on-site basin which is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin: \_\_\_\_\_:\_\_\_\_\_ maximum side slopes, perimeter fencing required, and provide access ramp to bottom for maintenance.

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APN(S):	024-051-012, 024-051-013

**CITY ENGINEERING – CONTINUED**

- ☐ Sanitary Sewer master plan for the entire development shall be submitted for approval prior to approval of any portion of the system. The sewer system will need to be extended to the boundaries of the development where future connection and extension is anticipated. The sewer system will need to be sized to serve any future developments that are anticipated to connect to the system.
- ☐ Protect trees during construction that will remain.
- ☒ Show adjacent property grade elevations on improvement plans. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.
- ☐ Relocate existing utility poles and/or facilities.
- ☐ Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding.
- ☐ Provide R-value tests:
- ☐ Traffic indexes per City standards:
- ☐ All public streets within project limits and across project frontage shall be improved to their full width, subject to available right-of-way, in accordance with City policies, standards and specifications.
- ☐ All lots shall have separate drive approaches constructed to City Standards.
- ☐ Install street striping as required by the City Engineer.
- ☐ Install sidewalk along street frontage:
- ☐ Cluster mailbox supports required at 1 per 2 lots, or use postal unit
- ☐ Subject to existing reimbursement agreement to reimburse prior developer.
- ☒ Abandon existing wells per Code; a building permit is required. *If applicable.*
- ☒ Remove existing irrigation lines and dispose off-site, if applicable.
- ☒ Remove existing leach fields and septic tanks, if applicable.
- ☒ Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air Pollution Control District's Regulation VIII. Copies of any required permits will be provided to the City of Lemoore.
- ☒ The project may be subject to the San Joaquin Valley Air Pollution Control District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City of Lemoore.
- ☒ If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit will be provided to the City of Lemoore.
- ☐ Comply with prior comments dated:
- ☐ Resubmit with additional information.
- ☐ Redesign required.

City of Lemoore  
Site Plan Review Comments

DATE:	December 5, 2019
SITE PLAN NO:	Major Site Plan No. 2019-01
PROJECT TITLE:	Master Storage expansion
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APPLICANT:	Master Storage (Precision Engineering).
PROPERTY OWNER:	Tom Vorhees
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APN(S):	024-051-012, 024-051-013

**CITY ENGINEERING – CONTINUED**

- ☐ Additional comments:
- ☐ No comments. Acceptable as submitted.

**Traffic - The following comments are applicable when checked. Comments in *italics* are specific to the project.**

- ☐ On-street parking may be prohibited if deemed necessary.
- ☐ Install street light(s) per City of Lemoore Standards.
- ☐ Install street name blades at each intersection. Street names to be modified to the alignment of existing streets and without duplicating names.
- ☐ Install Stop Signs at interior roadways intersecting with:
- ☒ Construct parking per City of Lemoore Standards.
- ☒ Construct drive approach(es) per City of Lemoore Standards.
- ☐ Traffic Impact Study required.
- ☐ Additional comments:
- ☐ No comments. Acceptable as submitted.

DATE:	December 5, 2019
SITE PLAN NO:	Major Site Plan No. 2019-01
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PROPERTY OWNER:	Tom Vorhees
LOCATION:	Southeast corner of Iona Avenue and Commerce Way
APN(S):	024-051-012, 024-051-013

## **FIRE DEPARTMENT**

**Fire Safety - The following comments are applicable when checked. Comments in *italics* are specific to the project.**

- ☐ No fire protection items required for parcel map or lot line adjustment; however, any future projects will be subject to fire protection requirements.
- ☒ Address numbers must be placed on the exterior of the building in such a position as to be clearly and plainly visible from the street. Numbers will be at least 6 inches high and shall be of a color to contrast with their background. If multiple addresses served by a common driveway, the range of numbers shall be posted at the roadway/driveway.
- ☒ Fire hydrants are required for this project. Contact Fire Department for specific locations.
- ☐ No additional fire hydrants are required for this project; however, additional fire hydrants may be required for any future development.
- ☒ The turning radius for emergency fire apparatus is 28 feet inside radius. Ensure that the turns identified to you during site plan review comply with this requirement.
- ☒ An access road is required and shall be a minimum of 20 feet wide. The road shall be an all-weather driving surface accessible prior to and during construction.
- ☒ Buildings or portions of buildings or facilities exceeding 30 feet in height above the lowest level of fire department vehicle access shall be provided with an approved fire apparatus access road capable of accommodating fire department aerial apparatus. Access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders. Access routes shall be located within a minimum of 15 feet and maximum of 30 feet from the building and shall be positioned parallel to one entire side of the building.
- ☒ A fire lane is required for this project. The location will be given to you during the site plan meeting.
- ☒ A Knox Box key lock system is required. Applications are available at the City of Lemoore Fire Department Administrative Office. NOTE: Knox boxes shall be ordered using an approved application from Lemoore Fire Department Administrative Office, 711 W. Cinnamon Drive. Please allow adequate time for shipping and installation.
- ☒ Any security gates shall be locked with a typical chain and lock that can be cut with a common bolt cutter, or the developer may opt to provide a Knox Box key lock system. Applications are available at the Lemoore Fire Department Administrative Office, 711 W. Cinnamon Drive.
- ☒ That portion of the building that is built upon a property line shall be constructed as to comply with Section 503.4 and Table 5-A of the California Building Code.
- ☒ Commercial dumpsters with 1.5 cubic yards or more shall not be stored or placed within 5 feet of combustible walls, openings, or a combustible roof eave line except when protected by a fire sprinkler system.
- ☒ If hazardous materials are handled in amounts that exceed the exempt amounts listed on Table 3-D of the California Building Code, submit an emergency response plan to the Kings County Health Department. Prior to the building final inspection, submit a copy of the plan and any Material Safety Data Sheets.

DATE:	December 5, 2019
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APPLICANT:	Master Storage (Precision Engineering).
PROPERTY OWNER:	Tom Vorhees
LOCATION:	Southeast corner of Iona Avenue and Commerce Way
APN(S):	024-051-012, 024-051-013

**FIRE DEPARTMENT – CONTINUED**

- ☒ Fire sprinkler system per NFPA 13b shall be installed for this project. See City of Lemoore Municipal Code Section 8-1E-4.
- ☒ An automatic fire sprinkler system is required for this building. A fire hydrant is required within 50 feet of the fire department connection. The fire hydrant, fire department connection and the PIV valve should be located together and minimum 25 feet from the building, if possible. The caps on the FDC shall be Knox locking caps.
- ☒ All hardware on exit doors shall comply with Chapter 10 of the California Fire Code. This includes all locks, latches, and panic and exit hardware.
- ☒ Provide illuminated exit signs and emergency lighting throughout the building.
- ☒ All Fire and Life Safety systems located within the building shall be maintained.
- ☒ An automatic fire extinguishing system for protection of the kitchen grease hood and ducts is required.
- ☐ Additional emergency access code for gates or procedure for power outages.
- ☐ Fire apparatus access roadway signs – fire apparatus access roads shall be designated and marked as a fire lane set forth in Section 22500.1 California Vehicle Code.
- ☐ City of Lemoore Fire Department Permit Fee – complete application during Building Department permit process.
- ☐ Additional comments:
- ☐ No comments. Acceptable as submitted.

DATE: December 5, 2019  
SITE PLAN NO: Major Site Plan No. 2019-01  
PROJECT TITLE: Master Storage expansion  
DESCRIPTION: Ministorage facility expansion including 5,670 sq.ft. of leasable office suites  
APPLICANT: Master Storage (Precision Engineering).  
PROPERTY OWNER: Tom Vorhees  
LOCATION: Southeast corner of Iona Avenue and Commerce Way  
APN(S): 024-051-012, 024-051-013

## PLANNING DEPARTMENT

**Planning/Zoning - The following comments are applicable when checked. Comments in *italics* are specific to the project.**

- ☒ General Plan Land Use Element land use designation(s): *Light Industrial*
- ☒ General Plan Circulation Element adjacent street(s): *Commerce Way and Iona Avenue are local streets built to industrial street standards.*
- ☒ Zoning designation: *Light Industrial (ML)*
- ☒ Proposed land use: *mini-storage facility and shared office space with leasable facilities.*
- ☒ Allowed use      ☐ Not allowed use      ☐ Requires a conditional use permit

- ☒ Setbacks and heights:

	Required	Proposed	
Front – <i>Both frontages</i>	<i>25 feet from building, 10 feet from parking</i>	<i>25 feet from building 5 feet from parking</i>	<input type="checkbox"/> Acceptable <input checked="" type="checkbox"/> Revise
Interior Side – <i>south and east</i>	<i>0 feet</i>	<i>0 feet</i>	<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise
Street Side –	<i>N/A</i>	<i>N/A</i>	<input type="checkbox"/> Acceptable <input type="checkbox"/> Revise
Rear -	<i>0 feet</i>	<i>0 feet</i>	<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise
Height	<i>60 feet</i>	<i>&lt; 30 feet</i>	<input checked="" type="checkbox"/> Acceptable <input type="checkbox"/> Revise

*Provide a minimum 10 feet of landscaping as measured between the property lines and parking areas.*

*Interior lot line must be eliminated by lot line adjustment or firewall is required for buildings built on property line.*

- ☒ Open Space Requirements: *None*
- ☒ Off-street Parking required: *Office Suites = 5670 sq.ft. / 4 spaces per 1000 = 22 required. Existing residence to be converted to office = 1350 sq.ft. / 4 spaces per 1000 = 5 required. New ministorage office size not provided on site plan; requires 2 spaces / 1000.*
- ☒ Parking: ☐ Minimum Parking is met. ☒ Parking is needed. *Leasable offices require 22 spaces. Need to know size of office for mini-storage; need 2 per 1,000 sq.ft. If parking is to be available to tenants near Bldg. B then show the number of spaces available on the site plan.*

*Drive aisles for two-way traffic must be a minimum 24 feet wide. Drive aisles for one-way traffic must be a minimum 14 feet wide.*

- ☒ Outdoor lighting: *Required in parking areas.*

General Lighting Requirements: The requirements listed below shall apply to all outdoor lighting:

City of Lemoore  
Planning Department  
Site Plan Review Comments

DATE: December 5, 2019  
SITE PLAN NO: Major Site Plan No. 2019-01  
PROJECT TITLE: Master Storage expansion  
DESCRIPTION: Ministorage facility expansion including 5,670 sq.ft. of leasable office suites  
APPLICANT: Master Storage (Precision Engineering).  
PROPERTY OWNER: Tom Vorhees  
LOCATION: Southeast corner of Iona Avenue and Commerce Way  
APN(S): 024-051-012, 024-051-013

- Nuisance Prevention: All outdoor lighting shall be designed, located, installed, and maintained in order to prevent glare, light trespass, and light pollution.
- Shielding: Except as otherwise exempt, all outdoor lighting shall be recessed and/or constructed with full downward shielding in order to reduce light and glare impacts on trespass to adjoining properties and public rights of way. Each fixture shall be directed downward and away from adjoining properties and public rights of way, so that no light fixture directly illuminates an area outside of the project site.
- Level Of Illumination: Outdoor lighting shall be designed to illuminate at the minimum level necessary for safety and security and to avoid harsh contrasts in lighting levels between the project site and adjacent properties.
- Maximum Height Of Freestanding Outdoor Light Fixtures: The maximum height of freestanding outdoor light fixtures less than ten feet (10') from a property line abutting residential development shall be eighteen feet (18'). Otherwise, the maximum height for freestanding outdoor light structures shall be twenty four feet (24'). Height shall be measured from the finish grade, inclusive of the pedestal, to the top of the fixture. The designated approving authority may allow greater heights upon finding that there are special circumstances that affect the feasibility of meeting this standard.
- Energy Efficient Fixtures Required: Outdoor lighting shall utilize energy efficient fixtures and lamps, such as high pressure sodium, metal halide, low pressure sodium, hard wired compact fluorescent, or other lighting technology that is of equal or greater efficiency. All new outdoor lighting fixtures shall be energy efficient with a rated average bulb life of not less than ten thousand (10,000) hours.
- Accent Lighting: Architectural features may be illuminated by uplighting, provided that the lamps are low intensity to produce a subtle lighting effect and no glare or light trespass is produced. Wherever feasible, solar powered fixtures should be used.

- ☒ Elevations: ☒ Approved ☐ Revise and resubmit  
☒ Fences, walls, and hedges: ☐ Approved ☒ Revise and resubmit *Keep fire lanes open.*  
☐ Screening: ☐ Acceptable ☐ Revise and resubmit

- ☒ Landscaping: ☐ Acceptable ☒ Revise and resubmit. *Add minimum 10' wide of landscaping between property line and parking areas. Landscape all areas between sidewalk and buildings/parking.*

The applicant shall submit a landscape plan (to Planning) at time of building permit submittal. The landscape plan shall be compliant with MWEL, including but not limited to the following conditions:

- Plan shall include square footages of landscaped area shown, water use calculations, and the material to be utilized.
- Water use classifications shall be based on WUCOLS IV.
- All other landscaped areas shown as landscaped shall be landscaped.
- Landscaping shall meet all other applicable requirements of Title 9, Article D1 of the Zoning Ordinance.

- ☒ Street trees are required.  
☒ Existing address must be changed to be consistent with City address. *See Additional Comments.*

**Entitlements**

- ☒ Major Site Plan Review is required for this project.  
☐ A Use Permit is required for this project.  
☐ A Zone Variance is required for this project.  
☐ A Tentative Subdivision Map is required for this project.

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- ☐ A Tentative Parcel Map is required for this project.
- ☒ A Lot Line Adjustment is required for this project. *Lot Line Adjustment approval shall be recorded after property acquisition and before issuance of building permit for Bldg. G.*
- ☐ A Zone Change is required for this project.
- ☐ A General Plan Amendment is required for this project.
- ☐ Other discretionary action required for this project:

**Environmental Technical Documents**

- ☐ Air Impact Analysis required.
- ☐ Acoustical Analysis required.
- ☒ Biologic survey required. *To determine if Class 32 exemption is acceptable.*
- ☒ Cultural Records Search required. *This will be required if the Tachi Tribe requests consultation on the site. City staff emailed the Tachi Tribe representative on December 5, 2019.*
- ☐ Traffic Impact Assessment required.
- ☐ Vehicle Trip Generation Estimates required.
- ☐ Covenant required.
- ☒ Additional comments: *Separate sidewalk leading from the street to office suites from the parking/driveway with a minimum 5 feet of landscaping.*

Addressing:

*Existing address 1305 W. Iona Avenue will remain and be used for the office that is converted from a residence.*

*Existing address 906 Commerce Way will remain and be used for Bldg. C (offices).*

*A new address of 1401 W. Iona Avenue will be issued for Bldg. A (mini-storage office).*

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## **POLICE DEPARTMENT**

**Police Safety - The following comments are applicable when checked. Comments in *italics* are specific to the project.**

- ☐ Not enough information provided. Please provide additional information pertaining to:
- ☐ Territorial reinforcement – define property lines (private / public space):
- ☐ Access/restricted area concerns:
- ☐ Lighting concerns:
- ☐ Landscaping concerns:
- ☐ Traffic concerns:
- ☐ Surveillance issues:
- ☐ Line of sight issues:
- ☐ Additional comments:
- ☒ No comments. Acceptable as submitted.

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### **PUBLIC WORKS DEPARTMENT**

**Water - The following comments are applicable when checked. Comments in *italics* are specific to the project.**

- ☒ Connection to City water system required.
- ☐ Additional comments:
- ☐ No comments. Acceptable as submitted.

**Wastewater - The following comments are applicable when checked. Comments in *italics* are specific to the project.**

- ☒ Connection to City wastewater system required.
- ☒ Wastewater discharge permit application required.
- ☒ Sand and grease interceptor – 3 compartments required. (Depends on use.)
- ☒ Grease interceptor required. (Depends on use.)
- ☒ Garbage grinder required. (Depends on use.)
- ☐ Submission of dry process declaration required.
- ☒ No single pass cooling water is permitted.
- ☐ Septic tank and leech line system may only be used until it fails. Upon failure, connection to the City system is required.
- ☐ Additional comments:
- ☐ No comments. Acceptable as submitted.

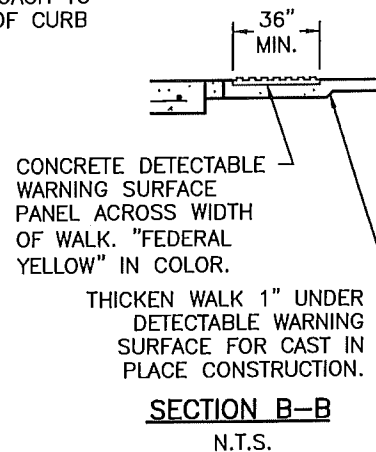
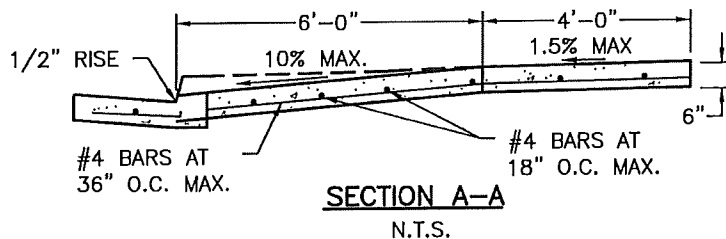
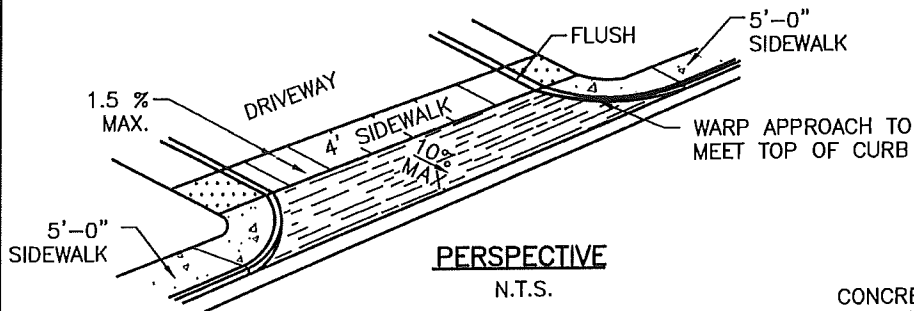
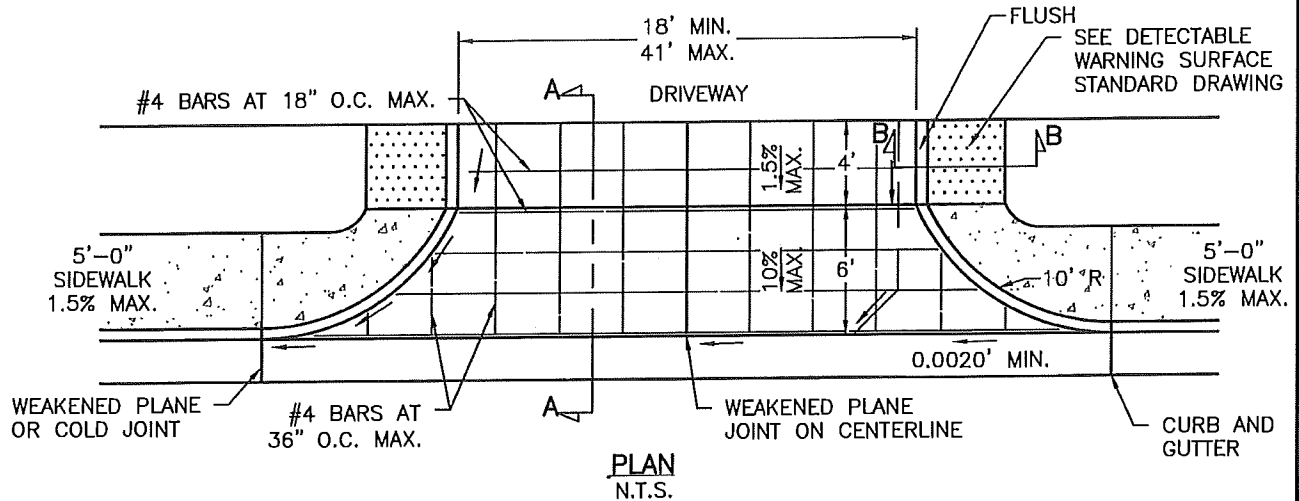
**Solid Waste - The following comments are applicable when checked. Comments in *italics* are specific to the project.**

- ☐ Type of refuse service not indicated.
- ☒ You are responsible for all cardboard and other bulky recyclables to be broken down before depositing in recycle containers.
- ☒ Refuse enclosure must be built to City of Lemoore Standards.
- ☒ Refuse enclosure gates required.
- ☒ Combination or keys for access to locked gates / bins shall be provided.
- ☐ Location of bin enclosure not acceptable. Relocate to: *per comments on cover page.*

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**PUBLIC WORKS DEPARTMENT – CONTINUED**

- ☐ Inadequate number of bins to provide sufficient service.
- ☒ Drive approach too narrow for refuse truck access. *See City Standards C-8A attached.*
- ☐ Area not adequate to allow refuse truck turning radius:
- ☒ Paved areas should be engineered to withstand a 55,000 lb. refuse truck.
- ☐ Hammerhead turnaround required at:
- ☐ Cul-de-sac must be built per City of Lemoore Standards.
- ☒ Refuse enclosures are for City refuse containers only. Storage of grease drums or any other items is not allowed. *Unless approved by Public Works and Kings County Health Department. See Standards M-6 attached.*
- ☒ Refuse enclosure gates must open 180 degrees and hinges mounted in front of post.
- ☒ Concrete slab required in front of enclosure per Lemoore City Standards.
- ☒ Area in front of refuse enclosures must be striped with NO PARKING.
- ☒ Refuse enclosure to be designed and located for STAB service (DIRECT ACCESS).
- ☐ You will be required to roll container out to curb for service.
- ☐ Roll off compactors must have a clearance of 3 feet from any wall on both sides and there must be a minimum of 53 feet clearance in front of the compactor to allow truck service.
- ☐ Additional comments:
- ☐ No comments. Acceptable as submitted.



#### NOTES:

1. MATERIAL SHALL BE CLASS 2 CONCRETE IN ACCORDANCE WITH SECTION 16 OF THE CITY STANDARD SPECIFICATIONS.
2. ON COLLECTOR AND ARTERIAL STREETS, THE MINIMUM DRIVE APPROACH WIDTH SHALL BE 21 FEET FOR ONE-WAY DRIVE APPROACHES AND 36 FEET FOR TWO-WAY DRIVE APPROACHES, OR AS APPROVED BY CITY ENGINEER.
3. REINFORCING BARS SHALL BE DEFORMED STEEL BARS AND SHALL BE GRADE 40 MINIMUM. REINFORCING BARS SHALL BE FREE OF RUST OR DIRT AND SHALL BE THOROUGHLY CLEANED BEFORE PLACEMENT.
4. REINFORCING BARS SHALL HAVE A MINIMUM OF 2 INCH OF CLEAR COVERAGE.
5. NOT MORE THAN 50% OF PROPERTY FRONTAGE SHALL BE USED AS DRIVE APPROACH.
6. WIDTH AND LOCATION OF DRIVE APPROACHES ON STATE ROUTES IS SUBJECT TO APPROVAL BY CALTRANS.

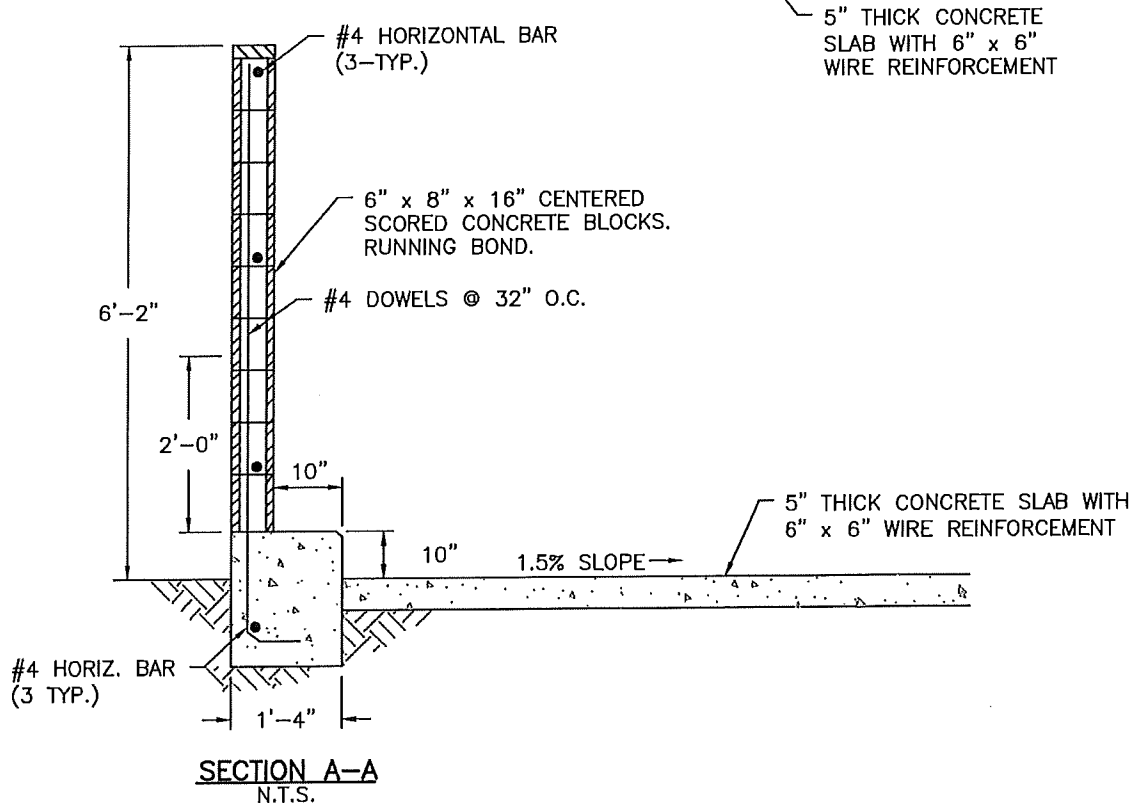
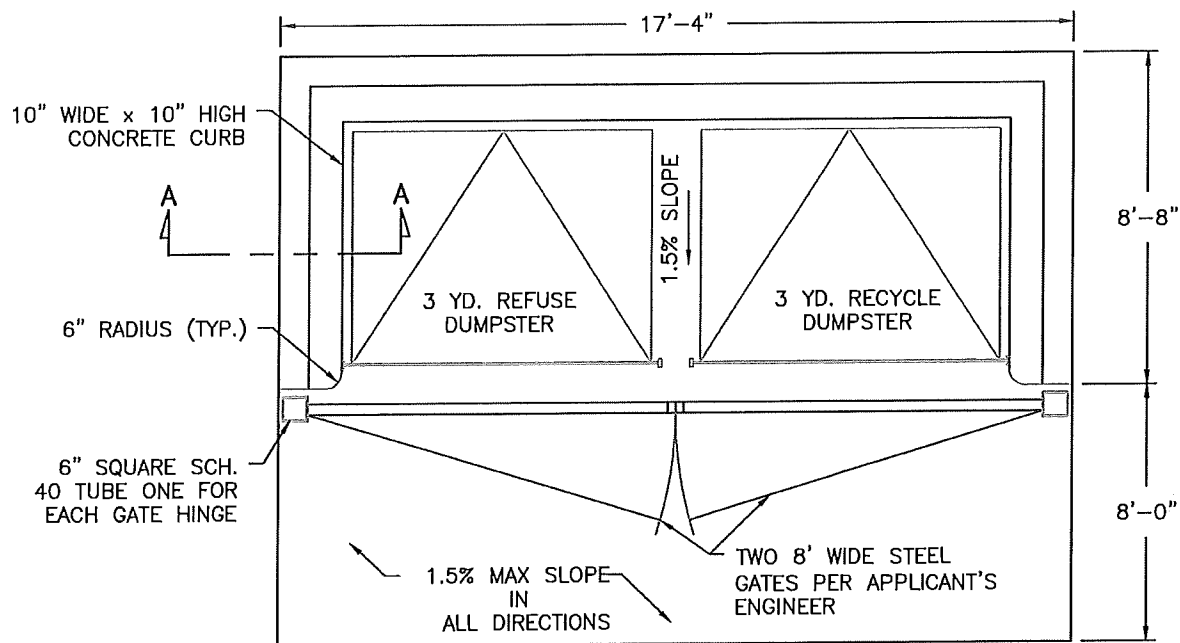
FILE: C-8A.DWG

OFFICE - COMMERCIAL DRIVE  
APPROACH (ALTERNATIVE - WITH CURB  
RETURNS) CONTIGUOUS SIDEWALK

Rev.

Date: \_\_\_\_\_  
\_\_\_\_\_  
City Engineer

STD.  
NO.  
C-8A



FILE: M-6.DWG

**COMMERCIAL DUMPSTER  
ENCLOSURE**

Rev.

Date: \_\_\_\_\_

City Engineer

**STD.  
NO.  
M-6**

**ATTACHMENT C**  
**REPRESENTATIVE PHOTOGRAPHS**



**Representative Photograph 1:** Project site from the center of APN 024-051-013, facing north.  
GPS coordinates: 36.283181, 119.801867  
Taken by Erica Pena on February 6, 2020.



**Representative Photograph 2:** Project site from the center of APN 024-051-013, facing east.  
GPS coordinates: 36.283181, 119.801867  
Taken by Erica Pena on February 6, 2020.



**Representative Photograph 3:** Project site from the center of APN 024-051-013, facing south.  
GPS coordinates: 36.283181, 119.801867  
Taken by Erica Pena on February 6, 2020.



**Representative Photograph 4:** Project site from the southeast corner of APN 024-051-013, facing west.  
GPS coordinates: 36.282479, 119.801347  
Taken by Erica Pena on February 6, 2020.



**Representative Photograph 5:** Project site from the southeast corner of APN 024-051-013, facing north.  
GPS coordinates: 36.282479, 119.801347  
Taken by Erica Pena on February 6, 2020.



**Representative Photograph 6:** View from the southeast corner of the BSA, facing west.  
GPS coordinates: 36.28225, 119.799095  
Taken by Erica Pena on February 6, 2020.



711 W. Cinnamon Drive • Lemoore, California 93245 • (559) 924-6744

## Staff Report

**To:** Lemoore Planning Commission **Item No. 9**  
**From:** Steve Brandt, City Planner  
**Date:** August 20, 2021 **Meeting Date:** September 13, 2021  
**Subject:** General Plan Amendment No. 2021-02, Prezoning No. 2021-02, Annexation No. 2021-02 (Casaca) and Sphere of Influence Amendment  
**Finding of Consistency:** a request by People's Properties, LLC (Austin Ewell, agent) to amend the General Plan to designate an undesignated site containing approximately 222 acres to Agricultural, prezone the site Agricultural (AG), and find that annexation to the City of Lemoore and Sphere of Influence Amendment is consistent with the General Plan. The site is located on the southeast corner of 19<sup>th</sup> Avenue and Idaho Avenue (APNs 024-080-039, -040, -041, -042, -043, and 024-080-063, -064, -065).

### **Proposed Motion:**

Move to adopt Resolution No. 2021-17, recommending approval of General Plan Amendment No. 2021-02, Prezoning No. 2021-02, and find Annexation No. 2021-02 and Sphere of Influence Amendment to be consistent with the General Plan in accordance with the Resolution.

### **Project Proposal:**

This general plan amendment, prezoning, annexation, and sphere of influence amendment are being requested by People's Properties, LLC. The applicant's intention is to cultivate cannabis on the approximately 222-acre site located on the southeast corner of 19th Avenue and Idaho Avenue (APNs 024-080-039, -040, -041, -042, -043, and 024-080-063, -064, -065) ("Property"). The City Council has already approved a project development agreement for the site in accordance with the City's Cannabis Ordinance.

The Planning Commission's role in an annexation request is to determine whether the annexation and sphere of influence amendment proposal is consistent with the General Plan, and to recommend to the City Council the zoning that should be established on the site upon

annexation. Because the site currently has no land use designation in the General Plan, the addition of the site into the General Plan, with a land use designation of Agricultural, is also being requested.

### **Annexation Procedure:**

The usual procedure for annexations of land into the City of Lemoore is for a property owner to request annexation. Upon such a request, the City Council makes the decision whether or not to initiate annexation procedures with the Local Agency Formation Commission of Kings County (LAFCO). LAFCO then reviews and approves the annexation subject to any property owner or voter protest. If a majority of property owners do not protest, then the annexation is approved. The Planning Commission's role is at the beginning of the process. The Planning Commission is not asked to recommend for or against the annexation. The Planning Commission is asked whether the annexation is consistent with the General Plan, and if so, what the property should be zoned if it is annexed.

The site is located outside the City sphere of influence (SOI). In order to approve the annexation, LAFCO will first need to include the site in the SOI. If the Council supports initiating the annexation, they will also request amendment to the SOI.

### **General Plan and Rezoning:**

The site is located outside the General Plan's Urban Development Boundary and currently has no assigned land use designation. Typically, city general plans assume that new annexations would be necessary only in cases where new urban development was being proposed. Agricultural uses typically do not need to be annexed and city annexation of agricultural land, when no development is proposed, is usually discouraged. However, in the case of cannabis cultivation, the typical policies for keeping agricultural land in county jurisdiction are difficult to enforce, given that the City desires to entertain cannabis related land uses while the County of Kings prohibits them. Therefore, to cultivate cannabis on the site, the site must be first annexed into the city limits.

Before it can be annexed, the site must have a land use designation and be rezoned. Staff is recommending that the site be designated Agricultural and be rezoned Agricultural (AG). This land use designation and rezoning will only allow agricultural uses on the site, including cannabis cultivation. Therefore, this change does not change the agricultural land use that is currently allowed on the site since the County land use designation and zoning is also only for agriculture. Because the site will continue to be farmed after it is inside the City limits, there is no loss of farmland occurring as a result of the annexation.

### **Previous Actions:**

The Planning Commission previously recommended approval for the annexation of property to the north of this proposed annexation. Both annexation requests are planned to be taken to the City Council on October 5, 2021. See attached Lemoore City Limits and Sphere of Influence Map to see the location of both annexations and requested Sphere of Influence Amendment.

### **Recommended Findings:**

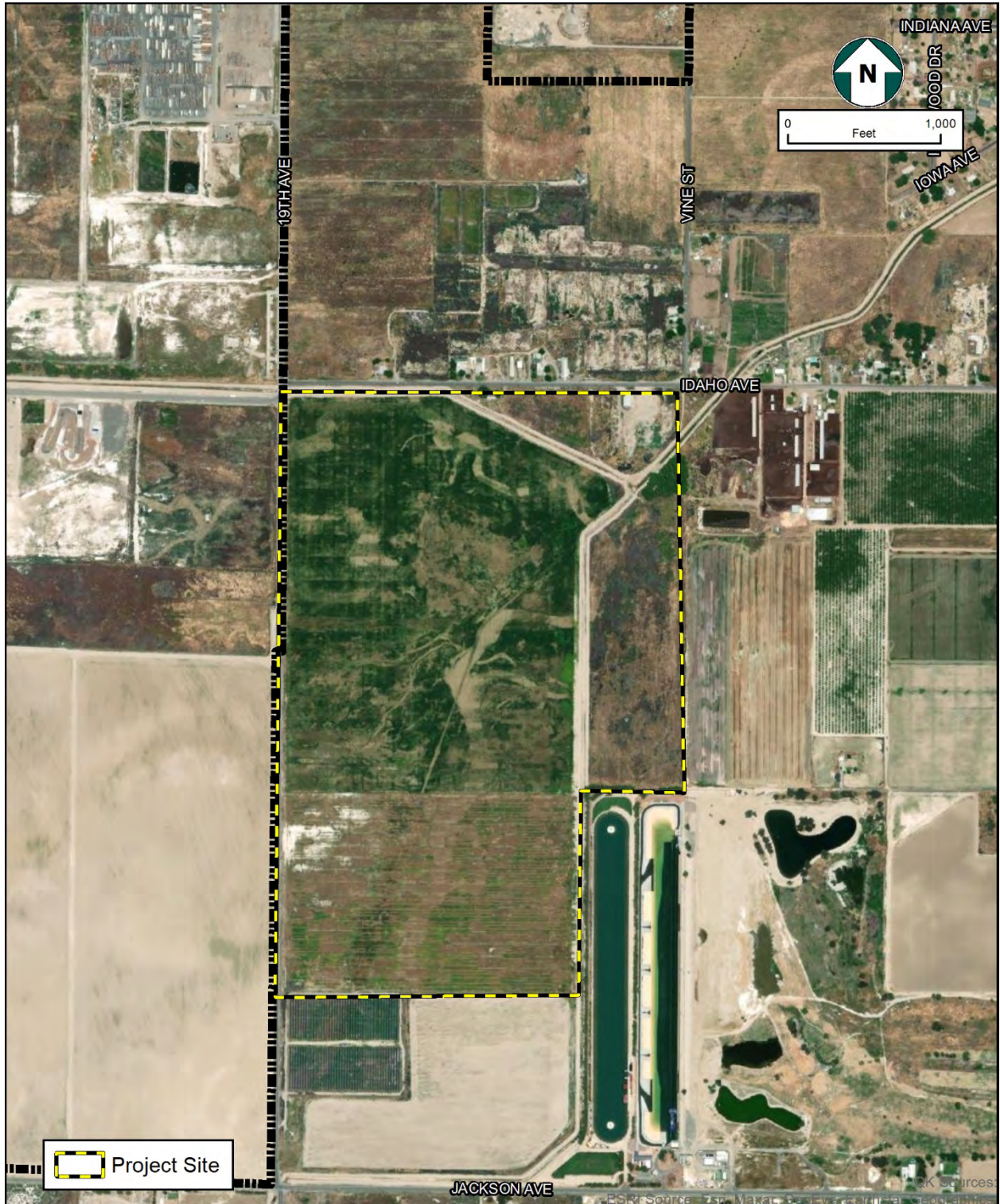
Staff recommends that the Planning Commission adopt Resolution No. 2021-17, making the following findings and recommendations:

1. The Planning Commission recommends the City Council approve General Plan Amendment No. 2021-02 because the proposed general plan amendment is in the public interest and the General Plan, as amended, will remain internally consistent.
2. The Planning Commission recommends the City Council approve Rezoning No. 2021-02 because the proposed rezoning to Agricultural (A) will be consistent with the General Plan, as amended by General Plan Amendment No. 2021-02.
3. The Planning Commission finds that inclusion of the site in the City's Sphere of Influence is consistent with the Lemoore General Plan, as amended by General Plan Amendment No. 2021-02.
4. The Planning Commission finds that annexation of the site into the Lemoore city limits is consistent with the Lemoore General Plan, as amended by General Plan Amendment No. 2021-02.

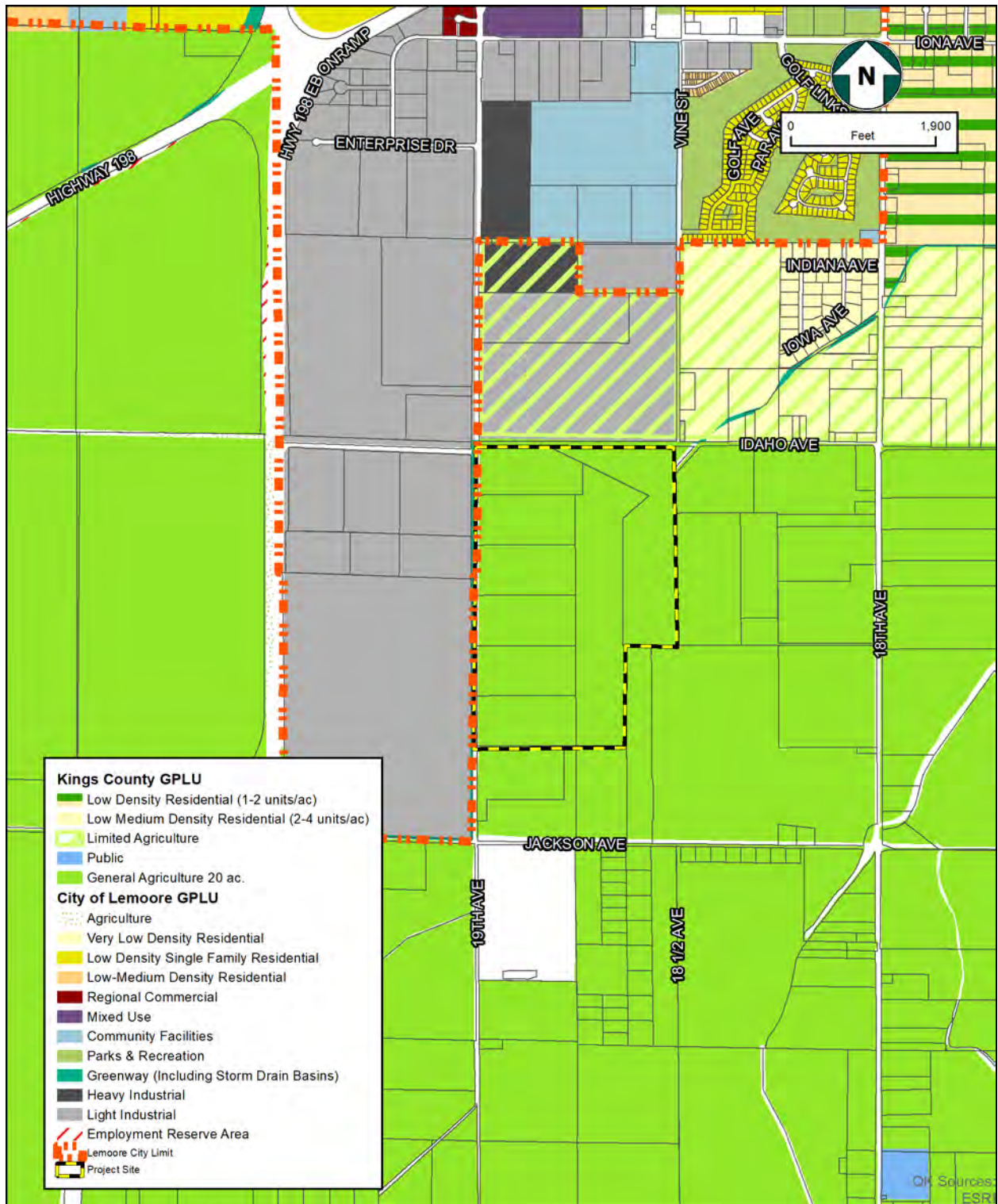
Find that the Project is Categorically Exempt from the California Environmental Quality Act ("CEQA") per CEQA Guidelines Section 15304 (Class 4, Minor Alterations to Land). Designating the site Agricultural will limit the site to agricultural uses and restrict urban development. This will keep the same land use limitations on the site and result in no or only minor alterations to the land.

### **Attachments:**

Project Site – Aerial Photo  
Planned Land Uses – City and County  
Lemoore City Limits and Sphere of Influence - Current  
Lemoore City Limits and Sphere of Influence  
- with Proposed Annexations and Sphere of Influence Amendment  
Draft Resolution

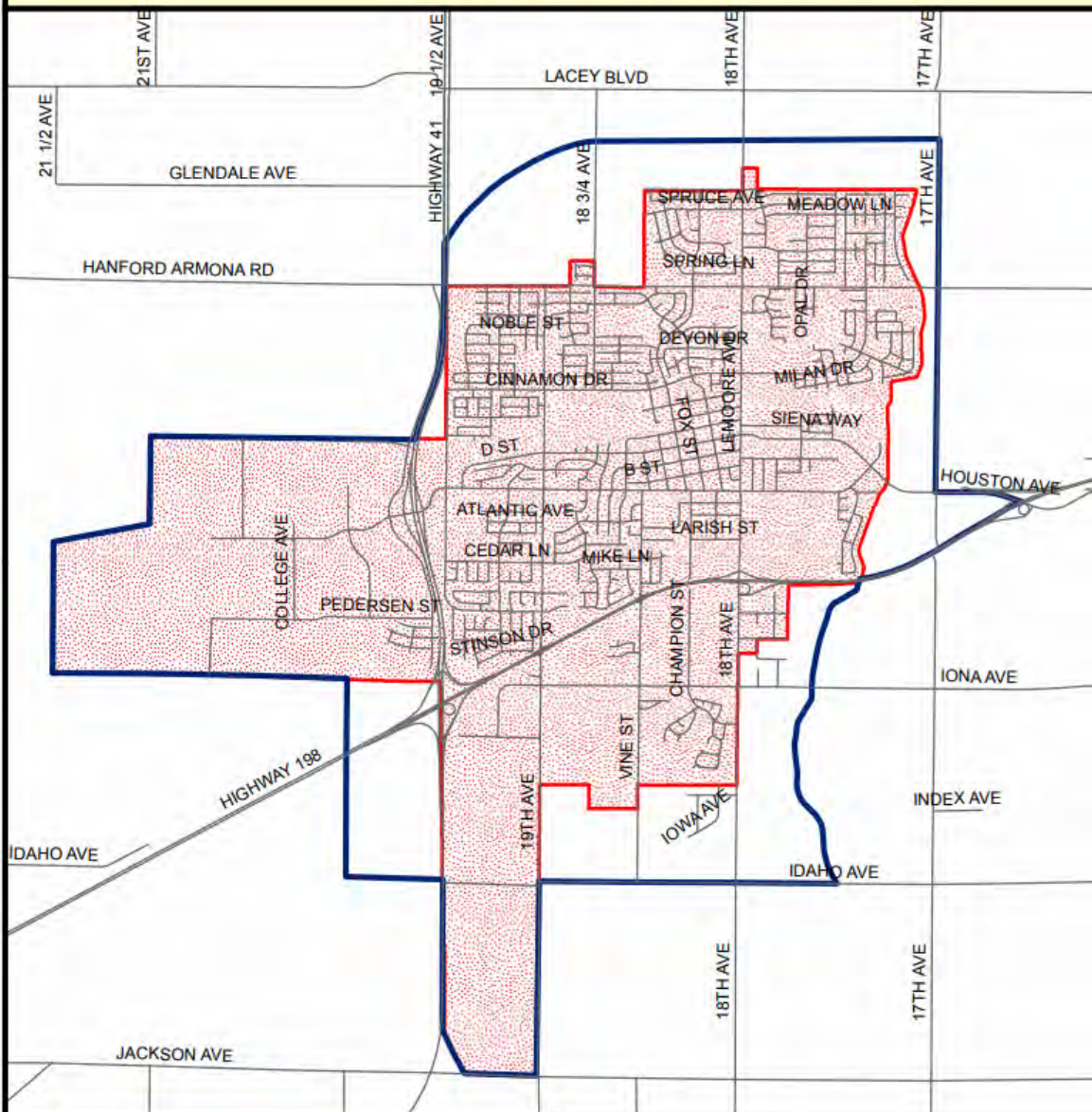


Project Site – Aerial Photo



## Planned Land Uses – City and County

# City of Lemoore



1400 W Lacey Blvd.  
Hanford, California 93230

August 2014



0 0.3 0.6 1.2 1.8 Miles

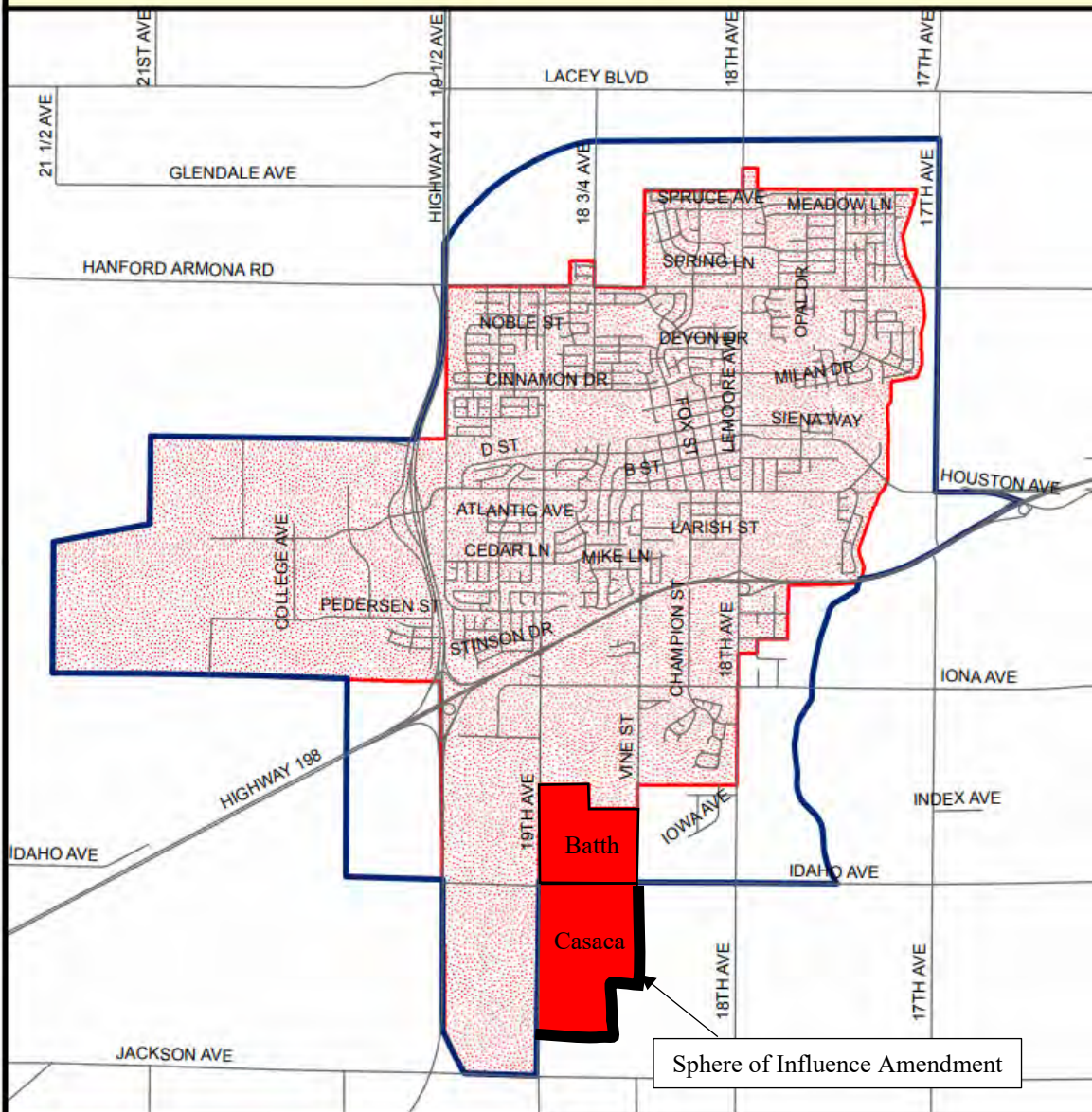
## Legend

- City of Lemoore
- Primary Sphere of Influence



Lemoore City Limits and Sphere of Influence - current

# City of Lemoore



1400 W Lacey Blvd.  
Hanford, California 93230

August 2014



0 0.3 0.6 1.2 1.8 Miles

## Legend

- City of Lemoore
- Primary Sphere of Influence



**Lemoore City Limits and Sphere of Influence – with Proposed Annexations and Sphere of Influence Amendment**

**RESOLUTION NO. 2021-17**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LEMOORE  
RECOMMENDING APPROVAL OF GENERAL PLAN AMENDMENT NO. 2021-02, PREZONING NO.  
2021-02, ANNEXATION NO. 2021-02 (CASACA), AND FINDING THE ANNEXATION AND SPHERE  
OF INFLUENCE AMENDMENT TO BE CONSISTENT WITH THE GENERAL PLAN, LOCATED AT THE  
SOUTHEAST CORNER OF 19<sup>th</sup> AVENUE AND IDAHO AVENUE,  
SOUTH OF THE CITY OF LEMOORE**

At a Regular Meeting of the Planning Commission of the City of Lemoore duly called and held on September 13, 2021, at 7:00 p.m. on said day, it was moved by Commissioner \_\_\_\_\_, seconded by Commissioner \_\_\_\_\_, and carried that the following Resolution be adopted:

**WHEREAS**, People's Properties, LLC (Austin Ewell, agent) has proposed a general plan amendment to designate the site Agricultural, prezoning of the site to Agricultural (AG), and a sphere of influence amendment and annexation of the approximately 222 acres located on the southeast corner of 19th Avenue and Idaho Avenue (APNs 024-080-039, -040, -041, -042, -043, and 024-080-063, -064, -065); and

**WHEREAS**, the purpose of the project is to facilitate the use of the site as a commercial cannabis cultivation operation, which is an allowed use in the Agricultural (AG) zone, according to the Lemoore Zoning Ordinance; and

**WHEREAS**, the site is currently located outside the city limits, the City's Sphere of Influence, and the General Plan's Urban Development Boundary, and has no land use designations under the General Plan or zoning under the Lemoore Zoning Ordinance; and

**WHEREAS**, no urban development is proposed and the site will be used for the agricultural use of cannabis cultivation; and

**WHEREAS**, the project has been determined to be Categorically Exempt from the California Environmental Quality Act (CEQA) per CEQA Guidelines Section 15304 (Class 4, Minor Alterations to Land); and

**WHEREAS**, the City of Lemoore Planning Commission held a duly noticed public hearing at its September 13, 2021, regular meeting.

**NOW THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Lemoore hereby makes the following findings regarding the proposed project, based on facts detailed in the September 13, 2021, staff report, which is hereby incorporated by reference, as well as the evidence and testimony presented during the Public Hearing:

1. The Planning Commission recommends the City Council approve General Plan Amendment No. 2021-02 because the proposed general plan amendment is in the public interest and the General Plan, as amended, will remain internally consistent.
2. The Planning Commission recommends the City Council approve Prezoning No. 2021-02 because the proposed prezoning to Agricultural (AG) will be consistent with the General Plan, as amended by General Plan Amendment No. 2021-02.

3. The Planning Commission finds that inclusion of the site in the City's Sphere of Influence is consistent with the Lemoore General Plan, as amended by General Plan Amendment No. 2021-02.
4. The Planning Commission finds that annexation of the site into the Lemoore city limits is consistent with the Lemoore General Plan, as amended by General Plan Amendment No. 2021-02.
5. Find that the Project is Categorically Exempt from the California Environmental Quality Act ("CEQA") per CEQA Guidelines Section 15304 (Class 4, Minor Alterations to Land). Designating the site Agricultural will limit the site to agricultural uses and restrict urban development. This will keep the same land use limitations on the site and result in no or only minor alterations to the land.

Passed and adopted at a Regular Meeting of the Planning Commission of the City of Lemoore held on September 13, 2021, by the following votes:

**AYES:**  
**NOES:**  
**ABSTAINING:**  
**ABSENT:**

**APPROVED:**

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**Michael Dey, Vice Chair**

**ATTEST:**

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**Kristie Baley, Commission Secretary**