

LEMOORE PLANNING COMMISSION
Regular Meeting
AGENDA
Lemoore Council Chamber
429 'C' Street

July 13, 2026
5:30 p.m.

1. PLEDGE OF ALLEGIANCE
2. CALL TO ORDER AND ROLL CALL
3. PUBLIC COMMENT – **Public comment will be in accordance with the attached policy.** This time is reserved for members of the audience to address the Planning Commission on items of interest that are not on the Agenda and are within the subject matter jurisdiction of the Commission. It is recommended that speakers limit their comments to three (3) minutes each and it is requested that no comments be made during this period on items on the Agenda. The Commission is prohibited by law from taking any action on matters discussed that are not on the Agenda. Prior to addressing the Commission, any handouts for Commission will be provided to the Commission Secretary for distribution to the Commission and appropriate staff. The public will have an opportunity to comment on items on the agenda once the item has been called and the Chair opens the item to the public.
4. APPROVAL OF MINUTES – Regular Meeting, June 8, 2026
5. PUBLIC HEARING – Consider and accept public comment for Conditional Use Permit No. 2026-01,– a request by Hand Picked & Curated Thrift Store to allow donations for retail sale (thrift store) at 405 W. D Street in the City of Lemoore (APN 020-082-006). The site is zoned Downtown Mixed Use (DMX-I). The project is exempt from the requirements of the California Environmental Quality Act (CEQA), under the Class 1 categorical exemption (existing facilities) contained in Section 15301 of the CEQA Guidelines.
6. PUBLIC HEARING – Consider and accept public comment for Variance No. 2026-01 – a request by Jose and Alba Terriquez to allow a metal (detached) carport in the front setback area at 1085 Cypress Lane in the City of Lemoore (APN 020-221-026). The site is zoned Low Density Residential (RLD). The project is exempt from the requirements of the California Environmental Quality Act (CEQA), under the Class 3 categorical exemption (New Construction or Conversion of Small Structures) contained in 15303 of the CEQA Guidelines.
7. PLANNING REPORT / DEPARTMENT UPDATE
8. COMMISSION REPORTS / REQUESTS
9. ADJOURNMENT

Upcoming Meetings
Regular Meeting of the Planning Commission, August 10, 2026

Agendas for all City Council meetings are posted at least 72 hours prior to the meeting at the Council Chamber, 429 C Street and the Cinnamon Municipal Complex, 711 W. Cinnamon Drive. Written communications from the public for the agenda must be received by the City Clerk's Office no less than seven (7) days prior to the meeting date. The City of Lemoore complies with the Americans with Disabilities Act (ADA of 1990). The Council Chamber is accessible to the physically disabled. Should you need special assistance, please call the City Clerk's office (559) 924-6744, at least 4 business days prior to the meeting.

CERTIFICATION OF POSTING

I, Kristie Baley, Planning Commission Secretary for the City of Lemoore, do hereby declare that I posted the above Planning Commission Agenda for the Regular Meeting of Monday, July 13, 2026, at Council Chamber, 429 C Street and Cinnamon Municipal Complex, 711 W. Cinnamon Drive, Lemoore CA on July 10, 2026.

//s//
Kristie Baley, Commission Secretary



PLANNING COMMISSION REGULAR MEETING July 13, 2026 @ 5:30 p.m.

The Planning Commission will hold its public meetings in person, with a virtual option for public participation based on availability. The City of Lemoore utilizes Zoom teleconferencing technology for virtual public participation; however, the City makes no representation or warranty of any kind, regarding the adequacy, reliability, or availability of the use of this platform in this manner. Participation by members of the public through this means is at their own risk. (Zoom teleconferencing/attendance may not be available at all meetings.)

The meeting may be viewed through the following Zoom Meeting:

- Please click the link below to join the meeting:
- <https://us06web.zoom.us/j/87219907889?pwd=p2ZFAGMmwuFAYYrcOvetjRvAU4ISbO.1>
- Meeting ID: 872 1990 7889
- Passcode: 174980
- Phone: +1 669 900 6833

If you wish to make a general public comment or public comment on a particular item on the agenda, **participants may do so by submitting public comments by e-mail to: planning@lemoore.com**. In the subject line of the e-mail, please state your name and the item you are commenting on. If you wish to submit a public comment on more than one agenda item, please send a separate e-mail for each item you are commenting on. Please be aware that written public comments, including your name, may become public information. Additional requirements for submitting public comments by e-mail are provided below.

General Public Comments & Comments on Planning Commission Business Items

For general public comments and comments regarding specific Planning Commission Business Items, public comments can be made via Zoom during the meeting or submitted by e-mail no later than 5:00 p.m. the day of the meeting. Comments received prior to the meeting will be read aloud by a staff member during the applicable agenda item, provided that such comments may be read within the normal three (3) minutes allotted to each speaker. Any portion of your comment extending past three (3) minutes may not be read aloud due to time restrictions. If a general public comment or comment on a business item is received after 5:00 p.m., efforts will be made to read your comment into the record. The City is not responsible for technical difficulties during the meeting and cannot guarantee that written comments received after 5:00 p.m. will be read. All written comments that are not read into the record will be made part of the meeting minutes, provided that such comments are received prior to the end of the Planning Commission meeting.

Public Hearings

For public comment on a public hearing, all public comments must be received by the close of the public hearing period. All comments received by the close of the public hearing period will be read aloud by a staff member during the applicable agenda item, provided that such comments may be read within the normal three (3) minutes allotted to each speaker. Any portion of your comment extending past three (3) minutes may not be read aloud due to time restrictions. If a comment on a public hearing item is received after the close of the public hearing, such comment will be made part of the meeting minutes, provided that such comment is received prior to the end of the meeting.

***PLEASE BE AWARE THAT ANY PUBLIC COMMENTS RECEIVED THAT DO NOT SPECIFY A PARTICULAR AGENDA ITEM WILL BE READ ALOUD DURING THE GENERAL PUBLIC COMMENT PORTION OF THE AGENDA.**

**Minutes of the
LEMOORE PLANNING COMMISSION
Regular Meeting
June 8, 2026**

ITEM NO. 1 Pledge of Allegiance

ITEM NO. 2 Call to Order and Roll Call

The meeting was called to order at 5:30 PM.

Chair:	Ray Etchegoin
Vice-Chair:	Barbara Hill
Commissioners:	Joseph Brewer, Mitchell Couch, Daniel Wells, Tom Reed,
Arrived Late:	Chris Vancil

City Staff and Contract Employees Present: City Planner Steve Brandt (QK), Commission Secretary Kristie Baley

ITEM NO. 3 Public Comment

There was no comment.

ITEM NO. 4 Approval of Minutes – Regular Meeting, March 9, 2026

Motion by Commissioner Reed, seconded by Commissioner Wells, to approve the Minutes of the Planning Commission Regular Meeting of December 8, 2025.

Ayes: Reed, Brewer, Couch, Wells, Hill, Etchegoin

Abstain:

Absent: Vancil

ITEM NO. 5 Public Hearing – Consider and accept public comment for Consider and accept public comment for General Plan Amendment No. 2026-02, the Lemoore 2024-2032 6th Cycle Housing Element – report and recommendation for adoption of Resolution No. 2026-03 recommending City Council adoption of General Plan Amendment No. 2026-02 to repeal the 2016-2024 City of Lemoore Housing Element and adopt the 2024-2032 City of Lemoore Housing Element of the General Plan.

City Planner Brandt presented an overview of why the Housing Element exists and how often it is adopted.

QK Senior Project Manager Susan Long presented the Draft Housing Element and answered questions.

Chair Etchegoin opened the public hearing at 6:38 p.m.

There was no other comment from the public.

Chair Etchegoin closed the public hearing at 6:38 p.m.

Motion by Commissioner Hill, seconded by Commissioner Reed, to adopt Resolution No. 2026-03, recommending that City Council adopt General Plan Amendment No. 2026-02, to repeal the 2016-2024 City of Lemoore Housing Element and to adopt the 2024-2032 City of Lemoore (6th Cycle) Housing Element of the General Plan.

Ayes: Hill, Reed, Brewer, Couch, Vancil, Wells, Etchegoin

Noes:

Abstain:

Absent:

ITEM NO. 7 Directors Report

There was no report.

ITEM NO. 8 Commission Reports / Requests

Commissioner Couch thanked the consultants and staff, and said that it was unfortunate that the City received negative press and shouldn't have.

ITEM NO. 9 Adjournment

The meeting was adjourned at 6:40 P.M.

Approved the 13th day of July 2026.

APPROVED:

Ray Etchegoin, Chairperson

ATTEST:

Kristie Baley, Commission Secretary



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Staff Report

To: Lemoore Planning Commission **Item No. 5**
From: Steve Brandt, City Planner and
Kristie Baley, Management Analyst

Date: July 6, 2026 **Meeting Date:** July 13, 2026

Subject: **Conditional Use Permit No. 2026-01:** A request by Hand Picked & Curated Thrift Store to allow donations for retail sale (thrift store) at 405 W. D Street in the City of Lemoore (APN 020-082-006).

Proposed Motion:

Move to adopt Resolution No. 2026-04, approving Conditional Use Permit No. 2026-01 to allow donations for retail sale (thrift store) in accordance with the findings and conditions in the Resolution.

Project Proposal:

The applicant is seeking to operate a small retail thrift store in an existing building with tenant space located at 405 W. D Street (suite E) in Downtown Lemoore. The business is proposing to operate as a traditional thrift store with all activities occurring within the building to provide affordable second-hand merchandise to local residents while encouraging recycling, reuse, and responsible consumption of goods that might otherwise be discarded. The store will offer clothing, shoes, household goods, books, toys, décor, and similar merchandise that have been donated or acquired for resale.

The business plan for the proposed thrift store is considered acceptable as long as all activities and operations are in accordance with Municipal Code Section 9-4D-16 "Special Use Standards for Thrift Stores". Compliance with the requirements of this section is and the attached operational statement are recommended as a condition of the approval of this CUP.

Applicant	Hand Picked & Curated Thrift Store
Location	405 W. D Street

Existing Land Use	Vacant Building
APN(s)	020-082-006
Total Suite Size	360 square feet
Zoning	Downtown Mixed Use (DMX-I)
General Plan	Mixed Use

Adjacent Land Use, Zone and General Plan Designation

<u>Direction</u>	<u>Current Use</u>	<u>Zone</u>	<u>General Plan</u>
North	Vacant Building	DMX-I	Mixed Use
South	Church	DMX-I	Mixed Use
East	Retail / Office Uses	DMX-I	Mixed Use
West	Veterans Hall	DMX-I	Mixed Use

Previous Relevant Actions:

- Administrative Use Permit 2023-02 was issued to a restaurant tenant, now property owner, permitting an outdoor smoker to be located in the parking lot at this site to accommodate the restaurant use on the end cap (Suite A).
- A request for the removal of on-site parking was recently approved for the site by the City Manager and parking in-lieu funds are being utilized to remove the drive approaches so that more street parking can be added.

Zoning/General Plan:

The site is planned and zoned Downtown Mixed Use (DMX-I). Per the Lemoore Municipal Code, the proposed Thrift Store is a use that can be approved through a CUP in this zone. This project is being brought to the Planning Commission because the proposed thrift store requires a CUP.

Nearby Schools, Churches, and Parks:

There is no applicable condition or requirement.

Environmental Assessment:

The City has determined that the project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA) per Class 1 (Existing Facilities) Section 15301.

Recommended Approval Findings:

A Conditional Use Permit shall be granted only when the designated approving authority determines that the proposed use or activity complies with all of the following findings. City staff recommends that these findings be made based upon review of the project as described in this staff report, and with the recommended conditions of approval.

1. The proposed use is consistent with the General Plan, any applicable specific plans, and all applicable provisions of the Zoning Ordinance. The proposed use of the building is consistent with the General Plan; the proposed land uses are consistent with the Zoning Ordinance.
2. The establishment, maintenance, or operation of the use applied for will not, under the circumstances of the particular case (location, size, design, and operating characteristics), be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or working in the neighborhood of such use or to the general welfare of the City. The site is located near other compatible commercial uses.
3. The site of the proposed use is physically suitable for the type, density, and intensity of the use and related structures being proposed. The site is physically able to support the use.
4. The use will not be contrary to the specific intent clauses, development regulations, or performance standards established for the zoning district in which it is located. The proposed use and related structures are compatible with other land uses, transportation patterns, and service facilities in the vicinity.
5. There are no other thrift stores within 500 feet of the site.
6. The project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA) per Class 1 (Existing Facilities) Section 15301.

Staff recommends the following conditions be applied to the approval of the Conditional Use Permit:

1. The operation shall be conducted in accordance with the applicant's Site Plan, Project Narrative and Operational Statement contained in the staff report for this Conditional Use Permit. Any deviations from the approvals shall first require approval of an amendment to this Conditional Use Permit.
2. The establishment shall obtain and maintain a valid City of Lemoore business license.

3. All activities shall be completely enclosed within the building for the use.
4. Collection/Receiving Area: The collection area shall be located inside the building. as shown on the approved site plan for this conditional use permit and the collection area shall be noticed to prohibit depositing goods when the store is closed.
5. Property Maintenance: Management shall be responsible for the removal of litter from the subject property, adjacent property, and streets that results from the thrift store (with adjacent property owner consent).
6. The time limits and potential extensions and expiration of this Conditional Use Permit are established per Section 9-2A-9 of the City of Lemoore Zoning Ordinance.

Attachments:

Draft Resolution
Location Map
Interior Site Plan
Project Narrative
Operational Statement

CUP No. 2026-01
Location Map



RESOLUTION NO. 2026-04
A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LEMOORE
APPROVING CONDITIONAL USE PERMIT NO. 2026-01 FOR ON-SITE DONATIONS (THRIFT
STORE) AT 405 W. D STREET, SUITE E
IN THE CITY OF LEMOORE APN 020-082-006

At a Regular Meeting of the Planning Commission of the City of Lemoore duly called and held on July 13, 2026, at 5:30 p.m. on said day, it was moved by Commissioner _____, seconded by Commissioner _____, and carried that the following Resolution be adopted:

WHEREAS, Hand Picked & Curated Thrift Store has requested a conditional use permit (CUP) to allow on-site donations (thrift store) at 405 W. D Street, Suite E in the City of Lemoore (APN 020-084-006); and

WHEREAS, the zoning on the parcel is DMX-I; and

WHEREAS, the project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA) per Class 1 (Existing Facilities) Section 15301; and

WHEREAS, the Lemoore Planning Commission held a duly noticed public hearing at its July 13, 2026, meeting.

NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Lemoore hereby makes the following findings regarding the proposed Conditional Use Permit No. 2026-01 based on facts detailed in the July 6, 2026, Staff Report, which is hereby incorporated by reference, as well as the evidence and testimony presented during the Public Hearing:

1. The proposed use is consistent with the General Plan, any applicable specific plans, and all applicable provisions of the Zoning Ordinance. The proposed use of the building is consistent with the General Plan; the proposed land uses are consistent with the Zoning Ordinance.
2. The establishment, maintenance, or operation of the use applied for will not, under the circumstances of the particular case (location, size, design, and operating characteristics), be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or working in the neighborhood of such use or to the general welfare of the City. The site is located near other compatible commercial uses.
3. The site of the proposed use is physically suitable for the type, density, and intensity of the use and related structures being proposed. The site is physically able to support the use.
4. The use will not be contrary to the specific intent clauses, development regulations, or performance standards established for the zoning district in which it is located. The proposed use and related structures are compatible with other land uses, transportation patterns, and service facilities in the vicinity.
5. There are no other thrift stores within 500 feet of the site.

6. The project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA) per Class 1 (Existing Facilities) Section 15301.

BE IT FURTHER RESOLVED that the Planning Commission of the City of Lemoore hereby approves Conditional Use Permit No. 2026-01 subject to the following conditions:

1. The operation shall be conducted in accordance with the applicant's Site Plan, Project Narrative, and Operational Statement in the staff report for this Conditional Use Permit. Any deviations from the approvals shall first require approval of an amendment to this Conditional Use Permit.
2. The establishment shall obtain and maintain a valid City of Lemoore business license.
3. All activities shall be completely enclosed within the building for the use.
4. Collection/Receiving Area: The collection area shall be located inside the building. As shown on the approved site plan for this conditional use permit. The collection area shall be noticed to prohibit depositing goods when the store is closed.
5. Property Maintenance: Management shall be responsible for the removal of litter from the subject property, adjacent property, and streets that results from the thrift store (with adjacent property owner consent).
6. The time limits and potential extensions and expiration of this Conditional Use Permit are established per Section 9-2A-9 of the City of Lemoore Zoning Ordinance.

Passed and adopted at a Regular Meeting of the Planning Commission of the City of Lemoore held on July 13, 2026, by the following votes:

AYES:
NOES:
ABSTAINING:
ABSENT:

APPROVED:

Ray Etchegoin, Chair

ATTEST:

Kristie Baley, Commission Secretary

PROJECT 405

HAND PICKED & CURATED THRIFT STORE

405 W D Street, Suite E
Lemoore, California

SITE PLAN / FIXTURE LAYOUT / ADA ACCESSIBILITY PLAN

PROJECT DESCRIPTION

Tenant improvement and occupancy of an existing commercial tenant space for operation of a second-hand retail thrift store specializing in clothing, household goods, books, collectibles, décor, and miscellaneous merchandise.

OCCUPANT LOAD CALCULATION

Occupancy Classification: Group M (Mercantile)
Tenant space area: approximately 361 sq ft
Occupant load factor (CBC Table 1004.5): 60 net
Calculated occupant load:
 $361 \div 60 = 6.02$ (rounded down to 6 persons)
OCCUPANT LOAD: 6 PERSONS MAXIMUM

EXIT PATH NOTE

PRIMARY EXIT ROUTE
Direct, unobstructed path maintained from all customer areas to the front entrance/exit.

RESTROOM ACCOMMODATION NOTE

Existing restroom provided on-site. Additional restroom access may be available through property management and adjacent tenant spaces as required by occupancy and applicable code requirements.

GENERAL NOTES

- Indoor retail sales only.
- No outdoor storage.
- No outdoor donation bins.
- Donations accepted only during staffed business hours. No unattended donations permitted. No exterior donation bins shall be placed on site.
- Inventory processing and storage shall occur entirely within the tenant space.
- No repair, refurbishment, or manufacturing activities.
- No hazardous materials.
- All merchandise and fixtures maintained to preserve ADA accessible routes.

BUSINESS OPERATIONS

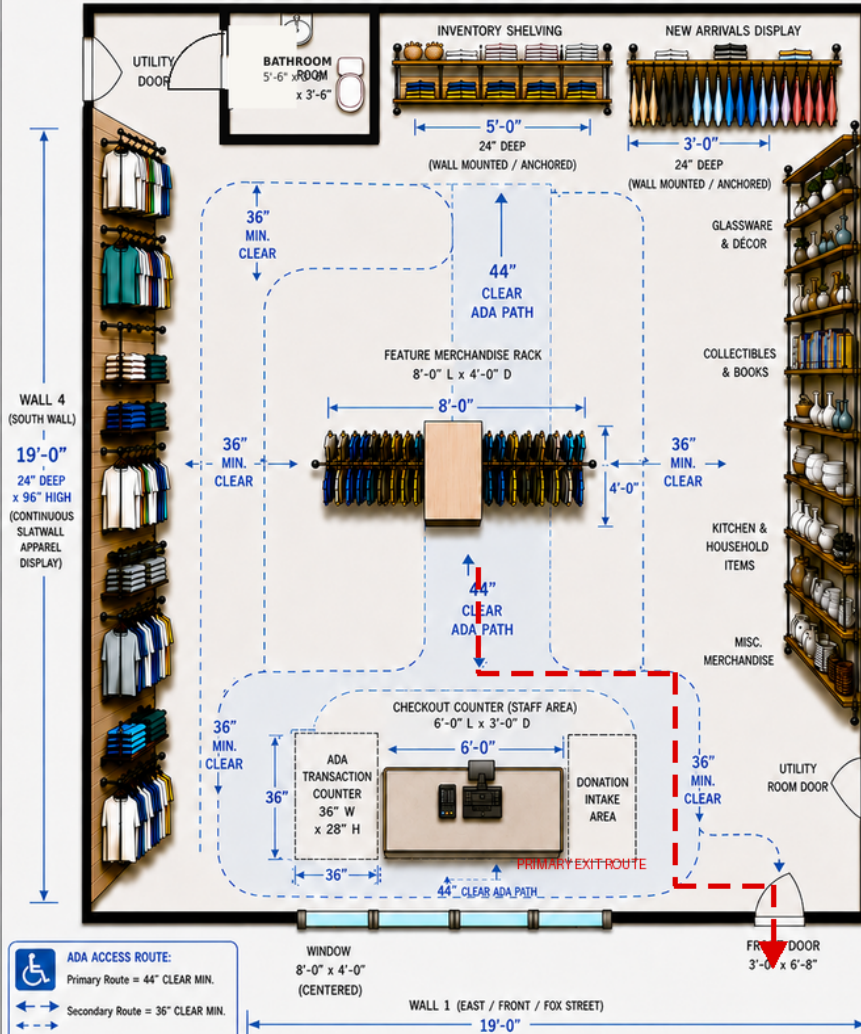
- Retail sale of second-hand merchandise.
- Merchandise: clothing, housewares, books, décor, collectibles, miscellaneous.
- Indoor sales only. No manufacturing.
- No repair activities on site.
- No outdoor displays. No outdoor storage.
- Typical staffing: 1 - 2 employees.



HAND PICKED & CURATED THRIFT STORE

405 W D Street, Suite E • Lemoore, California

SITE PLAN / FIXTURE LAYOUT / ADA ACCESSIBILITY PLAN



ADA ACCESS ROUTE PROVIDED

- Primary circulation route maintained at 44 inches minimum clear width.
- Secondary circulation routes maintained at 36 inches minimum clear width.
- Accessible transaction counter provided.
- Merchandise fixtures arranged to maintain accessible travel paths.

FIXTURE DIMENSION SCHEDULE

FIXTURE	DIMENSIONS
Wall 4 Apparel Display	19'-0" L x 24" D x 96" H
Inventory Shelving	5'-0" L x 24" D
New Arrivals Display	3'-0" L x 24" D
Wall 2 Shelving	15'-0" L x 24" D
Feature Rack	8'-0" L x 4'-0" D
Checkout Counter	6'-0" L x 3'-0" D
ADA Counter	36" W x 28" H

FIXTURE ANCHORING NOTES

- Wall 2 shelving anchored to wall framing.
- Wall 3 inventory shelving anchored to wall framing.
- Wall 3 new arrivals display anchored to wall framing.
- Wall 4 slatwall mechanically fastened to wall framing.
- Center feature rack stabilized with anti-tip hardware.
- Checkout counter secured to floor and/or wall.

OPERATIONAL NOTES

- Indoor retail sales only.
- No outdoor storage.
- No outdoor donation bins.
- Donations accepted during business hours only.
- Inventory processed indoors.
- No hazardous materials.
- No repair or manufacturing operations.

PROJECT 405

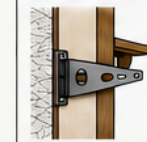
SCALE: 1/4" = 1'-0"
DATE: MAY 2025

FIXTURE DIMENSION SCHEDULE

FIXTURE	DIMENSIONS
Wall 4 Apparel Display	19'-0" L x 24" D x 96" H
Inventory Shelving	5'-0" L x 24" D
New Arrivals Display	3'-0" L x 24" D
Wall 2 Shelving	15'-0" L x 24" D
Feature Rack	8'-0" L x 4'-0" D
Checkout Counter	6'-0" L x 3'-0" D
ADA Counter	36" W x 28" H (MAX. 34" AFF)

FIXTURE ANCHORING DETAIL

WALL-MOUNTED FIXTURES



- Anchored to wall framing.
- Structural fasteners installed per manufacturer specifications.
- Designed to resist tipping and displacement.

FREESTANDING FIXTURES



- Stabilized using anti-tip hardware.
- Positioned to maintain required ADA circulation clearances.

ADA ACCESS ROUTE LEGEND

- PRIMARY ROUTE - 44" CLEAR MIN.
- SECONDARY ROUTE - 36" CLEAR MIN.

ACCESSIBILITY STATEMENT



Accessible route maintained throughout sales floor. Minimum 36-inch circulation path provided with primary routes maintained at 44 inches minimum clear width. Accessible sales counter provided. Merchandise displays arranged to maintain accessible access to goods and services.

BUILDING CODE & SAFETY NOTES

- Project designed in accordance with applicable provisions of the California Building Code (CBC), California Fire Code (CFC), and California Accessibility Standards (CBC Chapter 11B).
- Portable fire extinguisher to be installed and maintained in accordance with California Fire Code requirements.
- Exit signage and emergency lighting shall be maintained in accordance with applicable California Building and Fire Codes.

REVISION HISTORY

REV.	DATE	DESCRIPTION
1	June 2026	Initial CUP Submittal

NOTE: ALL DIMENSIONS ARE APPROXIMATE. FINAL FIXTURE SELECTION AND PLACEMENT MAY VARY SLIGHTLY AS LONG AS ADA CLEARANCES AND CODE REQUIREMENTS ARE MAINTAINED.

HAND PICKED & CURATED THRIFT STORE

CONDITIONAL USE PERMIT PROJECT NARRATIVE

Project Address:
405 W D Street, Suite E
Lemoore, California

Applicant:
Hand Picked & Curated Thrift Store

PROJECT OVERVIEW

Hand Picked & Curated Thrift Store is requesting approval of a Conditional Use Permit to operate a small retail thrift store within the existing commercial tenant space located at 405 W D Street, Suite E, in downtown Lemoore. The business will provide affordable second-hand merchandise to local residents while encouraging recycling, reuse, and responsible consumption of goods that might otherwise be discarded.

The proposed business will occupy an existing commercial storefront and no exterior building modifications are proposed. The store will offer clothing, shoes, household goods, books, toys, décor, and similar merchandise that has been donated or acquired for resale. The primary objective of the business is to create a clean, organized, and welcoming shopping environment that serves residents seeking quality second-hand merchandise at affordable prices.

BUSINESS OPERATIONS

The business will operate as a traditional retail thrift store with all activities occurring entirely within the building.

Monday through Saturday: 10:00 AM – 6:00 PM
Sunday: 9:00 AM – 2:00 PM

The business is expected to generate customer traffic comparable to other small retail establishments operating within the downtown area.

All merchandise display, sales transactions, inventory processing, storage, donation receiving, and administrative activities will occur within the enclosed tenant space. No outdoor display areas, outdoor storage, outdoor collection bins, or exterior merchandise staging areas are proposed.

DONATION COLLECTION PROCESS

Donations will be accepted only during normal business hours when staff members are present. Individuals wishing to donate merchandise will bring items directly into the store through the main customer entrance where staff will receive and inspect the items.

The business will not utilize unattended donation bins, collection containers, or after-hours drop-off locations. Signage will be posted advising customers that donations may only be accepted while the business is open and staffed.

Because the tenant space is relatively small and designed for retail use, all donation receiving activities will occur inside the building. No exterior collection area is proposed or required.

INVENTORY STORAGE AND PROCESSING

Following receipt, donated items will be inspected, sorted, and evaluated by staff. Merchandise suitable for resale will be organized and temporarily stored within designated interior storage areas

until placed on the sales floor.

All inventory storage, sorting, processing, pricing, and preparation activities will occur entirely indoors. No merchandise, inventory, storage containers, or donation materials will be stored outside the building at any time.

UNSELLABLE ITEMS

Not all donated items are appropriate for resale. Items that are broken, unsafe, recalled, heavily damaged, excessively worn, stained, contaminated, or otherwise unsuitable for sale will not be offered to the public.

When practical, unsellable items will be recycled or transferred to organizations capable of utilizing the materials. Items that cannot reasonably be recycled or reused will be disposed of through normal refuse collection services.

PROPERTY MAINTENANCE

Management will be responsible for maintaining the premises in a clean, safe, and orderly condition at all times. Employees will routinely inspect the storefront, sidewalks, and areas immediately adjacent to the business to ensure that litter, debris, or abandoned items associated with business operations are promptly removed.

COMPLIANCE WITH THRIFT STORE REGULATIONS

The proposed business has been designed to comply with the requirements of Lemoore Municipal Code Section 9-4D-16 governing thrift stores. All activities associated with the business will be conducted entirely within the enclosed building. No outdoor storage, outdoor donation bins, outdoor merchandise displays, or after-hours collection activities are proposed.

COMMUNITY BENEFIT

Hand Picked & Curated Thrift Store will provide affordable shopping opportunities for residents and families throughout the Lemoore area. By extending the useful life of donated goods and making them available at low cost, the business contributes to waste reduction, sustainability, and economic accessibility for members of the community.

CONCLUSION

Hand Picked & Curated Thrift Store respectfully requests approval of the Conditional Use Permit for operation of a thrift store at 405 W D Street, Suite E.

HAND PICKED & CURATED THRIFT STORE

Operational Statement

Project Address:

405 W D Street, Suite E
Lemoore, California

Business Description

Hand Picked & Curated Thrift Store is a small indoor retail thrift store specializing in affordable second-hand clothing, shoes, household goods, books, décor, toys, collectibles, and similar merchandise. The business is intended to provide affordable shopping opportunities to the community while encouraging reuse and recycling of usable goods.

Hours of Operation

Monday–Saturday: 10:00 AM to 6:00 PM
Sunday: 9:00 AM to 2:00 PM

Employees

The business will be owner-operated with approximately one employee present during normal business operations.

Operations

All retail sales, inventory storage, merchandise processing, pricing, donation receiving, and administrative activities will occur entirely within the enclosed tenant space. No manufacturing, repair work, hazardous activities, or outdoor business operations are proposed.

Donation Handling

Donations will be accepted only during normal business hours while staff are present. No unattended donations, outdoor donation bins, collection containers, or after-hours drop-off locations will be permitted.

Inventory Processing

Donated merchandise will be inspected, sorted, priced, and prepared for resale within the building. Merchandise suitable for sale will be displayed on retail shelving and clothing racks. Unsellable items will be recycled, donated elsewhere when appropriate, or disposed of through normal refuse collection services.

Property Maintenance

Management will maintain the premises in a clean, safe, and orderly condition.

Parking and Traffic

The proposed thrift store is expected to generate customer traffic similar to other small neighborhood-serving retail businesses. Existing parking facilities serving the property will continue to be utilized. No additional parking spaces are proposed.

Outdoor Activities

No outdoor storage, outdoor merchandise displays, outdoor donation bins, outdoor processing activities, or outdoor collection areas are proposed. All business activities will occur indoors.

Compliance

The business will comply with applicable City of Lemoore regulations, building and fire codes, accessibility requirements, and conditions of approval associated with the Conditional Use Permit.



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Staff Report

To: Lemoore Planning Commission **Item No. 6**
From: Steve Brandt, City Planner
Kristie Baley, Management Analyst
Date: July 6, 2026 **Meeting Date:** July 13, 2026
Subject: **Public Hearing – Variance 2026-01:** a request by Jose and Alba Terriquez to allow a detached metal carport to be located less than the minimum distance between structures and distance from property lines. The site is located at 1085 Cypress Lane in the City of Lemoore (APN 020-221-026).

Proposed Motion:

Move to adopt Resolution 2026-05, approving Variance No. 2026-01 to allow an existing metal carport to remain in its current location, zero (0) feet from the main house, less than 10 feet from the neighboring house, and zero (0) feet from the property lines located east and north of the driveway, in accordance with the findings and conditions found in the staff report.

Project Proposal:

Mr. and Mrs. Terriquez are requesting to allow a 30 x 20 metal carport to remain on the driveway of the property located at 1085 Cypress Lane. Metal carports like this are described as non-combustible and permanent accessory structures that require zone clearance and a building permit prior to installation. Municipal Code Section 9-4D-18-C1 “Development Standards for Residential Accessory Structures in Residential Zones” requires noncombustible/permanent carports to be located at least 10 feet from other structures, in this case the applicant’s house and the neighbors house. There is no minimum side yard setback, but these structures are required to be located a minimum 4’ from the sidewalk and out of the public right of way.

Prior to installing the carport, Mr. Terriquez was issued a building permit in May of 2024 to install a 20 x 20 carport in the driveway. Unfortunately, the plans were approved by the Building Department were not reviewed by Planning for zone clearance, which was not the fault of the applicant. It was not until a Code Enforcement Officer reported the carport, that the Planning Department became aware of the permit, which had since expired without

record of an inspection. It was at this time that Planning staff noticed that the carport installed was 10 feet wider (30 x 20) than the carport on the approved plan and sent a zoning violation letter.

The Terriquez family was diligent in responding to the violation letter and visited the City office multiple times to discuss options with staff and requested assistance from the City Manager to find a solution that both parties could agree on. During one of the discussions with the Building Official, a plan was submitted for a carport proposed to be located within the buildable area. The plan was stamped again without first requesting that Planning review for zone clearance. Unfortunately, the measurements on the plan were incorrect and it was determined that the plan as proposed was not feasible.

Due to the circumstances, the Terriquez family were advised to apply for a Variance so that the Planning Commission could make the determination and an application was submitted. The City Council was advised of the situation during closed session and approved a one-time fee waiver for the Variance request during a Regular Meeting on May 19, 2026. The request was approved by unanimous vote and without opposition from the public.

If the Planning Commission denies the request, Mr. and Mrs. Terriquez can appeal against the decision and City Council review will be final.

Applicant	Jose and Alba Terriquez
Location	1085 Cypress Lane
Existing Land Use	Single Family Home
Zoning	Low Density Residential (RLD)
General Plan	Low Density Single-family Residential

<u>Direction</u>	<u>Current Use</u>	<u>General Plan</u>
North	Low Density Residential (RLD)	Low Density Residential
South	Low Density Residential (RLD)	Low Density Residential
East	Low Density Residential (RLD)	Low Density Residential
West	Low Density Residential (RLD)	Low Density Residential

Environmental Assessment:

The project is exempt from the requirements of the California Environmental Quality Act (CEQA), under the Class 3 categorical exemption (New Construction or Conversion of Small Structures) contained in Section 15303 of the CEQA Guidelines.

Recommended Variance Approval Findings:

1. There are special circumstances applicable to the property (e.g., location, shape, size, surroundings, topography, or other conditions), so that the strict application of this zoning code denies the property owner privileges enjoyed by other property owners in the vicinity and within the same zoning district. The building permit was issued in error through no fault of the property owner.
2. Granting the variance is necessary for the preservation and enjoyment of substantial property rights enjoyed by other property owners in the same vicinity and zoning district and denied to the property owner for which the variance is sought. There is a legal non-conforming metal carport across the street.
3. Granting the variance will not adversely affect the interests of the public or the interests of residents and property owners in the vicinity of the premises in question. A public hearing notice was sent to nearby property owners, and the City has not received any complaints. The site is located in the middle of a residential block with a straight street, so the carport will not block views of drivers in the street.
4. The variance is consistent with the general plan, any applicable specific plan or development agreement, and the intent of this title. There are no General Plan policies specifically referencing this situation. Approval of the carport does not conflict with the explicit wording of the General Plan

Recommended Conditions to Implement Zoning Ordinance Standards:

1. Any modification or addition to the carport requires that the Planning Commission approve a modification of the variance.
2. variance approval shall automatically expire if the carport is removed.

Attachments:

Vicinity Map

Carport

Draft Resolution

Building Permit

1st Approved Plan

2nd Approved Plan

1st Violation Letter dated August 21, 2026 (subsequent reminder letters were sent during discussions with Terriquez family, but are not attached to the staff report)

Letter from Terriquez family dated September 15, 2025

Vicinity Map



Carport



RESOLUTION 2026-05
A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LEMOORE
APPROVING VARIANCE NO. 2026-01 TO ALLOW AN EXISTING DETACHED METAL CARPORT
TO BE LOCATED LESS THAN THE MINIMUM DISTANCE BETWEEN STRUCTURES AND
TO BE LOCATED LESS THAN THE MINIMUM SETBACK DISTANCE FROM PROPERTY LINES
THAT ARE LISTED IN MUNICIPAL CODE SECTION 9-9-4D-18-C1
ON A SITE LOCATED AT 1085 CYPRESS LANE (APN 020-221-026)
IN THE CITY OF LEMOORE

At a Regular Meeting of the Planning Commission of the City of Lemoore duly called and held on July 13, 2026, at 5:30 p.m. on said day, it was moved by Commissioner _____, seconded by Commissioner _____ and carried that the following Resolution be adopted:

WHEREAS, Jose and Alba Terriquez paid for and were issued a building permit in 2024 by the Building Department to install a (20 x 20) carport in the driveway of a residential property located at 1085 Cypress Lane, in the City of Lemoore (APN 020-221-026); and

WHEREAS, Jose and Alba Terriquez installed a 30 x 20 carport but did not request an inspection, thereby letting the permit expire; and

WHEREAS, the City Planning Department sent a certified letter on August 21, 2025, requesting removal of the carport because it does not meet the requirements of Lemoore Municipal Code Section 9-4D-18-C1; and

WHEREAS, the Terriquez family requested that the City deem the carport grandfathered, considering the circumstances on September 15, 2025; and

WHEREAS, the City advised the Terriquez family to apply for a Variance; and

WHEREAS, the Terriquez family applied for a Variance to allow an existing carport to be located 0 feet from the main house, and 0 feet from the property lines to the east and north ; and

WHEREAS, the City Council approved a one-time fee waiver for the Variance during a duly noticed Regular Meeting on May 19, 2025; and

WHEREAS, the project is exempt from the requirements of the California Environmental Quality Act (CEQA), under the Class 3 categorical exemption (New Construction or Conversion of Small Structures) contained in Section 15303 of the CEQA Guidelines; and

WHEREAS, the Planning Commission held a duly noticed public hearing at its July 13, 2026, meeting.

NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Lemoore hereby makes the following findings regarding the proposed variance:

1. There are special circumstances applicable to the property (e.g., location, shape, size, surroundings, topography, or other conditions), so that the strict application of this zoning code denies the property owner privileges enjoyed by other property owners in the vicinity and within the same zoning district. The building permit was issued in error through no fault of the property owner.

2. Granting the variance is necessary for the preservation and enjoyment of substantial property rights enjoyed by other property owners in the same vicinity and zoning district and denied to the property owner for which the variance is sought. There is a legal non-conforming metal carport across the street.
3. Granting the variance will not adversely affect the interests of the public or the interests of residents and property owners in the vicinity of the premises in question. A public hearing notice was sent to nearby property owners, and the City has not received any complaints. The site is located in the middle of a residential block with a straight street, so the carport will not block views of drivers in the street.
4. The variance is consistent with the general plan, any applicable specific plan or development agreement, and the intent of this title. There are no General Plan policies specifically referencing this situation. Approval of the carport does not conflict with the explicit wording of the General Plan

BE IT FURTHER RESOLVED that the Planning Commission of the City of Lemoore approves Variance No. 2026-01, subject to the following conditions:

1. Any modification or addition to the carport requires that the Planning Commission approve a modification of the variance.
2. The variance approval shall automatically expire if the carport is removed.

Passed and adopted at a Regular Meeting of the Planning Commission of the City of Lemoore held on July 13, 2026, by the following votes:

AYES:
NOES:
ABSTAINING:
ABSENT:

APPROVED:

Ray Etchegoin, Chairperson

ATTEST:

Planning Commission Secretary

Date Applied: 5/30/2024
Issued By: sheilam
Date Issued: 5/30/2024
Expiration Date: 5/30/2025

CITY OF LEMOORE
BUILDING DIVISION
711 W. Cinnamon Drive Lemoore, CA 93245
(559) 924-6744 Ext: 730

PERMIT #
2405-090

OWNER-BUILDER DECLARATION

I affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).)

X I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (sec. 7044, Business and professions code. The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, prove that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for purpose of sale).

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (sec. 7044 Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contract for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.)

I am exempt Under Sec. B.&P.C. for this reason.

Owner: JOSEPH TERRIQUEZ Date: 5-30-24

Signature of Building Official or Representative Date

THIS PERMIT BECOMES NULL AND VOID if work or construction authorized is not commenced within 365 days from the date of issuance, or work is suspended or abandoned or abandoned for a period of 180 days any time after work is commenced and verified by inspection.

NOTICE:
NO REFUNDS WILL BE GIVEN FOR BUILDING PERMITS
ONCE THE PERMIT HAS BEEN ISSUED.

Signature of Applicant Date

Receipt #	Payment Date	Payment Type	Check #	Amount	Total Paid:
0	5/30/2024	Cash		205.10	205.10
0				0.00	Balance Due:
0				0.00	0.00

BUILDING

APN #: 020-221-026	Flood Zone
Job Address: 1085 CYPRESS LN	Lot Number: Lemoore, CA 93245
Description of Work: NEW DETACHED CARPORT	
Applicant: TERRIQUEZ, JOSE & ALBA F D H/W	
Address: 1085 CYPRESS LN	
	LEMOORE CA 93245
Owner: TERRIQUEZ, JOSE & ALBA F D H/W	
Address: 1085 CYPRESS LN	
	LEMOORE CA 93245
Contractor: OWNER	
Address:	
Comm / Industrial SF: 0	
Livable SF: 0	Garage SF: 0
	Patio SF: 0
Valuation: \$3,000.00	
Occupancy:	
Type: 434(a) - Additions and Alterations - Residential	
Special Instructions:	

DESCRIPTION OF FEES

Permit Fees		
General Plan Update Fee	GenPln	2.40
Technology Fee	Techn	1.20
Carport or Patio or Garage	CarPG	200.00
State Fees		
Seismic	Seism	0.50
Building Standards Admin Fun	BSAF	1.00
TOTAL FEES		205.10



APPROVED

Lemoore Building Inspection Department

All construction shall be in accordance with these plans and specifications

And shall not be changed, modified, or altered without approval of the

Building Official

The issuance of granting of plans and specifications SHALL NOT be construed to be a permit for, or approval of, and violation, any of the provisions

of any City of Lemoore Ordinance, County Ordinance, or State

Law, nor shall it prevent the Building Official from thereafter requiring the

correction of errors in said plans or from prevention of building

operations being carried on thereunder when in violation of any ordinance of the

City of Lemoore

By:

[Signature]

REGULAR / A-FRAME 20'-0" WIDE CARPORT STYLE BUILDINGS

DESIGN NOTES

1. ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH IBC 2018, OSHA, AISC 360, AISI 100, ASCE 7-16, AWS D 1.3 CODES AND ALL APPLICABLE LOCAL REQUIREMENTS.
2. BASE CONNECTIONS SHALL BE PROVIDED AS SHOWN ON FOUNDATION DETAILS SHEET.
3. ALL MATERIALS IDENTIFIED BY MANUFACTURER NAME MAY BE SUBSTITUTED WITH MATERIAL EQUAL OR EXCEEDING ORIGINAL.
4. ALL SHOP CONNECTIONS SHALL BE WELDED CONNECTIONS.
5. ALL FIELD CONNECTIONS SHALL BE #12X1" SDS (ESR-2196 OR EQ).
6. STEEL SHEATHING SHALL BE 29GA. CORRUGATED GALV. OR PAINTED STEEL - MAIN RIB HT. 3/4" (FY=80KSI) OR EQ.
7. ALL STRUCTURAL LIGHT GAUGE TUBING AND CHANNELS SHALL BE GRADE 50 STEEL.
8. STRUCTURAL TUBE TS2 1/2"X2 1/2" - 14GA. IS EQUIVALENT TO TS2 1/4"X2 1/4" - 12GA AND EITHER ONE MAY BE USED IN LIEU OF THE OTHER.
9. ALL DESIGN CRITERIA MUST BE INCREASED TO THE NEXT HIGHER INCREMENT BASED ON THE TABLES ON PAGE 4. NO INTERPOLATION IS ALLOWED.

DESIGN CRITERIA

- PREVAILING CODE: CBC 2019 (IBC 2018)
USE GROUP: U (CARPORTS, BARNs)
RISK CATEGORY: I
1. DEAD LOAD (D) $D = 4$ PSF
 2. ROOF LIVE/SNOW LOAD (Lr)
 $Lr = 20 - 61$ PSF
(AS PER SNOW LOAD SEE TABLE 4)
 3. SNOW LOAD (S)
GROUND SNOW LOAD $P_g = 20 - 90$ PSF
IMPORTANCE FACTOR $I_s = 0.8$
THERMAL FACTOR $C_t = 1.2$
EXPOSURE FACTOR $C_e = 1.0$
ROOF SLOPE FACTOR $C_s = 1.0$
 4. WIND LOAD (W)
BASIC WIND SPEED $V_{ULT} = 105 - 180$ MPH
EXPOSURE C
 5. SEISMIC LOAD (E)
DESIGN CATEGORY D
IMPORTANCE FACTOR $I_e = 1.00$

LOAD COMBINATIONS:

1. $D + (Lr \text{ OR } S)$
2. $D + (0.6W \text{ OR } \pm 0.7E)$
3. $D + 0.75 (0.6W \text{ OR } \pm 0.7E) + 0.75 (Lr \text{ OR } S)$
4. $0.6D + (0.6W \text{ OR } \pm 0.7E)$

DRAWING INDEX

COVER SHEET	----	1
SCHEDULES & MEMBER -		
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FRAME SECTIONS & DETAILS	----	3-A, 3-B
SPACING SCHEDULES -		
& ENCLOSURE NOTES	----	4
PURLIN & GIRT SCHEDULES	----	5
SHEATHING OPTIONS	----	6
SIDE WALL FRAMING		
& OPENINGS	----	7
END WALL FRAMING		
& OPENINGS	----	8-A, 8-B
CORNER BRACING DETAILS	----	9
OPTIONAL LEAN-TO ADDITION	----	10
FOUNDATION OPTIONS	----	11-A TO 11-D

MANUFACTURED BY:



ENGINEERED BY:



A&A ENGINEERING
CIVIL • STRUCTURAL
6036 Renaissance Place, Toledo, OH 43623
Tel. 419-292-1983 • Fax. 419-292-0955
www.aa-engineers.com

DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS

LOCATION: STATE OF CALIFORNIA

PROJECT NO.: 411-21-3844

SHEET TITLE:

COVER SHEET

SHEET NO.: 1 / 11

DRAWN BY: AW DATE: 1/4/22

CHECKED BY: OAA DATE: 1/4/22

LEGAL INFORMATION

- ANY DUPLICATION OF THIS DRAWING IN WHOLE OR PART IS STRICTLY FORBIDDEN. ANYONE DOING SO WILL BE PROSECUTED UNDER THE FULL EXTENT OF THE LAW.
- DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE.

SEAL:



CUSTOMER INFORMATION

OWNER: Mario Caldera
ADDRESS: 251 S. Carrillo Pl.
Porterville 93257

DESIGN LOADS

GROUND SNOW: 30
ROOF LIVE LOAD: 20
BASIC WIND SPEED: 105

BUILDING INFORMATION

WIDTH: 20
LENGTH: 20
HEIGHT:

FRAME TYPE: ☒ A-FRAME
☐ REGULAR
☒ FULL
☐ PARTIAL
☐ OPEN
ENCLOSURE TYPE:

CERTIFICATION VALIDITY NOTICE

DATE OF PLANS EXPIRATION: 01-07-2023
CERTIFICATION ON THESE DRAWINGS IS VALID FOR ONE YEAR FROM DATE OF ISSUE

STAMP EXPIRY: 12-31-2022

DATE SIGNED: 01-07-2022

TABLE 2.1: MEMBER PROPERTIES

NO.	LABEL	PROPERTY	DETAIL NO.
1	COLUMN POST	2.5" X 2.5" X 14GA TUBE	1
2	ROOF BEAM	2.5" X 2.5" X 14GA TUBE	1
3	BASE RAIL	2.5" X 2.5" X 14GA TUBE	1
4	PEAK BRACE	2.5" X 2.5" 14GA CHANNEL	4
5	KNEE BRACES	2.5" X 2.5" 14GA CHANNEL	4
6	CONNECTOR SLEEVE	2.25" X 2.25" X 12GA TUBE	2
7	BASE ANGLE	2" X 2" X 3" LG. 3/16" ANGLE	10
8	PURLIN	4.25" X 1.5" X 14GA / 18GA HAT CHANNEL	5
9	GIRT	4.25" X 1.5" X 14GA / 18GA HAT CHANNEL	5
9A	OPT. END WALL GIRT	2.5" X 1.5" 14GA CHANNEL	1
10	SHEATHING	29 GA CORRUGATED SHEET	8
11	END WALL POST	2.5" X 2.5" X 14GA TUBE	1
12	DOOR POST	2.5" X 2.5" X 14GA TUBE	1
13	SINGLE HEADER	2.5" X 2.5" X 14GA TUBE	1
14	DOUBLE HEADER	DBL. 2.5" X 2.5" X 14GA TUBE	1
15	SERVICE DOOR / WINDOW FRAMING	2.5" X 2.5" X 14GA TUBE	1
16	ANGLE BRACKET	2" X 2" X 2" LG. 14GA ANGLE	7
17	STRAIGHT BRACKET	2" X 2" X 4" LG. 14GA PLATE	6
18	PB SUPPORT	2.5" X 2.5" X 14GA TUBE	1
19	DIAGONAL BRACE	2" X 2" X 14 GA TUBE	3
20	GABLE BRACE	2" X 2" X 14 GA TUBE	3
21	DB BRACKET	2.25" X 2.25" X 6" LG. 14GA ANGLE	9
22	TRUSS SPACER	2.5" X 2.5" X 14GA TUBE	1
23	ALL FASTENERS	#12 X 1" SELF-DRILL SCREWS (ESR-2196 OR EQ) W/ NEOPRENE/STEEL WASHER	

TABLE 2.2: SHEATHING FASTENER SCHEDULE

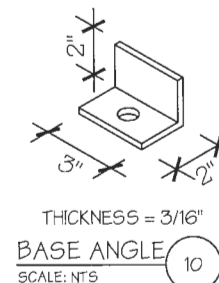
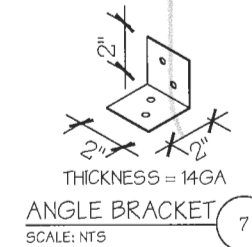
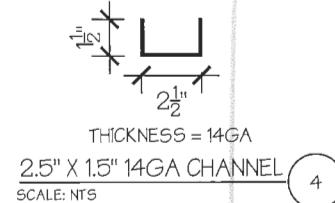
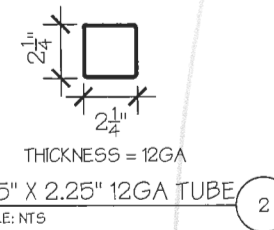
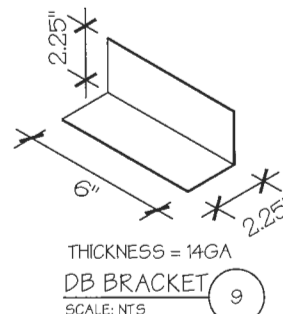
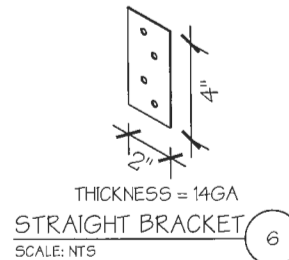
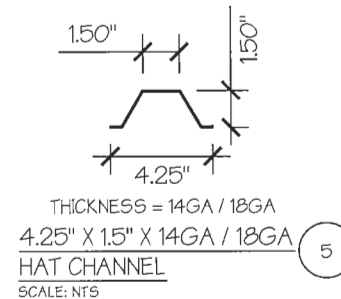
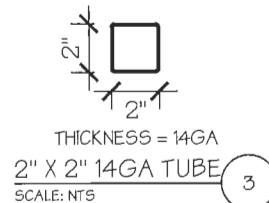
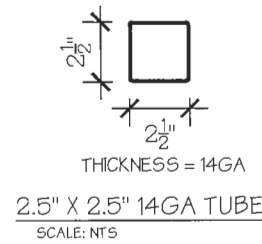
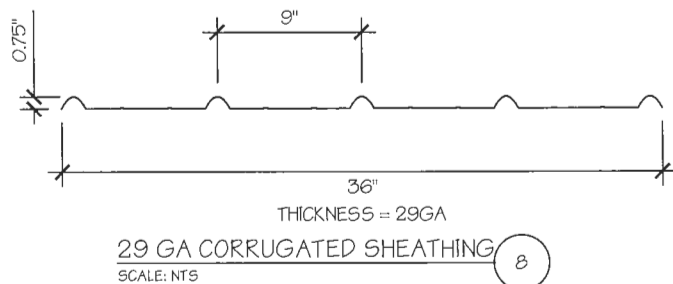
LOCATION	CORNER PANELS	SIDE LAPS	EDGE LAPS	ELSEWHERE
SPACING	9" C/C	MIN. 1	4 1/2" C/C	9" C/C

FASTENER TYPE: #12X1" SELF-DRILL SCREWS (ESR-2196 OR EQ) W/ NEOPRENE/STEEL WASHER

*SEE TYP. SHEATHING FASTENER SCHEDULE DIAGRAM ON PAGE 6.

TABLE 2.3: GAUGE THICKNESS

GAUGE	29	18	14	12
THICKNESS (IN)	0.0135	0.049	0.083	0.109



MANUFACTURED BY:



ENGINEERED BY:



A&A ENGINEERING
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6036 Renaissance Place, Toledo, OH 43623
Tel. 419-292-1983 • Fax. 419-292-0955
www.aa-engineers.com

DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS

LOCATION: STATE OF CALIFORNIA

PROJECT NO.: 411-21-3844

SHEET TITLE:

SCHEDULES & MEMBER SECTIONS

SHEET NO.: 2 / 11

DRAWN BY: AW DATE: 1/4/22

CHECKED BY: OAA DATE: 1/4/22

LEGAL INFORMATION

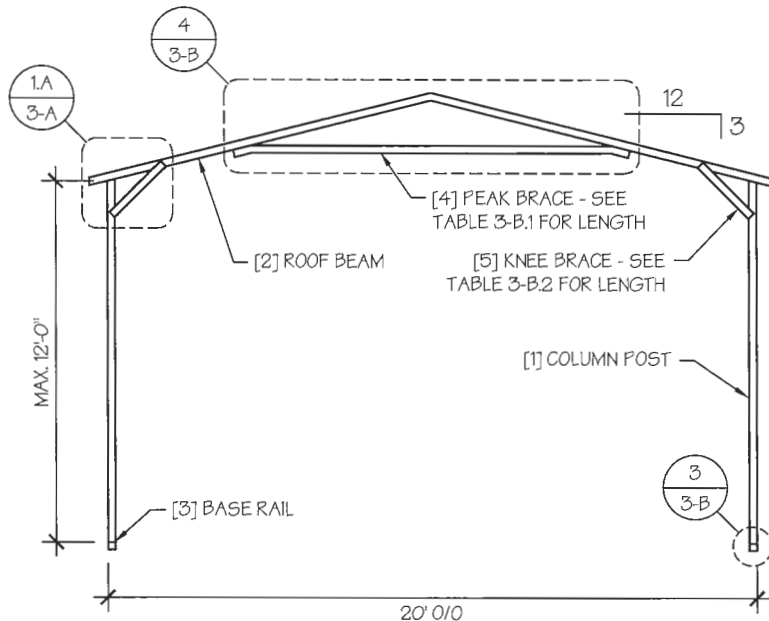
- ANY DUPLICATION OF THIS DRAWING IN WHOLE OR PART IS STRICTLY FORBIDDEN. ANYONE DOING SO WILL BE PROSECUTED UNDER THE FULL EXTENT OF THE LAW.
- DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE.

SEAL:

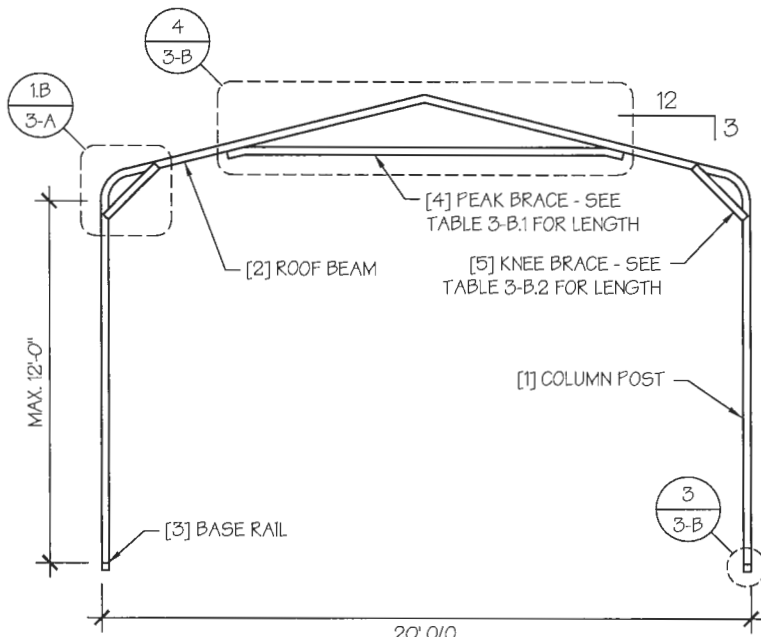


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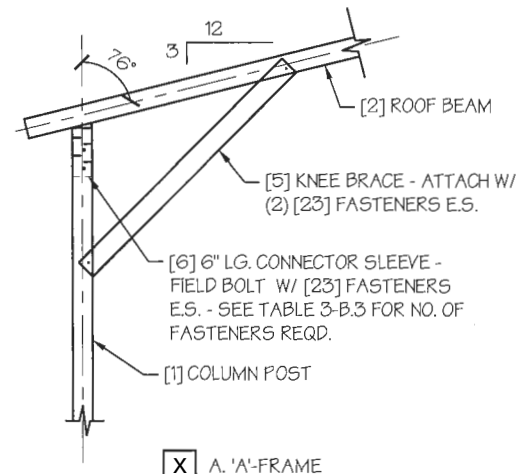
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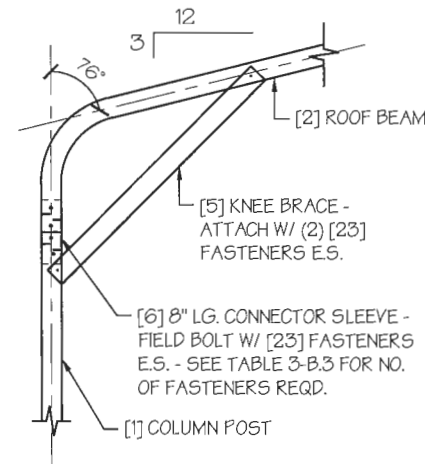
☐ TYP. A-FRAME SECTION
SCALE: NTS



☐ TYP. REGULAR FRAME SECTION
SCALE: NTS



☒ A. A-FRAME



☐ B. REGULAR-FRAME

EAVE DETAIL 1
SCALE: NTS

MANUFACTURED BY:



ENGINEERED BY:



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6036 Renaissance Place, Toledo, OH 43623
Tel. 419-292-1983 • Fax. 419-292-0955
www.aa-engineers.com

DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS

LOCATION: STATE OF CALIFORNIA

PROJECT NO.: 411-21-3844

SHEET TITLE:

FRAME SECTIONS &
DETAILS

SHEET NO.: 3-A / 11

DRAWN BY: AW DATE: 1/4/22

CHECKED BY: OAA DATE: 1/4/22

LEGAL INFORMATION

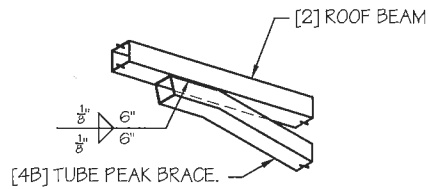
- ANY DUPLICATION OF THIS DRAWING IN WHOLE OR PART IS STRICTLY FORBIDDEN. ANYONE DOING SO WILL BE PROSECUTED UNDER THE FULL EXTENT OF THE LAW.
- DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE.

SEAL:

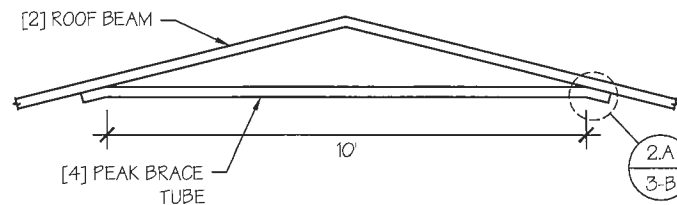


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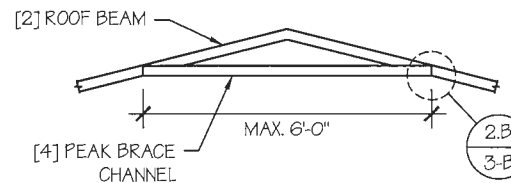
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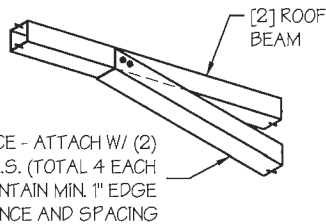
A. PEAK BRACE TUBE



☐ A. WELDED PEAK BRACE



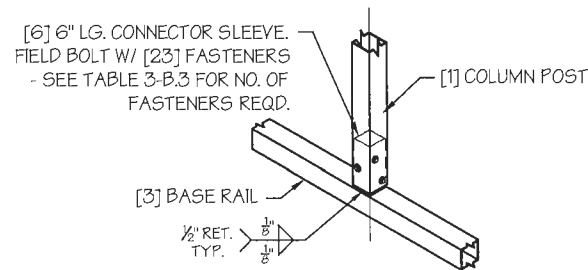
☒ B. CHANNEL PEAK BRACE



B. PEAK BRACE CHANNEL

PEAK BRACE CONNECTION DETAILS 2
SCALE: NTS

PEAK BRACE DETAILS 4
SCALE: NTS



BASE DETAIL 3
SCALE: NTS

TABLE 3-B.1: PEAK BRACE SCHEDULE

GROUND SNOW / ROOF LIVE LOAD (PSF)	WIND SPEED	
	☒ 105 TO 130	☐ 140 TO 180
☒ 30 / 20	6'	10'
☐ 35 / 25 TO 90 / 61	10'	10'

TABLE 3-B.2: KNEE BRACE SCHEDULE

EAVE HEIGHT	KNEE BRACE LENGTH
☐ UP TO 8'	24"
☒ 9' TO 12'	36"

TABLE 3-B.3 FASTENER SCHEDULE

WIND SPEED (MPH)	NO. OF FASTENERS
☒ 105 TO 125	4
☐ 130 TO 155	6
☐ 160 TO 180	8

NOTE: COLUMN POST MAY BE ADJUSTED ± 1 " FOR LEVELING.
MANUFACTURER IS NOT RESPONSIBLE FOR LEVELING OF GROUND
AND/OR CONCRETE SURFACE PROVIDED BY OTHERS.

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DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS

LOCATION: STATE OF CALIFORNIA

PROJECT NO.: 411-21-3844

SHEET TITLE:

FRAME DETAILS

SHEET NO.: 3-B / 11

DRAWN BY: AW DATE: 1/4/22

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LEGAL INFORMATION

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TABLE 4: FRAME SPACING CHART / SCHEDULE

EAVE HEIGHT = 10'-0" TO 12'-0"	GROUND SNOW / ROOF LIVE LOAD (PSF)	■ ENCLOSED BUILDINGS							■ OPEN BUILDINGS						
		WIND SPEED (MPH)							WIND SPEED (MPH)						
		105	115	130	140	155	165	180	105	115	130	140	155	165	180
EAVE HEIGHT = 7'-0" TO 9'-0"	30 / 20	60	60	54/60	54	42	36	36	60	54/60	48/60	42/54	36/42	36	36
	40 / 27	48/60	48/60	42/60	42/54	42	36	36	48	48	42/48	42/48	36/42	36	36
	50 / 34	40/48	40/48	40/48	40/48	40/42	36	36	40/42	40/42	40/42	40/42	36/42	36	36
	60 / 41	36/42	36/42	36/42	36/42	36/42	36	36	36	36	36	36	36	36	36
	70 / 47	32/36	32/36	32/36	32/36	32/36	32/36	30	30	30	30	30	30	30	30
	80 / 54	30	30	30	30	30	30	30	24	24	24	24	24	24	24
EAVE HEIGHT = UP TO 6'-0"	90 / 61	24	24	24	24	24	24	24	18	18	18	18	18	18	18
	30 / 20	60	60	54/60	54	48	42/48	42	60	54/60	48/60	42/54	36/48	36/48	36/42
	40 / 27	48/60	48/60	42/60	42/54	42/48	42/48	42	48/54	48/54	42/54	42/54	36/48	36/48	36/42
	50 / 34	40/48	40/48	40/48	40/48	40/48	40/48	40/42	40/42	40/42	40/42	40/42	36/42	36/42	36/42
	60 / 41	36/42	36/42	36/42	36/42	36/42	36/42	36/42	36	36	36	36	36	36	36
	70 / 47	32/36	32/36	32/36	32/36	32/36	32/36	32/36	30	30	30	30	30	30	30
EAVE HEIGHT = UP TO 6'-0"	80 / 54	30	30	30	30	30	30	30	30	30	30	30	30	30	30
	90 / 61	24	24	24	24	24	24	24	24	24	24	24	24	24	24
EAVE HEIGHT = UP TO 6'-0"	30 / 20	60	60	54/60	54	48	42/48	42	60	54/60	48/60	42/54	36/48	36/48	36/42
	40 / 27	48/60	48/60	42/60	42/54	42/48	42/48	42	48/60	48/60	42/60	42/54	36/48	36/48	36/42
	50 / 34	40/48	40/48	40/48	40/48	40/48	40/48	40/42	40/48	40/48	40/48	40/48	36/48	36/48	36/42
	60 / 41	36/42	36/42	36/42	36/42	36/42	36/42	36/42	36/42	36/42	36/42	36/42	36/42	36/42	36/42
	70 / 47	32/36	32/36	32/36	32/36	32/36	32/36	32/36	32/36	32/36	32/36	32/36	32/36	32/36	32/36
	80 / 54	30	30	30	30	30	30	30	30	30	30	30	30	30	30
EAVE HEIGHT = UP TO 6'-0"	90 / 61	24	24	24	24	24	24	24	24	24	24	24	24	24	24

NOTES:

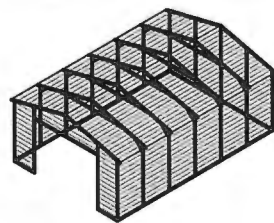
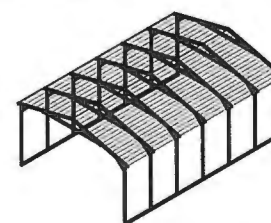
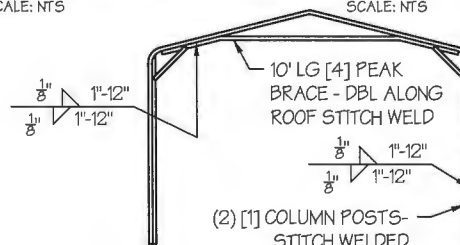
1. FRAME SPACINGS ARE IN UNITS OF INCHES (IN).
2. WHERE TWO VALUES ARE SHOWN, THE HIGHER VALUE CAN ONLY BE USED FOR VERTICAL SHEATHING.
3. SNOW LOADS AND ROOF LIVE LOADS ARE IN POUNDS PER SQUARE FOOT (PSF). WIND SPEED IS 3 SEC. GUST IN MILES PER HOUR (MPH).
4. FOR VALUES THAT LIE BETWEEN TWO CELLS, THE HIGHER (MORE STRINGENT) VALUE HAS TO BE USED. INTERPOLATION BETWEEN CELLS IS NOT ALLOWED.

ENCLOSURE CLASSIFICATION:

1. ENCLOSED BUILDING = ALL 4 WALLS FULLY ENCLOSED WITH DOORS/WINDOWS = USE ENCLOSED BUILDING SPACING CHART.
2. OPEN BUILDING = ALL 4 WALLS FULLY OPEN = USE OPEN BUILDING SPACING CHART.
3. 3FT PARTIALLY ENCLOSED = BOTH END-WALLS FULLY OPEN, WITH BOTH SIDE-WALLS ONLY 3FT ENCLOSED = USE OPEN BUILDING SPACING CHART.
4. PARTIALLY ENCLOSED = BOTH END-WALLS FULLY OPEN, WITH BOTH SIDE-WALLS ENCLOSED MORE THAN 3FT = START WITH OPEN BUILDING SPACING CHART AND THEN REDUCE SPACING BY 6".
5. 3 SIDED ENCLOSED = ALL WALLS ARE ENCLOSED EXCEPT FOR 1 END-WALL = START WITH ENCLOSED BUILDING SPACING + THE OPEN END FRAME MUST HAVE EITHER A GABLED END OR HAVE DOUBLED WELDED LEGS & ROOF.
6. FOR ALL SHEATHING ENCLOSURES NOT LISTED ABOVE, REFER TO SHEET 5 FOR SPACING AND DESIGN REQUIREMENTS.

GENERAL NOTES:

1. THE MAX. BUILDING LENGTH FOR ENCLOSED BUILDINGS IS 50'-0". THIS CAN BE INCREASED BY ADDING A DOUBLE FRAME AT THE CENTER TO BREAK THE LENGTH OF THE BUILDING.
2. BUILDINGS WITH PARTIALLY ENCLOSED END WALLS NEED TO HAVE SIDE WALL BRACING TO SUPPORT THE PARTIALLY ENCLOSED END WALL. (SEE FIGURE A ON SHEET 5).
3. ALL BUILDINGS WITH AN OPEN END WALL MUST HAVE A 10'-0" TUBE PEAK BRACE.

TYP. ENCLOSED BUILDING
SCALE: NTSTYP. OPEN BUILDING
SCALE: NTSTYP. OPEN END WALL ON 3
SIDE ENCLOSED BUILDING
SCALE: NTS

MANUFACTURED BY:



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DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS

LOCATION: STATE OF CALIFORNIA

PROJECT NO.: 411-21-3844

SHEET TITLE:

SPACING SCHEDULES
& ENCLOSURE NOTES

SHEET NO.: 4 / 11

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TABLE 5.1: PURLIN SPACING SCHEDULE

GROUND SNOW / ROOF LIVE LOAD (PSF)	14GA. HAT CHANNEL PURLIN							18GA. HAT CHANNEL PURLIN						
	WIND SPEED (MPH)							WIND SPEED (MPH)						
	105	115	130	140	155	165	180	105	115	130	140	155	165	180
30 / 20	54	48	42	36	30	24	24	36	30	24	18	18	12	12
40 / 27	42	42	42	36	30	24	24	30	30	24	18	18	12	12
50 / 34	40	40	40	36	30	24	24	24	24	24	18	18	12	12
60 / 41	36	36	36	36	30	24	24	18	18	18	18	18	12	12
70 / 47	32	32	32	32	30	24	24	18	18	18	18	18	12	12
80 / 54	30	30	30	30	30	24	24	18	18	18	18	18	12	12
90 / 61	24	24	24	24	24	24	24	12	12	12	12	12	12	12
30 / 20	54	48	42	42	36	30	30	48	36	30	24	18	18	12
40 / 27	42	42	42	42	36	30	30	42	36	30	24	18	18	12
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60 / 41	36	36	36	36	36	30	30	30	30	30	24	18	18	12
70 / 47	32	32	32	32	32	30	30	24	24	24	24	18	18	12
80 / 54	32	32	32	32	32	30	30	18	18	18	18	18	18	12
90 / 61	30	30	30	30	30	30	30	18	18	18	18	18	18	12
30 / 20	54	48	42	42	36	36	30	54	48	36	30	24	24	18
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60 / 41	36	36	36	36	36	36	30	36	36	36	36	30	24	18
70 / 47	32	32	32	32	32	32	30	30	30	30	30	30	24	18
80 / 54	32	32	32	32	32	32	30	24	24	24	24	24	24	18
90 / 61	30	30	30	30	30	30	30	24	24	24	24	24	24	18
30 / 20	54	48	42	42	36	36	30	54	48	42	42	36	30	30
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70 / 47	32	32	32	32	32	32	30	32	32	32	32	32	30	30
80 / 54	32	32	32	32	32	32	30	32	32	32	32	32	30	30
90 / 61	30	30	30	30	30	30	30	30	30	30	30	30	30	30
30 / 20	54	48	42	42	36	36	30	54	48	42	42	36	36	30
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70 / 47	32	32	32	32	32	32	30	32	32	32	32	32	32	30
80 / 54	32	32	32	32	32	32	30	32	32	32	32	32	32	30
90 / 61	30	30	30	30	30	30	30	30	30	30	30	30	30	30

NOTES:

- PURLIN SPACING UNITS ARE IN INCHES.
- FRAME SPACING NEEDS TO BE DETERMINED FROM TABLE 4.

IRREGULAR BUILDING NOTES:

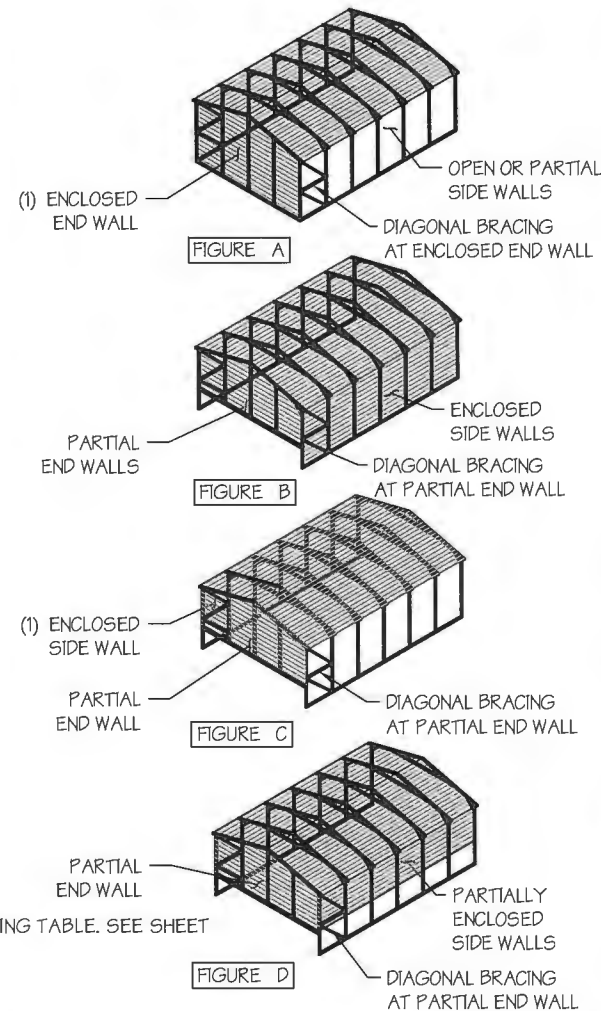
- FIGURES A, B, C & D ON THE RIGHT INDICATE EXAMPLES OF IRREGULAR BUILDINGS.
- FOR IRREGULAR BUILDINGS, FRAME SPACING MUST BE REDUCED BY 6" FROM OPEN BUILDING SPACING TABLE. SEE SHEET 4 FOR OPEN BUILDING TABLE.
- SITE SPECIFICS MAY ALLOW FOR ALTERNATIVE SPACING.
- IRREGULAR BUILDING & BUILDINGS W/ MORE THAN 2 SIDE OPENINGS MUST HAVE A 10' TUBE PEAK BRACE ON ALL FRAMES.

TABLE 5.2: GIRT SPACING SCHEDULE

FRAME SPACING	WIND SPEED (MPH)						
	105	115	130	140	155	165	180
5'-0"	60	48	36	30	24	24	18
4'-6"	60	60	48	42	36	30	24
4'-0"	60	60	54	54	42	36	30
3'-6"	60	60	54	54	48	42	42
2'-0" TO 3'-0"	60	60	54	54	48	42	42

NOTES:

- GIRT SPACING UNITS ARE IN INCHES.
- THIS SCHEDULE IS TO BE USED FOR BOTH 14GA AND 18 GA PURLINS.
- FRAME SPACING NEEDS TO BE DETERMINED FROM TABLE 4.



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DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS

LOCATION: STATE OF CALIFORNIA

PROJECT NO.: 411-21-3844

SHEET TITLE:

PURLIN & GIRT
SPACING SCHEDULES

SHEET NO.: 5 / 11

DRAWN BY: AW DATE: 1/4/22

CHECKED BY: OAA DATE: 1/4/22

LEGAL INFORMATION

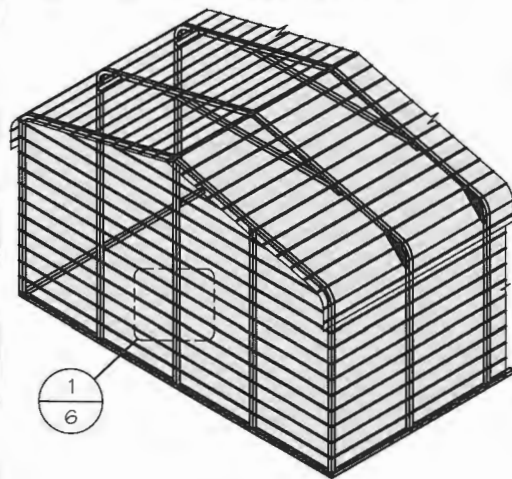
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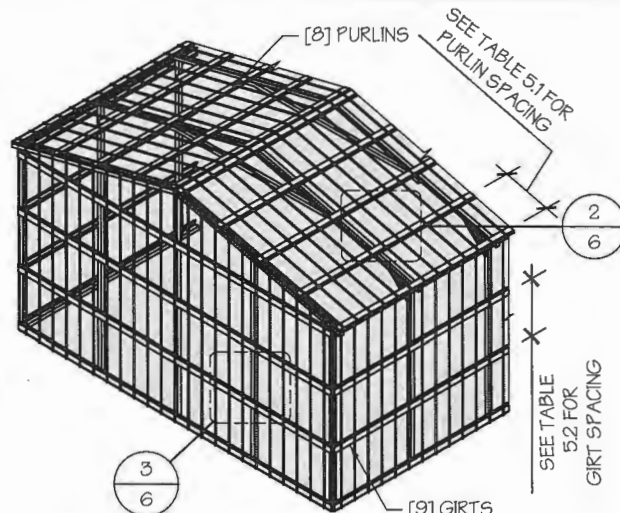


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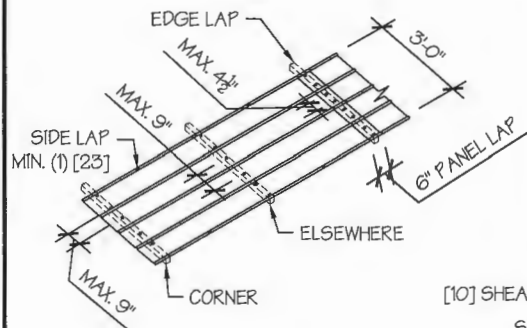
☒ TYP. HORIZONTAL SHEATHING
SCALE: NTS



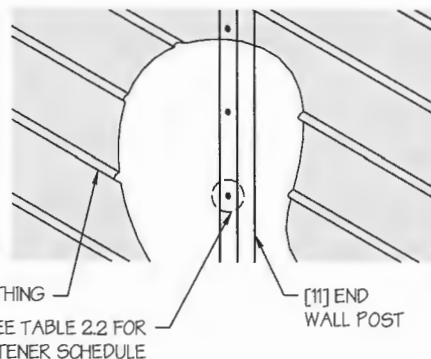
☐ TYP. VERTICAL SHEATHING
SCALE: NTS

GENERAL SHEATHING NOTES:

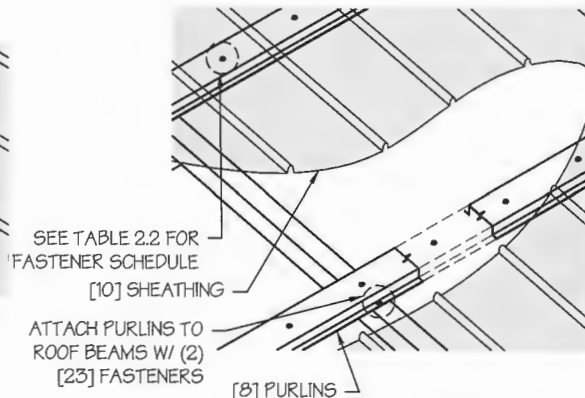
1. REGULAR STYLE BUILDINGS CAN ONLY HAVE HORIZONTAL SHEATHING ON ROOF AND WALLS.
2. A-FRAME STYLE BUILDINGS CAN HAVE ANY COMBINATION OF HORIZONTAL OR VERTICAL SHEATHING ON ROOFS AND WALLS.
3. BOTH HORIZONTAL AND VERTICALS ROOF SHEATHING CAN HAVE MAX. 6" OVERHANG.
4. USING VERTICAL SHEATHING MAY ALLOW FOR GREATER FRAME SPACING. SEE NOTE 2 UNDER TABLE 4.
5. VERTICAL SHEATHING RECOMMENDED FOR BUILDINGS 30' OR LONGER



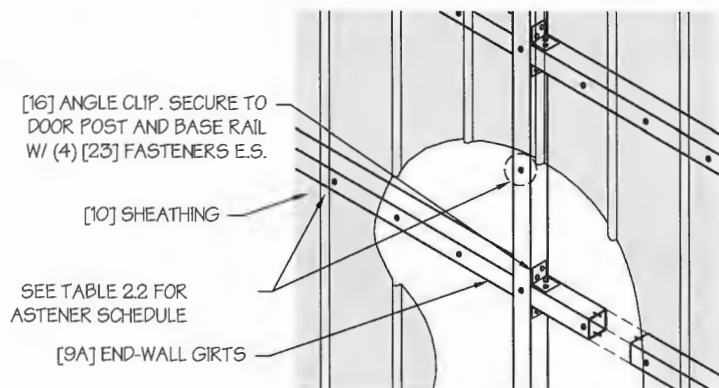
TYP. SHEATHING FASTENER SCHEDULE
SCALE: NTS



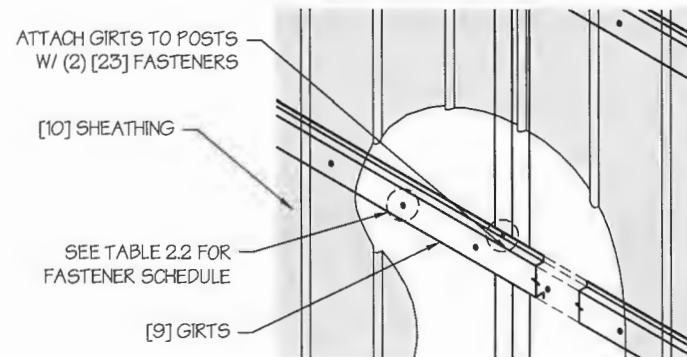
TYP. HORIZONTAL SHEATHING DETAIL
SCALE: NTS



ROOF VERTICAL SHEATHING DETAIL
SCALE: NTS



☐ WALL VERTICAL SHEATHING - TUBE DETAIL
SCALE: NTS



☐ WALL VERTICAL SHEATHING - HAT CHANNEL DETAIL
SCALE: NTS

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DRAWING INFORMATION

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LOCATION: STATE OF CALIFORNIA
PROJECT NO.: 411-21-3844
SHEET TITLE:

SHEATHING OPTIONS & DETAILS

SHEET NO.: 6 / 11

DRAWN BY: AW DATE: 1/4/22
CHECKED BY: OAA DATE: 1/4/22

LEGAL INFORMATION

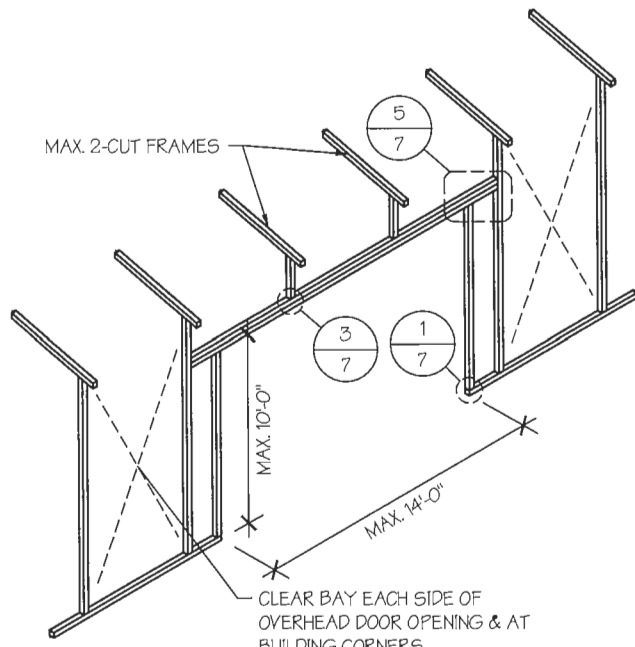
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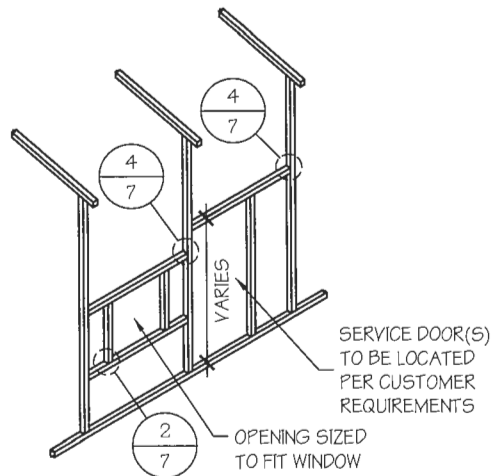
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☐ SIDE WALL OVERHEAD DOOR OPENINGS

SCALE: NTS

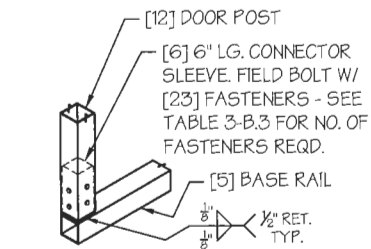


✕ SIDE WALL SERVICE DOOR / WINDOW OPENINGS

SCALE: NTS

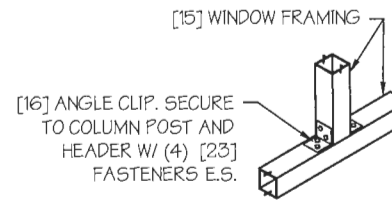
SIDE WALL FRAMING NOTES:

1. DESIGNS AND DETAILS SHOWN HERE ARE APPLICABLE TO BOTH REGULAR AND A-FRAME STYLE BUILDINGS.
2. MAX. HEIGHT OF SIDE WALL OVERHEAD DOOR OPENINGS IS 2 FT LESS THAN THE EAVE HEIGHT.
3. OVERHEAD DOOR OPENINGS CANNOT CUT THROUGH MORE THAN 2 FULL FRAMES.
4. MIN. 1 CLEAR BAY MUST BE MAINTAINED BETWEEN ANY 2 OVERHEAD DOOR OPENINGS. A CLEAR BAY IS A SPACE BETWEEN TWO FRAMES THAT HAS NO OVERHEAD DOOR OPENINGS.
5. MIN. 1 CLEAR BAY MUST ALSO BE MAINTAINED FROM THE BUILDING CORNERS.
6. SERVICE DOORS AND WINDOWS CAN BE PLACED IN CLEAR BAYS OR ANY WHERE ELSE AS NEEDED.



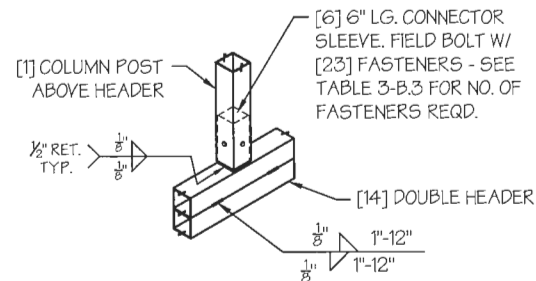
DOOR POST BOT. CONN. DETAIL

SCALE: NTS



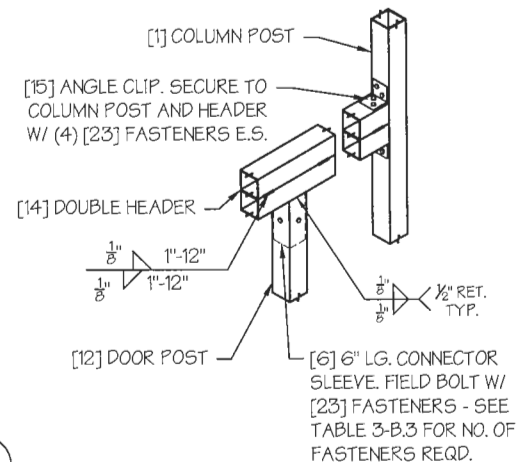
TYP. WINDOW FRAMING CONN. DETAIL

SCALE: NTS



COLUMN POST ABOVE DOOR HEADER CONN. DETAIL

SCALE: NTS



TYP. SERVICE DOOR / WINDOW FRAMING CONN. DETAIL

SCALE: NTS

COLUMN POST ABOVE DOOR HEADER CONN. DETAIL

SCALE: NTS

MANUFACTURED BY:



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DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS

LOCATION: STATE OF CALIFORNIA

PROJECT NO.: 411-21-3844

SHEET TITLE:

SIDE WALL FRAMING
& OPENINGS

SHEET NO.: 7 / 11

DRAWN BY: AW DATE: 1/4/22

CHECKED BY: OAA DATE: 1/4/22

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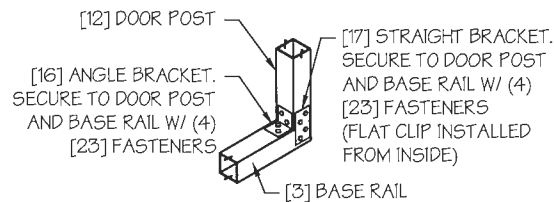
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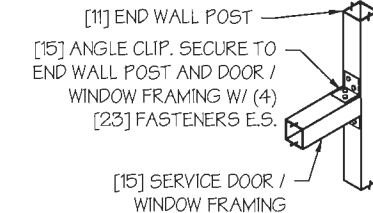
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DOOR POST BASE RAIL CONN. DETAIL

SCALE: NTS

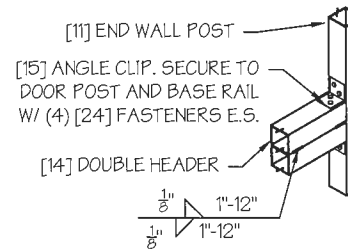
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TYP. SERVICE DOOR / WINDOW FRAMING CONN. DETAIL

SCALE: NTS

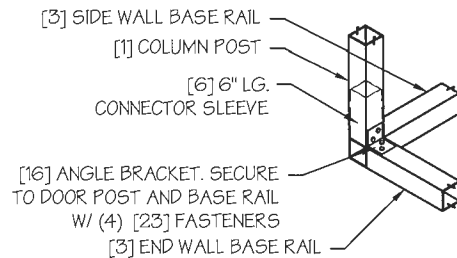
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DOUBLE HEADER - END WALL POST CONN. DETAIL

SCALE: NTS

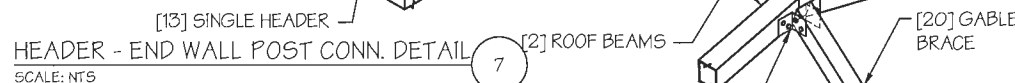
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CORNER DETAIL

SCALE: NTS

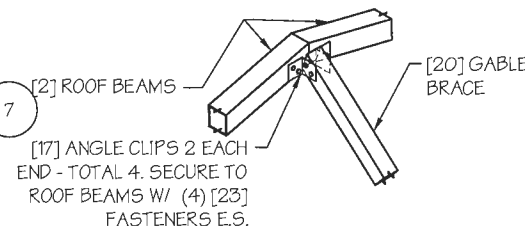
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HEADER - END WALL POST CONN. DETAIL

SCALE: NTS

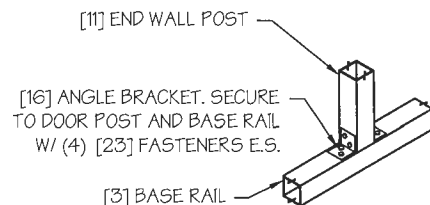
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TYP. GABLE BRACE CONN. DETAIL

SCALE: NTS

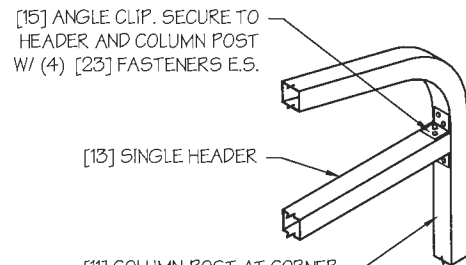
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END WALL POST - BASE RAIL CONN. DETAIL

SCALE: NTS

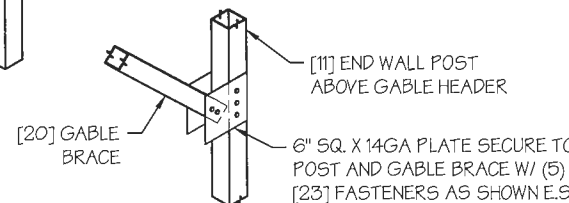
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GABLE HEADER - CORNER POST CONN. DETAIL

SCALE: NTS

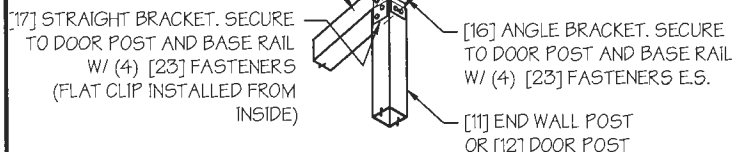
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GABLE BRACE - END WALL CONN. DETAIL

SCALE: NTS

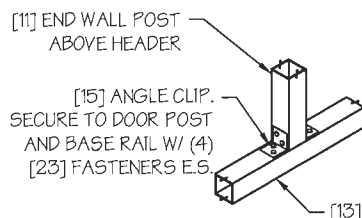
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END WALL POST - ROOF BEAM CONN. DETAIL

SCALE: NTS

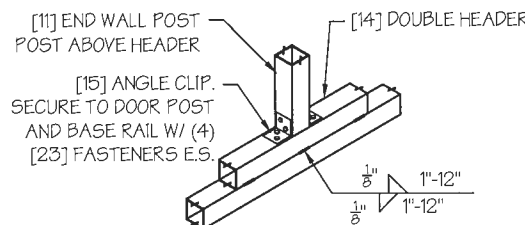
4



END WALL POST ABOVE HEADER CONN. DETAIL

SCALE: NTS

5



END WALL POST ABOVE DOUBLE HEADER CONN. DETAIL

SCALE: NTS

9

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Tel. 419-292-1983 • Fax. 419-292-0955
www.a-a-engineers.com

DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS

LOCATION: STATE OF CALIFORNIA

PROJECT NO.: 411-21-3844

SHEET TITLE:

END WALL FRAMING
DETAILS

SHEET NO.: 8-B / 11

DRAWN BY: AW DATE: 1/4/22

CHECKED BY: OAA DATE: 1/4/22

LEGAL INFORMATION

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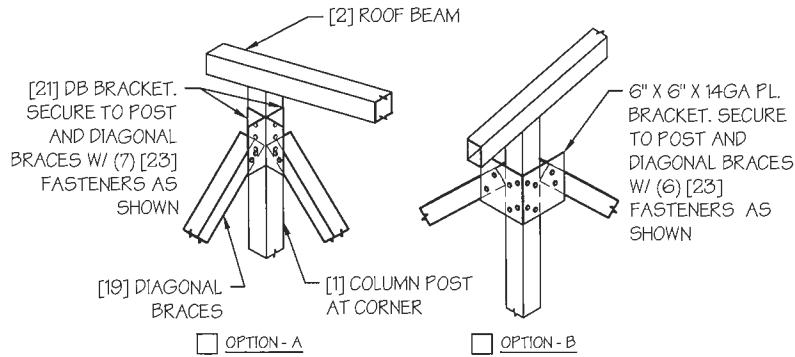
SEAL:



STAMP EXPIRY: 12-31-2022

DATE SIGNED: 01-07-2022

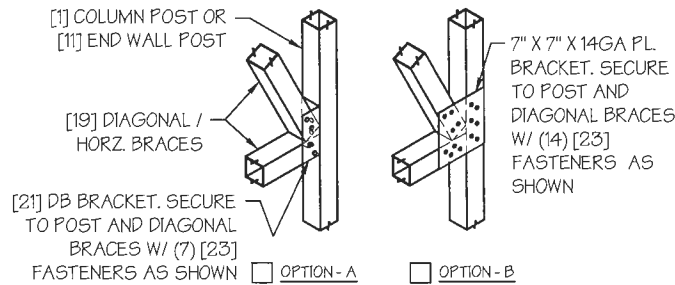
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DIAGONAL BRACE TOP CORNER CONN. DETAIL*

SCALE: NTS

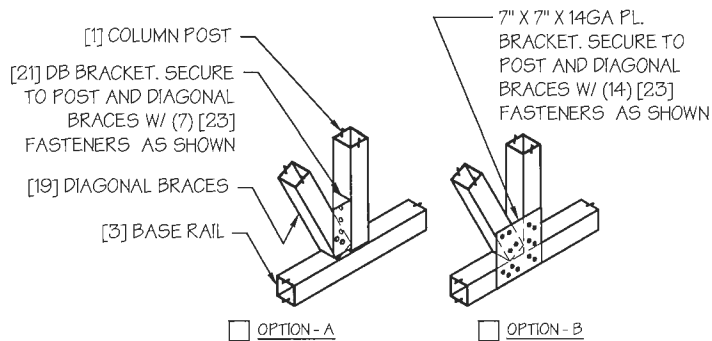
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DIAGONAL BRACE - POST CONN. DETAIL*

SCALE: NTS

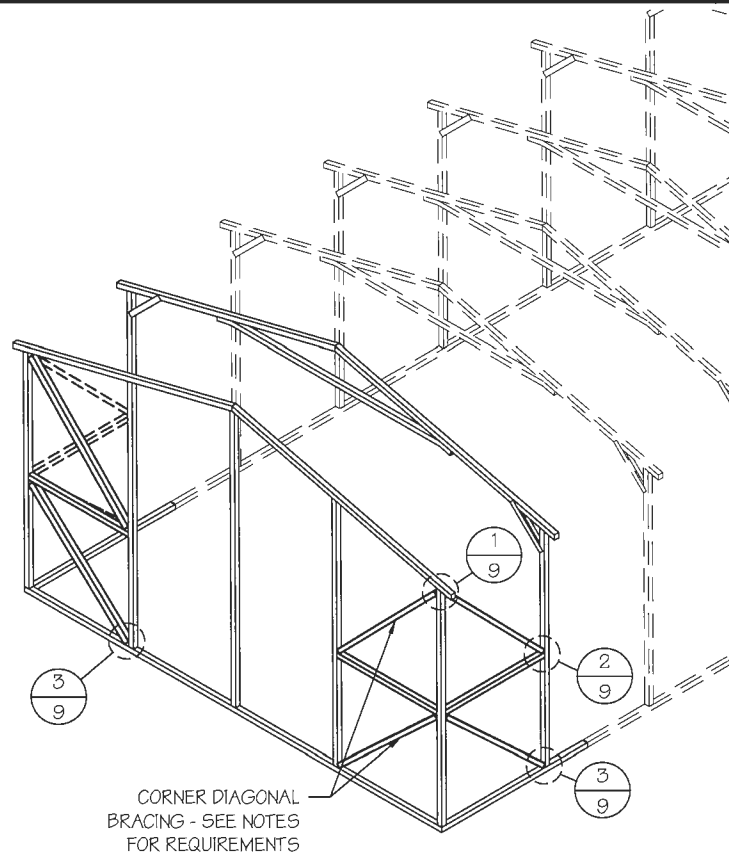
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DIAGONAL BRACE BOT. CORNER CONN. DETAIL*

SCALE: NTS

3



DIAGONAL BRACING AT CORNERS

SCALE: NTS

CORNER BRACING NOTES:

- DIAGONAL BRACING AT BUILDING CORNERS IS REQUIRED FOR ALL BUILDINGS IN LOCATIONS WHERE WIND SPEED IS 140 MPH OR GREATER.
 - FOR 3 SIDED ENCLOSED BUILDINGS 140 MPH OR GREATER WIND SPEED - THE BUILDING MUST BE DESIGNED WITH OPEN BUILDING SPACING AND DIAGONAL BRACING IS REQUIRED ON ALL ENCLOSED WALLS.
- SIDE-WALL DIAGONAL BRACING IS REQUIRED WHEN THE ADJACENT END-WALL IS PARTIALLY ENCLOSED.
- ALL BUILDINGS WITH IRREGULAR ENCLOSURE (SEE SHEET 5) WILL REQUIRE SIDE-WALL BRACING CLOSE TO THE PARTIALLY ENCLOSED END-WALL.

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DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS

LOCATION: STATE OF CALIFORNIA

PROJECT NO.: 411-21-3844

SHEET TITLE:

CORNER BRACING
DETAILS

SHEET NO.: 9 / 11

DRAWN BY: AW DATE: 1/4/22

CHECKED BY: OAA DATE: 1/4/22

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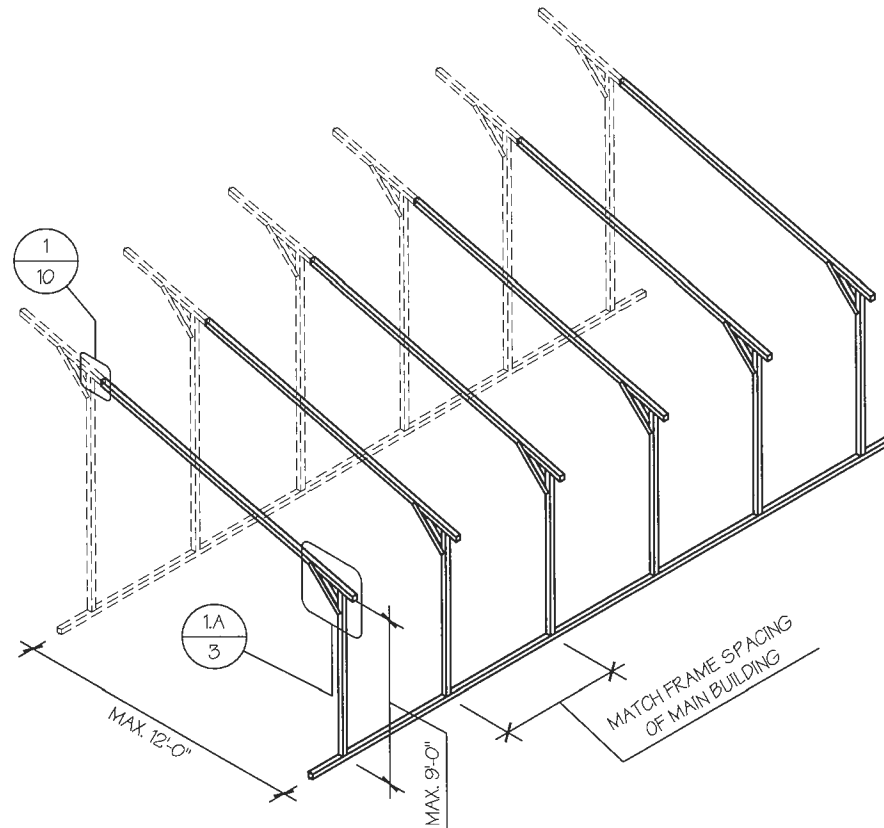


STAMP EXPIRY: 12-31-2022

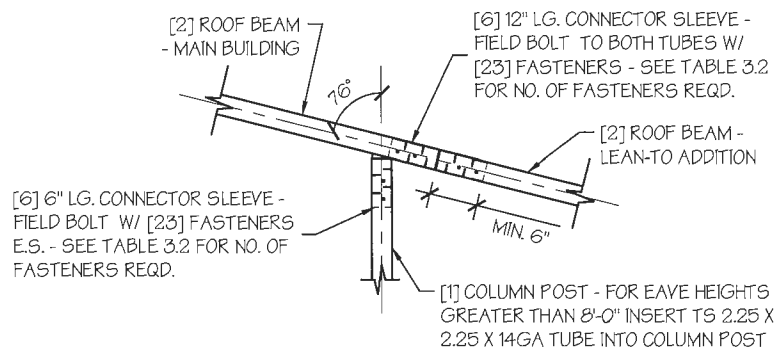
DATE SIGNED: 01-07-2022

* INSIDE VIEW SHOWN FOR CLARITY

n/a



☐ **OPTIONAL LEAN-TO ADDITION**
SCALE: NTS



LEAN-TO ATTACHMENT DETAIL
SCALE: NTS

1

LEAN-TO ADDITION NOTES:

1. LEAN-TO ADDITIONS CAN BE ADDED ON EITHER OR BOTH SIDES OF THE BUILDING.
2. ROOF SLOPE, PURLIN, GIRT AND FRAME SPACING OF THE ADDITION HAVE TO MATCH THAT OF THE MAIN STRUCTURE.
3. IF THE LEAN-TO ADDITION IS "OPEN" (BOTH END WALLS OR SIDE WALL IS NOT ENCLOSED), THE DESIGN OF THE MAIN BUILDING HAS TO USE THE FRAME SPACING OF AN OPEN BUILDING FROM TABLE 4.

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DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS

LOCATION: STATE OF CALIFORNIA

PROJECT NO.: 411-21-3844

SHEET NO.:

**OPTIONAL LEAN-TO
ADDITION**

SHEET NO.: 10 / 11

DRAWN BY: AW DATE: 1/4/22

CHECKED BY: OAA DATE: 1/4/22

LEGAL INFORMATION

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- DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE.

SEAL:

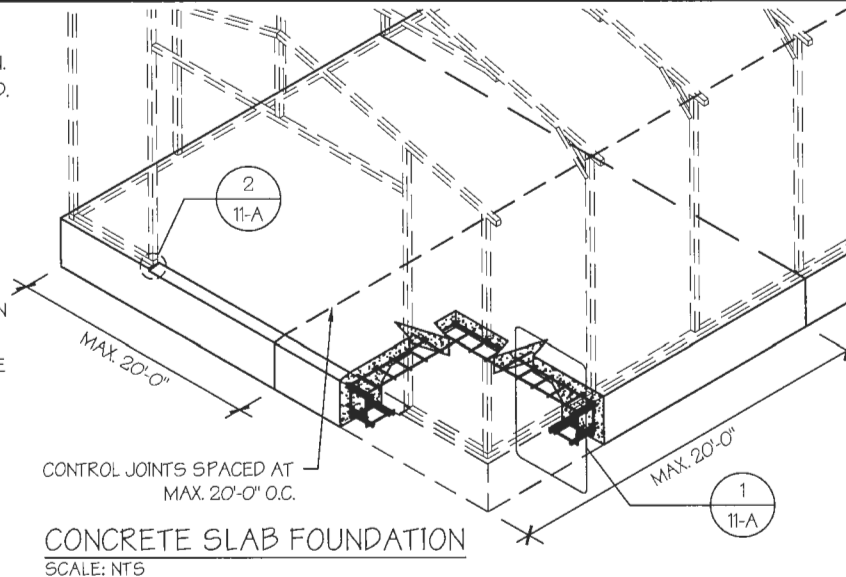


STAMP EXPIRY: **12-31-2022**

DATE SIGNED: **01-07-2022**

CONCRETE SLAB FOUNDATION NOTES:

- DESIGNS SHOWN ON THIS SHEET ARE FOR CONCRETE SLAB FOUNDATION. ANY OF THE FOUNDATIONS SHOWN ON SHEETS 11-A THRU C CAN BE USED.
- CONCRETE ANCHORS SHALL BE LOCATED NEXT TO EVERY POST AND ON EITHER SIDE OF OPENINGS. TWO ANCHORS SHALL BE INSTALLED AT CORNERS OF ENCLOSED BUILDINGS WITH END WALLS - ONE ON EACH BASE RAIL. IN LOCATIONS REQUIRING TWO ANCHORS DUE TO WIND, ONE ANCHOR IS TO BE ON EACH SIDE OF THE COLUMN POST.
- ANCHORS IN CLOSE PROXIMITY TO EACH OTHER MUST HAVE A MIN. 4" SPACING.
- MIN. NUMBER OF CONCRETE ANCHORS PER POST SHALL BE AS SHOWN IN TABLE 11-A.2.
- THE SIZE OF THE SLAB SHALL BE THE SIZE (WIDTH AND LENGTH) OF THE BUILDING PLUS $5\frac{1}{2}$ " FOR 14GA MATERIAL AND $5\frac{3}{4}$ " FOR 12GA MATERIAL.
- DEPTH OF SLAB TURN DOWN FOOTING SHALL BE GREATER THAN FROST DEPTH SPECIFIED PER LOCAL CODE.
- CONTROL JOINTS SHALL BE PLACED SO AS TO LIMIT MAX. SLAB SPANS TO 20' IN EACH DIRECTION.
- ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.
- CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI @ 28 DAYS.



CONCRETE SLAB FOUNDATION
SCALE: NTS

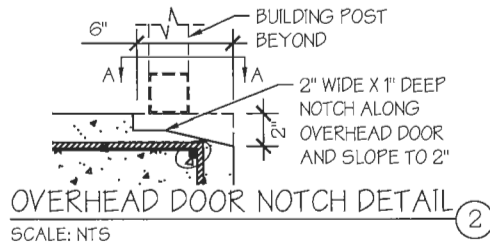


TABLE 11-A.2: CONCRETE
SLAB ANCHOR SCHEDULE

ENCLOSURE	WIND SPEED (MPH)	ANCHOR SIZE/NUMBER
ENCLOSED	105 TO 135	(1) 1/2"Ø X 7"
	136 TO 180	(2) 1/2"Ø X 7"
OPEN	105 TO 135	(1) 1/2"Ø X 7"
	136 TO 180	(2) 1/2"Ø X 7"

NOTES:

- ANCHORS ARE TO BE CONCRETE WEDGE OR EXPANSION ANCHORS.
- MIN. EMBEDMENT DEPTH TO BE $2\frac{7}{8}$ ".
- ANCHORS TO BE SPACED NO MORE THAN 6" FROM POSTS.

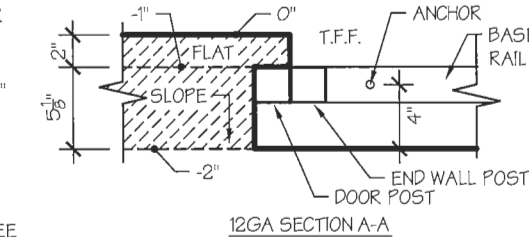
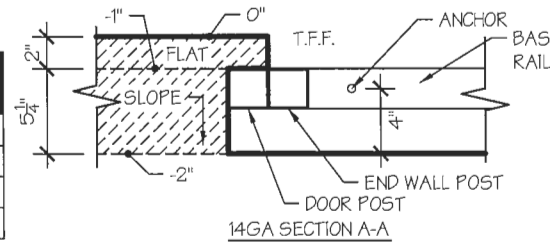
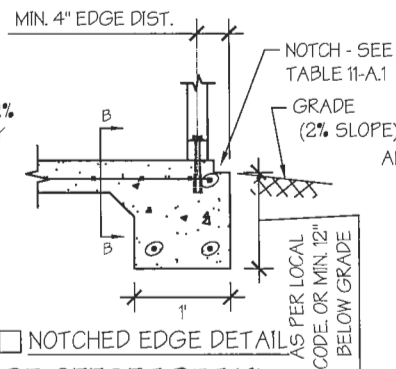
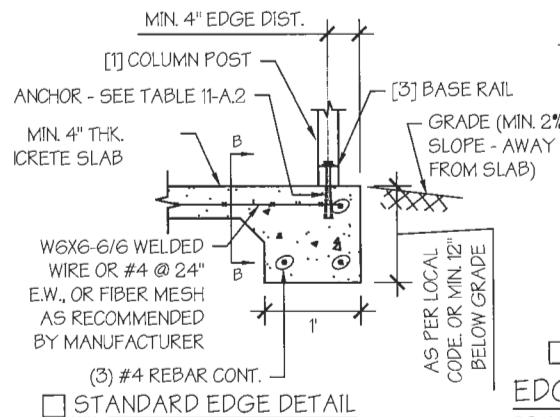


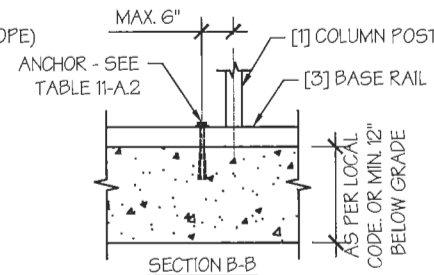
TABLE 11-A.1: NOTCH WIDTH

HORIZONTAL/OPEN		VERTICAL	
14GA	12GA	14GA	12GA
2 3/4"	2 7/8"	1 3/4"	1 7/8"

NOTE: DEPTH IS TO BE 1 1/2"



EDGE OFFSET DETAIL
SCALE: NTS



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DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS

LOCATION: STATE OF CALIFORNIA

PROJECT NO.: 411-21-3844

SHEET TITLE:

FOUNDATION OPTION 1:
CONCRETE SLAB

SHEET NO.: 11-A / 11

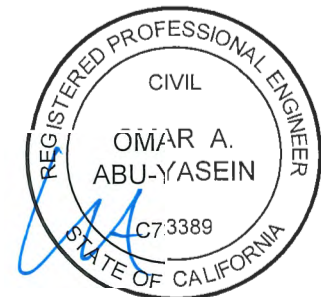
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CHECKED BY: OAA DATE: 1/4/22

LEGAL INFORMATION

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SEAL:



STAMP EXPIRY: 12-31-2022

DATE SIGNED: 01-07-2022

CONCRETE SLAB FOUNDATION NOTES:

- DESIGNS SHOWN ON THIS SHEET ARE FOR CONCRETE SLAB FOUNDATION. ANY OF THE FOUNDATIONS SHOWN ON SHEETS 11-A THRU C CAN BE USED.
- CONCRETE ANCHORS SHALL BE LOCATED NEXT TO EVERY POST AND ON EITHER SIDE OF OPENINGS. TWO ANCHORS SHALL BE INSTALLED AT CORNERS OF ENCLOSED BUILDINGS WITH END WALLS - ONE ON EACH BASE RAIL. IN LOCATIONS REQUIRING TWO ANCHORS DUE TO WIND, ONE ANCHOR IS TO BE ON EACH SIDE OF THE COLUMN POST.
- ANCHORS IN CLOSE PROXIMITY TO EACH OTHER MUST HAVE A MIN. 4" SPACING.
- MIN. NUMBER OF CONCRETE ANCHORS PER POST SHALL BE AS SHOWN IN TABLE 11-A.1.
- THE SIZE OF THE SLAB SHALL BE THE SIZE (WIDTH AND LENGTH) OF THE BUILDING PLUS $\frac{1}{2}$ " FOR 14GA MATERIAL AND 1" FOR 12GA MATERIAL.
- DEPTH OF SLAB TURN DOWN FOOTING SHALL BE GREATER THAN FROST DEPTH SPECIFIED PER LOCAL CODE.
- CONTROL JOINTS SHALL BE PLACED SO AS TO LIMIT MAX. SLAB SPANS TO 20' IN EACH DIRECTION.
- ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.
- CONCRETE STRENGTH TO BE A MIN OF 2500 PSI @ 28 DAYS.

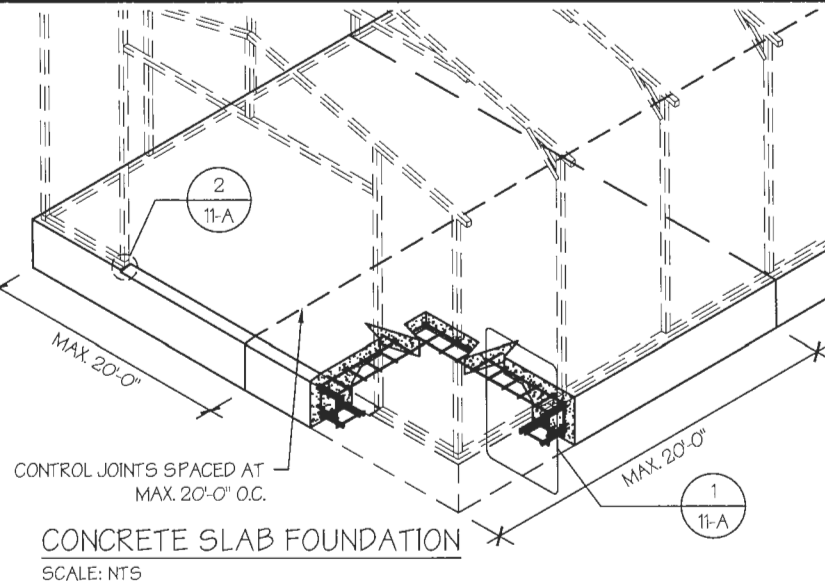
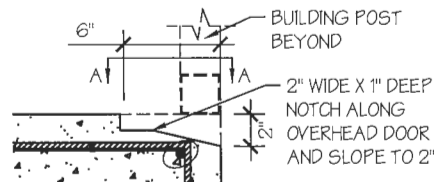


TABLE 11-A.1: CONCRETE SLAB ANCHOR SCHEDULE

ENCLOSURE	WIND SPEED (MPH)	ANCHOR SIZE/NUMBER
ENCLOSED	105 TO 135	(1) 1/2" Ø X 7"
	136 TO 180	(2) 1/2" Ø X 7"
OPEN	105 TO 135	(1) 1/2" Ø X 7"
	136 TO 180	(2) 1/2" Ø X 7"

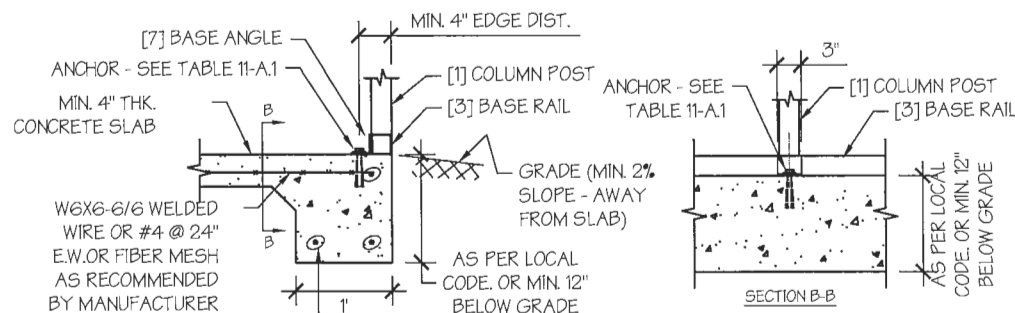
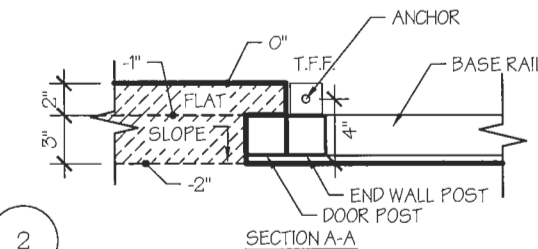
NOTES:

- ANCHORS ARE TO BE CONCRETE WEDGE OR EXPANSION ANCHORS.
- MIN. EMBEDMENT DEPTH TO BE $2\frac{7}{8}$ ".
- ANCHORS TO BE SPACED NO MORE THAN 6" FROM POSTS.



OVERHEAD DOOR NOTCH DETAIL

SCALE: NTS



SCALE: NTS

MANUFACTURED BY:



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Tel. 419-292-1983 • Fax. 419-292-0955
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DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS

LOCATION: STATE OF CALIFORNIA

PROJECT NO.: 411-21-3844

SHEET TITLE:

FOUNDATION OPTION 1:
CONCRETE SLAB

SHEET NO.: 11-A / 11

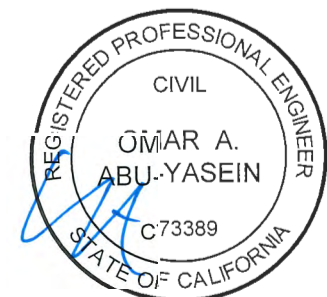
DRAWN BY: AW DATE: 1/4/22

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LEGAL INFORMATION

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SEAL:



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DATE SIGNED: 01-07-2022

TABLE 11-B.1: ANCHOR SCHEDULE

ENCLOSURE	WIND SPEED (MPH)	ANCHOR SIZE/NUMBER
ENCLOSED	105 TO 135	(1) 1/2" Ø X 7"
	136 TO 180	(2) 1/2" Ø X 7"
OPEN	105 TO 135	(1) 1/2" Ø X 7"
	136 TO 180	(2) 1/2" Ø X 7"

NOTES:

1. ANCHORS ARE TO BE CONCRETE WEDGE OR EXPANSION ANCHORS.
2. MIN. EMBEDMENT DEPTH TO BE 2 $\frac{7}{8}$ ".
3. ANCHORS TO BE SPACED NO MORE THAN 6" FROM POSTS.

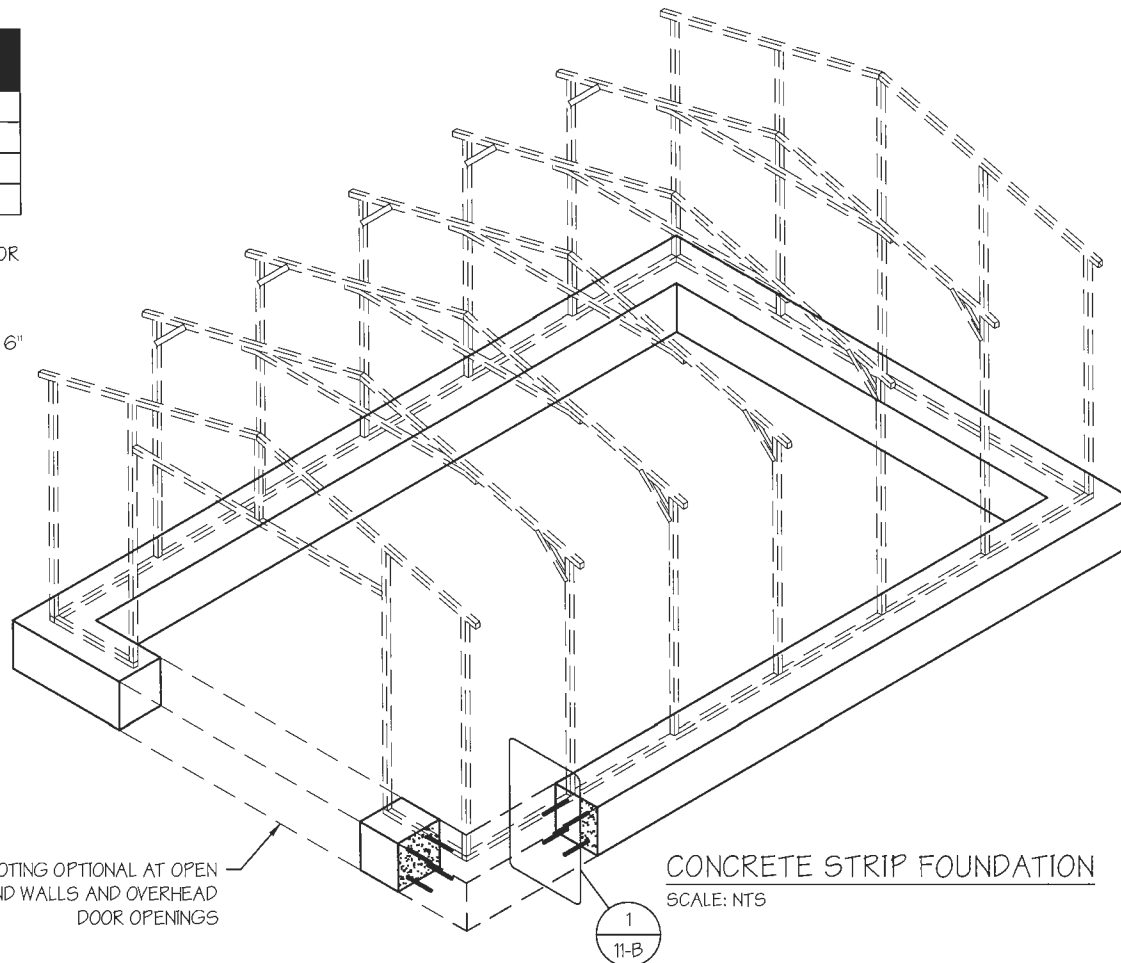
TABLE 11-B.2: CONC. STRIP SCHEDULE

WIND SPEED (MPH)	MIN. SIZE REQD.
105 TO 130	12" X 12"
140 TO 155	18" X 12"
165 TO 180	26" X 12"
	21" X 15"
	18" X 18"

NOTES:

1. WIDTH AND DEPTH DIMENSIONS CAN BE INTERCHANGED.

FOOTING OPTIONAL AT OPEN
END WALLS AND OVERHEAD
DOOR OPENINGS

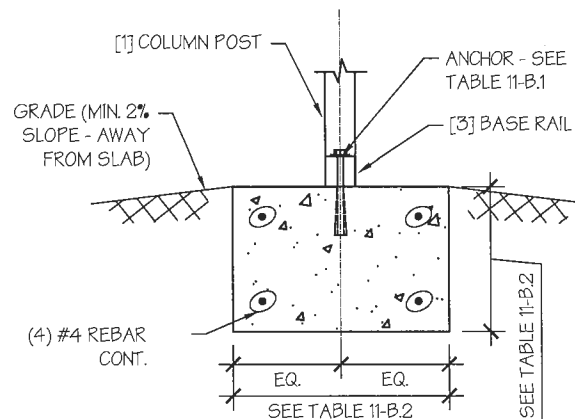


CONCRETE STRIP FOUNDATION

SCALE: NTS

CONCRETE STRIP FOUNDATION NOTES:

1. DESIGNS SHOWN ON THIS SHEET ARE FOR CONCRETE STRIP FOUNDATION. ANY OF THE FOUNDATIONS SHOWN ON SHEETS 11-A THRU C CAN BE USED.
2. CONCRETE ANCHORS SHALL BE LOCATED NEXT TO EVERY POST AND ON EITHER SIDE OF OPENINGS. TWO ANCHORS SHALL BE INSTALLED AT CORNERS OF ENCLOSED BUILDINGS WITH END WALLS - ONE ON EACH BASE RAIL. IN LOCATIONS REQUIRING TWO ANCHORS DUE TO WIND, ONE ANCHOR IS TO BE ON EACH SIDE OF THE COLUMN POST.
3. MIN. NUMBER OF CONCRETE ANCHORS PER POST SHALL BE AS SHOWN IN TABLE 11-B.1.
4. ANCHORS IN CLOSE PROXIMITY TO EACH OTHER MUST HAVE A MIN. 4" SPACING.
5. DEPTH OF CONCRETE STRIP FOOTING SHALL BE GREATER THAN FROST DEPTH SPECIFIED PER LOCAL CODE.
6. ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.
7. CONCRETE STRENGTH TO BE A MIN OF 2500 PSI @ 28 DAYS.
8. BUILDING IS TO BE MOUNTED ON THE CENTER OF THE STRIP FOUNDATION.



CONCRETE STRIP FOUNDATION DETAIL

SCALE: NTS

MANUFACTURED BY:



ENGINEERED BY:



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DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS

LOCATION: STATE OF CALIFORNIA

PROJECT NO.: 411-21-3844

SHEET TITLE:

FOUNDATION OPTION 2:
CONCRETE STRIP

SHEET NO.: 11-B / 11

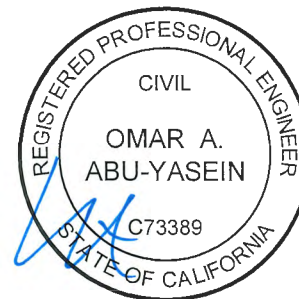
DRAWN BY: AW DATE: 1/4/22

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LEGAL INFORMATION

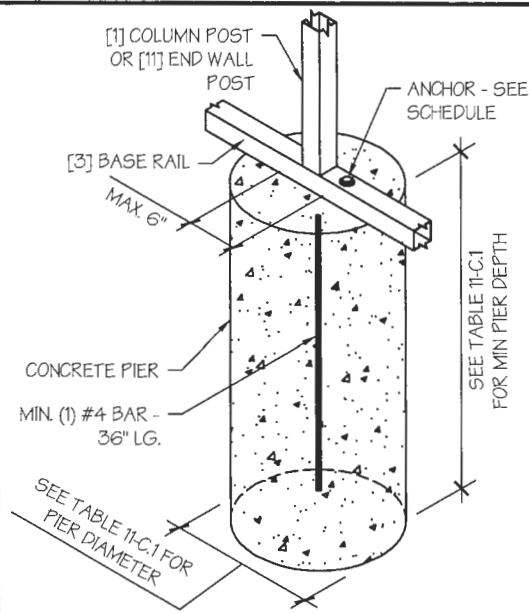
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- DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE.

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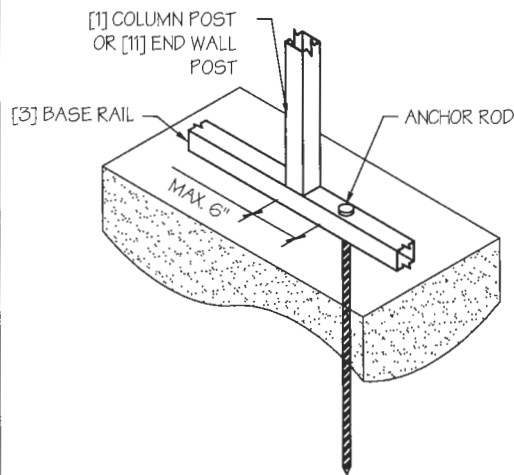
STAMP EXPIRY: 12-31-2022

DATE SIGNED: 01-07-2022



CONCRETE PIER DETAIL

SCALE: NTS

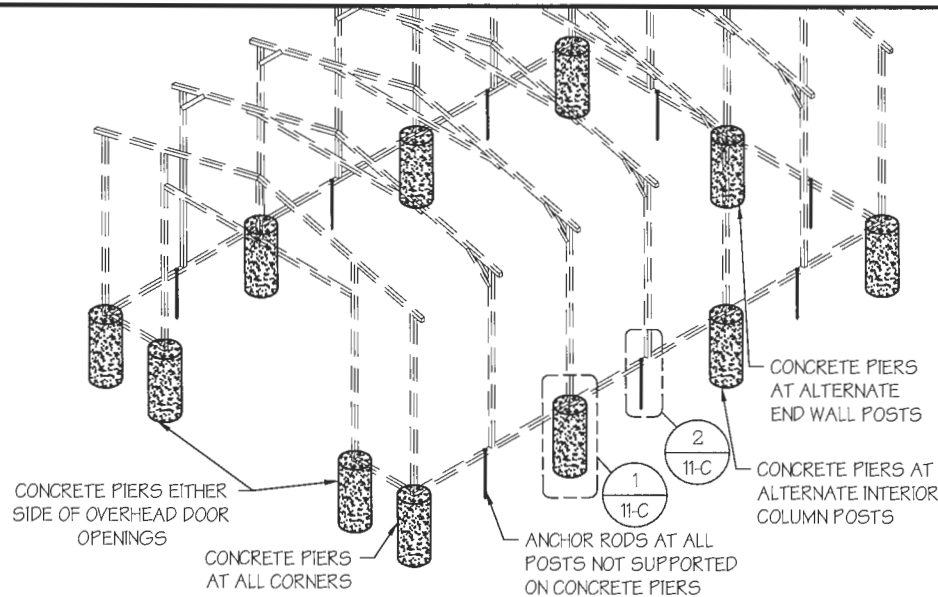


ANCHOR ROD INTO SOIL DETAIL

SCALE: NTS

TABLE 11-C.1: CONC. PIER SCHEDULE

WIND SPEED (MPH)	MIN. SIZE REQD.
105 TO 130	18"Ø X 36"
140 TO 155	18"Ø X 42"
165 TO 180	18"Ø X 48"



CONCRETE PIER FOUNDATION

SCALE: NTS

CONCRETE PIER FOUNDATION NOTES:

- DESIGNS SHOWN ON THIS SHEET ARE FOR CONCRETE PIER FOUNDATION. ANY OF THE FOUNDATIONS SHOWN ON SHEETS 11-A THRU C CAN BE USED.
- CONCRETE PIERS SHALL BE LOCATED AT ALL 4 CORNERS, ON EACH SIDE OF OVERHEAD DOOR OPENINGS AND ON ALTERNATE INTERIOR COLUMN POSTS AND END WALLS POSTS.
- TWO ANCHORS SHALL BE INSTALLED AT CORNERS OF ENCLOSED BUILDINGS WITH END WALLS - ONE ON EACH BASE RAIL. IN LOCATIONS REQUIRING TWO ANCHORS DUE TO WIND, ONE ANCHOR IS TO BE ON EACH SIDE OF THE COLUMN POST WITH A PIER.
- ANCHORS IN CLOSE PROXIMITY TO EACH OTHER MUST HAVE A MIN. 4" SPACING.
- MIN. NUMBER OF CONCRETE ANCHORS PER POST WITH A PIER SHALL BE AS SHOWN IN TABLE 11-C.2.
- TWO ANCHORS AND A PIER ARE REQUIRED AT DIAGONAL BRACING LOCATIONS WHEN REQUIRED.
- ALL POSTS NOT SUPPORTED ON CONCRETE PIERS SHALL BE ANCHORED TO THE GROUND WITH A 1/2" X 30" LG. THREADED ROD. RODS WILL HAVE A PRE-FORMED HEAD AT THE TOP AND ONE COAT OF RUST PROOF MATERIAL.
- PIERS SHALL BE FORMED BY DIGGING A HOLE OF THE SAME SIZE AS THE PIER ON LEVEL GRADE AND FILLING IT WITH CONCRETE. THRD. ROD ANCHORS SHOULD BE DROPPED INTO THE PIERS PRIOR TO POURING THE CONCRETE.
- ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.
- CONCRETE STRENGTH TO BE A MIN OF 2500 PSI @ 28 DAYS.

TABLE 11-C.2: ANCHOR SCHEDULE

ENCLOSURE	WIND SPEED (MPH)	ANCHOR SIZE/NUMBER
ENCLOSED	105 TO 135	(1) 1/2"Ø X 7"
	136 TO 180	(2) 1/2"Ø X 7"
OPEN	105 TO 135	(1) 1/2"Ø X 7"
	136 TO 180	(2) 1/2"Ø X 7"

NOTES:

- ANCHORS ARE TO BE CONCRETE WEDGE OR EXPANSION ANCHORS.
- MIN. EMBEDMENT DEPTH TO BE 2 3/8".
- ANCHORS TO BE SPACED NO MORE THAN 6" FROM POSTS.

MANUFACTURED BY:



ENGINEERED BY:



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DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS

LOCATION: STATE OF CALIFORNIA

PROJECT NO.: 411-21-3844

SHEET TITLE:

**FOUNDATION OPTION 3:
CONCRETE PIERS**

SHEET NO.: 11-C / 11

DRAWN BY: AW

DATE: 1/4/22

CHECKED BY: OAA

DATE: 1/4/22

LEGAL INFORMATION

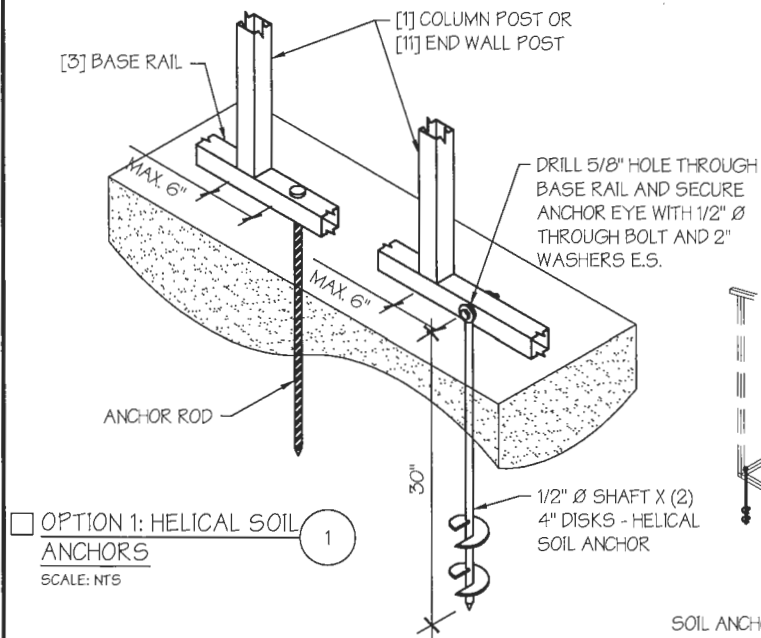
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- DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE.

SEAL:

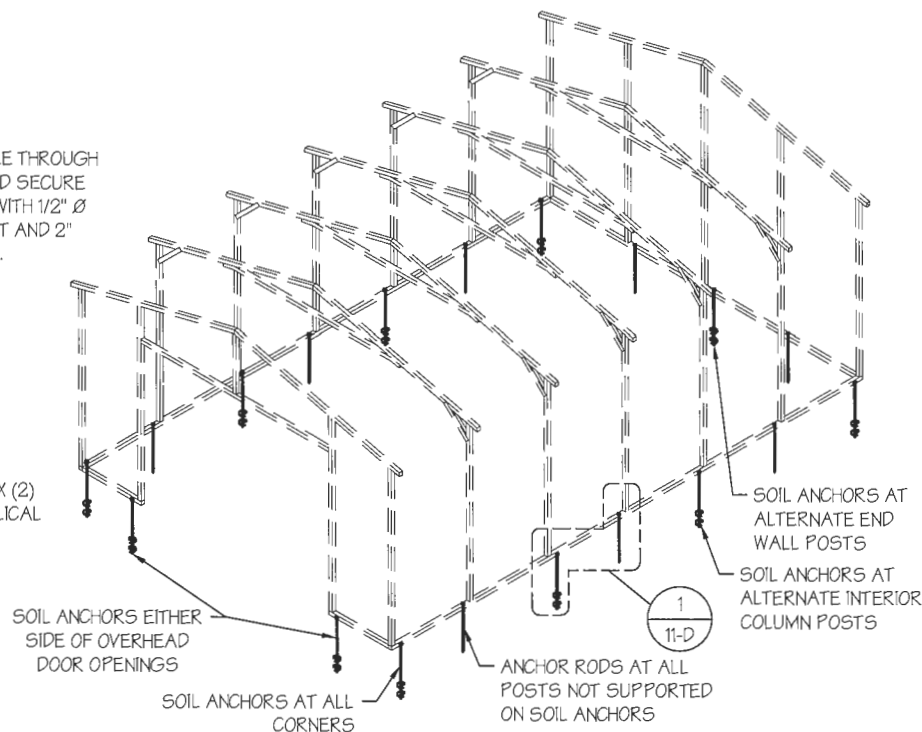


STAMP EXPIRY: **12-31-2022**

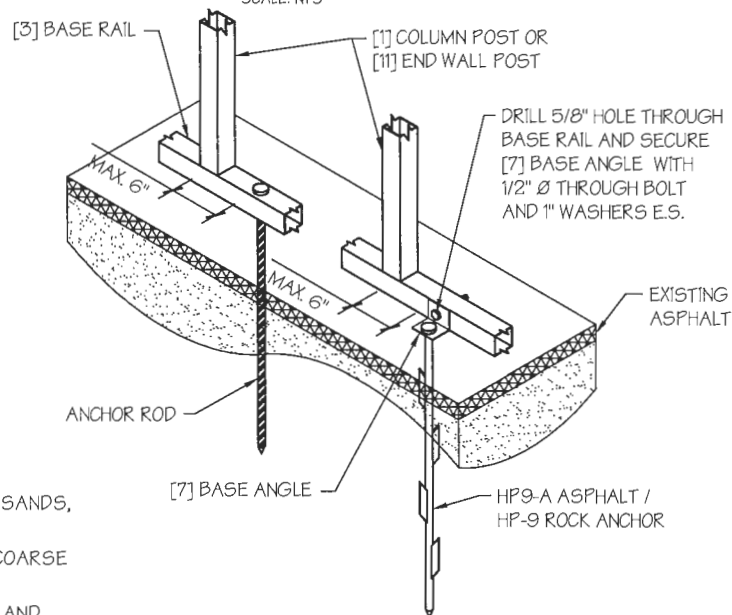
DATE SIGNED: **01-07-2022**



☐ **OPTION 1: HELICAL SOIL ANCHORS**
SCALE: NTS



SOIL FOUNDATION
SCALE: NTS



☐ **OPTION 2: ROCK / ASPHALT ANCHORS**
SCALE: NTS

SOIL FOUNDATION NOTES:

- DESIGNS SHOWN ON THIS SHEET ARE FOR SOIL ANCHOR FOUNDATION.
- SOIL ANCHORS (HELICAL OR ROCK/ASPALT) SHALL BE LOCATED AT ALL 4 CORNERS, ON EACH SIDE OF OVERHEAD DOOR OPENINGS, ON POSTS WITH DIAGONAL BRACING IF REQUIRED, AND ON ALTERNATE INTERIOR COLUMN POSTS AND END WALLS POSTS.
- HELICAL ANCHORS ARE TO BE USED ONLY IF THE DRIVING TORQUE INTO THE GROUND IS 150 FT-LBS OR GREATER. MANUFACTURER IS NOT RESPONSIBLE FOR SOIL QUALITY AT SITE.
- HELICAL ANCHORS CAN ONLY BE USED FOR CLASS 2, 3 & 4 SOILS (SEE SOIL CLASSIFICATIONS THIS PAGE).
- ALL POSTS WITH NO ANCHORS ADJACENT SHALL BE ANCHORED TO THE GROUND WITH A 1/2" X 30" LG. ROD. RODS WILL HAVE A PRE-FORMED HEAD AT THE TOP AND ONE COAT OF RUST PROOF MATERIAL.
- ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.

SOIL CLASSIFICATIONS:

SOIL CLASS	DESCRIPTION
2	SANDY GRAVEL AND GRAVEL, VERY THIN DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL/COBBLES, PRELOADED SILTS, CLAYS AND CORAL.
3	SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, MEDIUM DENSE COARSE SANDS, SANDY GRAVEL, VERY STIFF SILT AND SANDY CLAYS.
4	LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS AND ALLUVIAL FILLS.

"FROM HUD "MODEL MANUFACTURED HOME INSTALLATION STANDARDS"

MANUFACTURED BY:



ENGINEERED BY:



A&A ENGINEERING
CIVIL • STRUCTURAL

6036 Renaissance Place, Toledo, OH 43623
Tel. 419-292-1983 • Fax. 419-292-0955
www.aa-engineers.com

DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS

LOCATION: STATE OF CALIFORNIA

PROJECT NO.: 411-21-3844

SHEET TITLE:

FOUNDATION OPTION 4:
SOIL ANCHORS

SHEET NO.: 11-D / 11

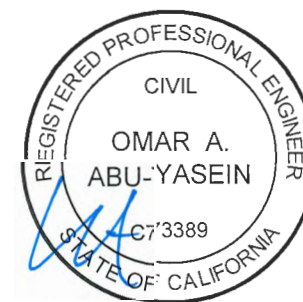
DRAWN BY: AW DATE: 1/4/22

CHECKED BY: OAA DATE: 1/4/22

LEGAL INFORMATION

- ANY DUPLICATION OF THIS DRAWING IN WHOLE OR PART IS STRICTLY FORBIDDEN. ANYONE DOING SO WILL BE PROSECUTED UNDER THE FULL EXTENT OF THE LAW.
- DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE.

SEAL:



STAMP EXPIRY: 12-31-2022

DATE SIGNED: 01-07-2022



711 W. Cinnamon Drive • Lemoore, California 93245 • Planning (559) 924-6744, ext. 740
Community Development Department
Planning/Housing

August 21, 2025

Jose and Alba Terriquez
1085 Cypress Lane
Lemoore, CA 93245

Sent: Certified and Regular Mail
Article No. 9589071052702978355790

Re: 1085 Cypress Lane – Carport in Violation of Municipal Code Section 9-4D-18-C1

Dear Property Owner:

The carport located on your property at 1085 Cypress Lane, as shown in this letter, is in violation of Municipal Code Sections 9-4D-18-C1 "Development Standards for Residential Accessory Structures in Residential Zones". This section of the City Ordinance requires that portable carport structures be located behind the front face of the house and permanent carport structures (not attached to the house) be located 10 feet from the main structure and 4 feet from the front property line as shown in the table below.

TABLE 9-4D-18-C1
DEVELOPMENT STANDARDS FOR RESIDENTIAL ACCESSORY STRUCTURES IN RESIDENTIAL ZONES

Accessory Structure	Development Standard				
	Minimum Setback Distance From Property Line				Maximum Height
	Front	Street Side	Interior Side And Rear	Minimum Distance Between Structures	
Carports:					
Combustible and/or portable	Set back even with or behind the front of the house	Not permitted on the street side of a corner lot	5'	10'	Height of house primary structure
Noncombustible and permanent	4' behind the sidewalk and outside of public right of way and clear visibility area	4' behind the sidewalk and outside of	No minimum	10'	Height of house main structure

(Ord. 2013-05, 2-6-2014)

"In God We Trust"

Structures that are attached to the house must meet design standards and be located within the buildable area of the property. General setbacks for front and interior side yard are shown below.

TABLE 9-5A-4A
DEVELOPMENT STANDARDS FOR RESIDENTIAL ZONING DISTRICTS

Measurement/Zoning District			Residential Zoning Districts						
			AR	RVLD	RLD	RN	RLMD	RMD	RHD
Setbacks, minimum:									
	Front yard:								
		Generally ^{2, 12}	60'	25'	15'	15'	15'	15'	15'
		To garage, front facing	-	-	20'	20'	20'	20'	20'
		To garage, side load	-	-	15'	-	-	-	-
		To porch	-	-	12'	12'	12'	12'	-
	Side yard:								
		Interior side	15'	10'	5'	5'	5'	10'	10'

It appears that a building permit was issued in May of 2024 to install a 20' wide free-standing steel carport, however, Planning was not consulted prior to issuance of the permit. While this is an unfortunate oversight by staff, it also appears that you have since installed a 30' wide carport, as shown in the enclosed picture, and did not call for an inspection so the permit was never finalized. The permit expired in May of 2025 which nullifies any recourse due to the oversight by staff.



Unless expressly allowed by the zoning regulations, it is unlawful for any landowner or person leasing, occupying or having charge or possession of any real property to maintain the premises so out of harmony and conformity with the maintenance quality of adjacent or nearby properties as to cause substantial diminution in the enjoyment, use or property values of such adjacent nearby properties, thereby declaring the property a public nuisance. Please refer to Municipal Code Section 4-4-4 "Property Standards".

To avoid further action, please remove the carport within 30 days of receipt of this letter.

Section 9-1-4 Enforcement, Legal Procedures and Enforcement

G. Enforcement Action: This subsection describes the procedures for initiating enforcement action in cases where the planning director, or other city official, has determined that real property within the city is being used in violation of the provisions of this title.

1. Notice To Responsible Parties: The planning director shall provide the record owner of the subject site and any person in possession or control of the site with a written notice of violation, which shall include the following information:

a. A description of the violation and citations of applicable zoning code provisions being violated;

b. A time limit for correcting the violation;

c. A statement that the city intends to charge the property owner for all administrative costs associated with the abatement of the violation;

d. A statement that the property owner may request and be provided a meeting with the director or designee to discuss possible methods and time limits for the correction of the violations.

2. Time Limit For Correction: The notice of violation shall state that the violations shall be corrected within thirty (30) days from the date of the notice to avoid further enforcement action by the city. The thirty (30) day time limit may be extended by the city upon determining that the responsible party will likely correct the violations within a reasonable time period. The city may also require through the notice of violation that the correction occur within less than thirty (30) days if the violation constitutes a hazard to public health or safety.

3. Use Of Other Enforcement Procedures: Failure to remedy the violation within the time limit for correction shall constitute a violation of this title and shall entitle the city to pursue criminal and civil remedies as provided by law and title 1, chapter 4 of the municipal code.

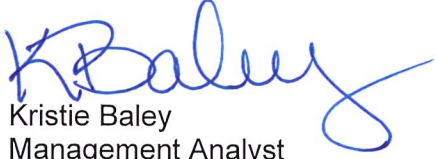
Municipal Code Section 1-4-1: Violations General Penalty:

It shall be unlawful for any person to violate any provision or to fail to comply with any of the requirements of this code or the provisions of any code adopted by reference by this code. Subject to the provisions of this section, any person violating any such provision or failing to comply with any of the mandatory requirements of this code shall be guilty of a misdemeanor. Any such violation or failure to comply may be prosecuted either by the city attorney, the deputy city attorney, or by the district attorney of the county of Kings, and the city attorney, deputy city attorney, or district attorney shall have and exercise discretion to prosecute such violation or failure to comply as an infraction instead of as a misdemeanor when justice so requires. Any person convicted of a misdemeanor under the provisions of this code shall be punished as provided by law; any person convicted of an infraction under the provisions of this code shall be punished as provided in subdivision (b) of section 36900 of the California Government Code, which provides that every violation determined to be an infraction is punishable by a fine not exceeding one hundred dollars (\$100.00) for a first violation, a fine not exceeding two hundred dollars (\$200.00) for a second violation of the same ordinance within one year, and a fine not exceeding five hundred dollars (\$500.00) for each additional violation of the same ordinance within one year. Each such person shall be guilty of a separate offense for each and every day during any portion of which any violation of any provision of this code or the provisions of any code adopted by reference by this code is committed, continued or permitted by such person and shall be punishable accordingly.

In addition to the penalties provided by this section, any condition caused or permitted to exist in violation of any of the provisions of this code, or the provisions of any code adopted by reference by this code, shall be deemed a public nuisance and may be summarily abated by this city, and each day such condition continues shall be regarded as a new and separate offense. (Ord. 2000-12, 12-5-2000)

Your immediate cooperation is appreciated. If you need further assistance or have any questions regarding the removal of the carport, please contact the Community Development Department at (559) 924-6744, ext. 740.

Sincerely,

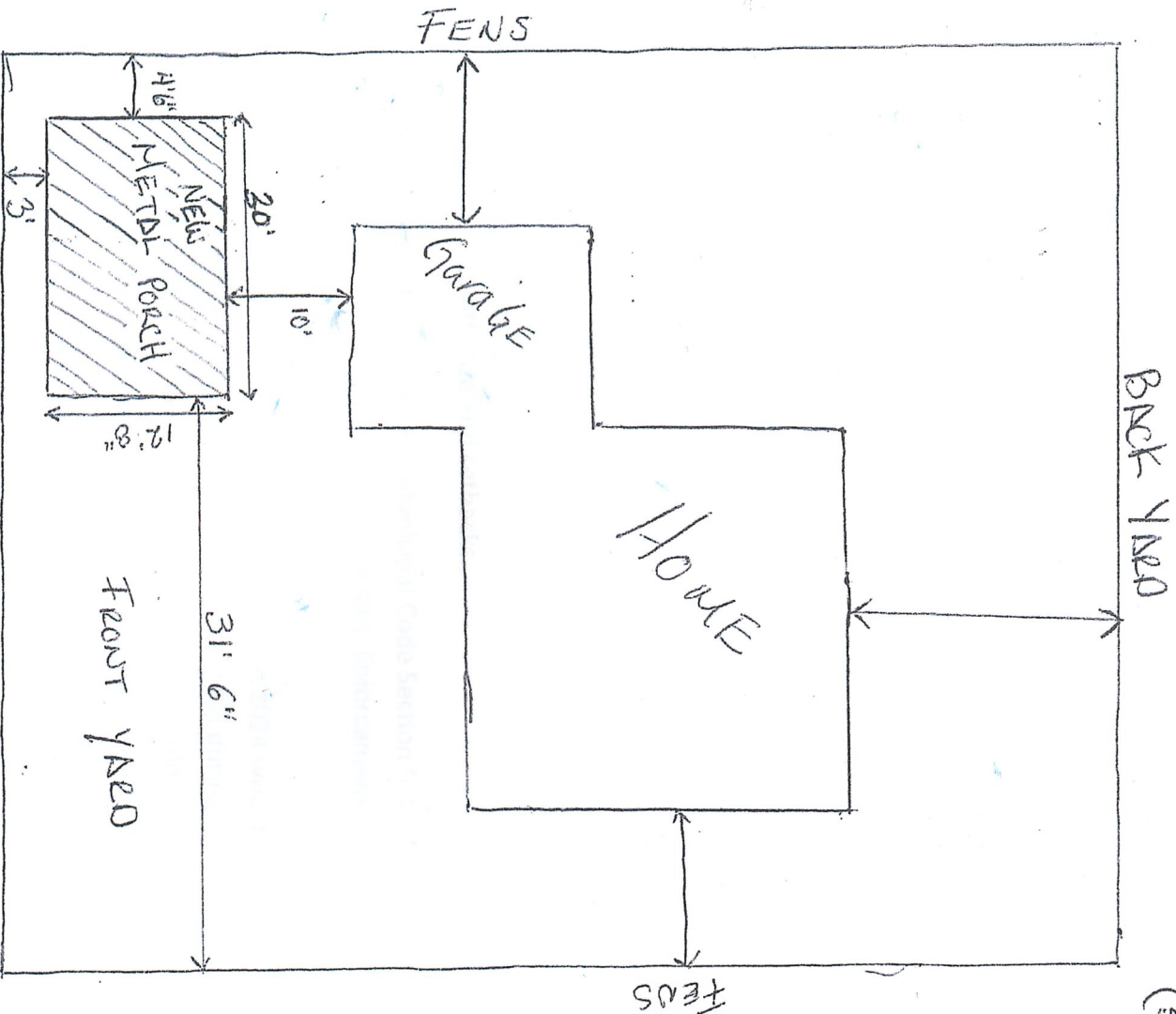


Kristie Baley
Management Analyst

Cc: Lemoore Code Enforcement
Lemoore Building Department
Public Works Department

NEW METAL PORCH
20' X 12'8"

1085 CYPRESS LN
LEMOORE CA 9324
JOSE TENRIQUEZ
(559) 633-08-5



CYPRESS LN

APPROVED
LEMOORE BUILDING INSPECTION DEPARTMENT

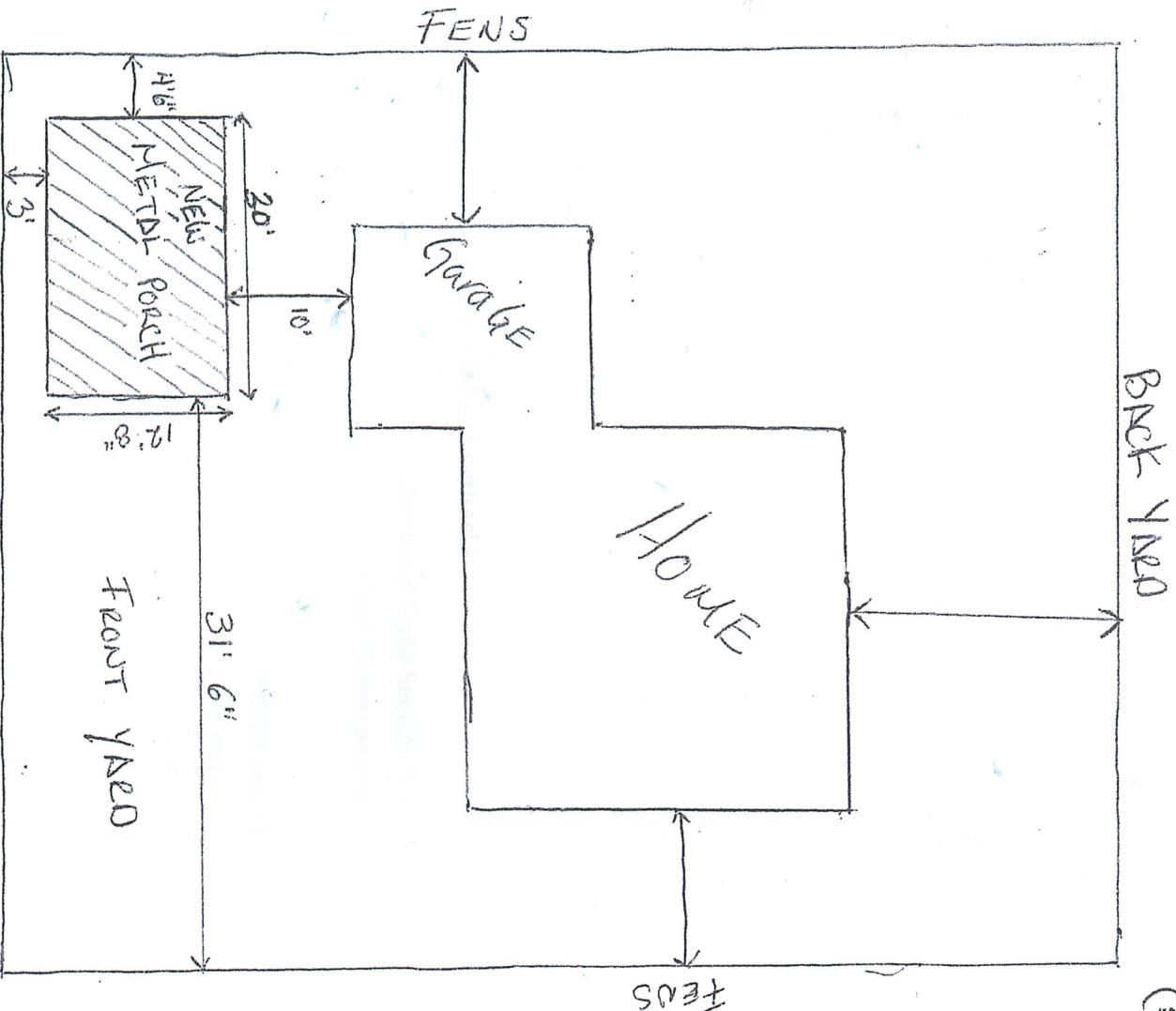
All construction shall be in accordance with these plans and specifications and shall not be changed, modified, or altered without approval of the Building Official.

The issuance of granting of plans and specifications SHALL NOT be construed to be a permit for, or approval of, any violation any of the provisions of any City of Lemoore Ordinance, County Ordinance, or State Law, nor shall it prevent the Building Official from thereafter requiring the correction of errors in said plans or from prevention of building operations being carried on thereunder when in violation of any ordinance of the City of Lemoore.

Date 9.9.25 By Ray A

NEW METAL PORCH
30' X 12'8"

1085 CYPRESS LN
LEMOORE CA 9324
JOSE TENRIQUEZ
(559) 633-08-5



CYPRESS LN

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Date 9.9.25 By Ray A

Dear City Manager,

9.15.2025

I am writing on behalf of my parents, Jose and Alba Terriquez, regarding the City's recent notice concerning their carport at 1085 Cypress Lane. My parents acted in good faith, trusted the City's process, and built with a valid permit. It would be deeply unfair to now penalize them for the City's own admitted oversight. The cost of demolition or modification would be severe. It would be inequitable for the City to hide behind a technical expiration to nullify its own errors.

The City's Oversight

In May 2024, the City issued a permit for a 20' x 20' carport. The City has acknowledged in writing that Planning was not consulted and that staff oversight occurred. No inspection was ever performed before the permit expired. My parents paid their fees, followed the process, and built in reliance on the City's approval.

Issues Raised by the City

Your notice raises two points: size and setbacks.

- Size: The carport is 30' wide. However, Municipal Code Section 9-4D-18-C1 does not regulate width. It only addresses setbacks, spacing, and height. Enforcement on width has no basis in the code.
- Setbacks: Even the original 20' x 20' carport approved in 2024 would not meet the setback requirements now being cited. At no point was this disclosed during the permitting process. In effect, my parents were issued a permit for a structure that could never have complied under the City's current interpretation. That is a result of the City's own oversight, not their actions.

Fairness and Equal Treatment

The carport is safe, functional, and in harmony with the neighborhood. It is not a nuisance. Driving around Lemoore, many existing carports do not meet these same setbacks, yet no action has been taken against them. Selective enforcement in this instance is not consistent with fair treatment of residents.

Treatment of Residents:

When my parents visited City Hall to ask questions, they were met with dismissive treatment by staff. Although the staff was not rude, my parents felt that they were not receiving any clear explanations. English is not their first language, but that does not mean they shouldn't get a good answer. As their son, I felt I had to step in to defend them on this matter.

Resolution

We respectfully request that the City recognize the carport as grandfathered and withdraw the removal demand. This outcome resolves the matter fairly and saves everyone time, money, and unnecessary conflict. I would appreciate written confirmation within 15 days that no further enforcement will be pursued.