

LEMOORE PLANNING COMMISSION
Regular Meeting
AGENDA
Lemoore Council Chamber
429 'C' Street

September 14, 2026
5:30 p.m.

1. PLEDGE OF ALLEGIANCE
2. CALL TO ORDER AND ROLL CALL
3. PUBLIC COMMENT – **Public comment will be in accordance with the attached policy.** *This section of the agenda allows members of the public to address the Planning Commission on any item within the jurisdiction of the Commission that is not on the agenda. Members of the public, when recognized by the Chair or presiding officer, should come forward to the lectern, may identify themselves and use the microphone. Comments are normally limited to three (3) minutes. In accordance with State Open Meeting Laws, no action will be taken by the Planning Commission this evening and all items will be referred to staff for follow up and a possible report. Should you wish to receive follow up to your comment, please provide your contact information to the Commission Secretary upon completion of your comment.*
4. APPROVAL OF MINUTES – Regular Meeting, August 10, 2026
5. CONTINUATION OF PUBLIC HEARING – Consider and accept public comment for a request by Marco Polo Enterprises (Armen Basmajian) for approval of Resolution No. 2026-06, approving Conditional Use Permit No. 2026-02 for a mini-storage facility. A conditional use permit for mini-storage with RV storage was previously approved for the site in 2025. The site is located on the south side of Hanford-Armona Road, east of SR 41, in the City of Lemoore (APN 021-660-031). The Mitigated Negative Declaration previously approved for this Hanford-Armona Mixed Development will be utilized as the environmental document pursuant to the California Environmental Quality Act (CEQA).
6. PLANNING REPORT
7. COMMISSION REPORTS / REQUESTS
8. ADJOURNMENT

Upcoming Meetings

Regular Meeting of the Planning Commission, October 12, 2026

Agendas for all City Council meetings are posted at least 72 hours prior to the meeting at the Council Chamber, 429 C Street and the Cinnamon Municipal Complex, 711 W. Cinnamon Drive. Written communications from the public for the agenda must be received by the City Clerk's Office no less than seven (7) days prior to the meeting date. The City of Lemoore complies with the Americans with Disabilities Act (ADA of 1990). The Council Chamber is accessible to the physically disabled. Should you need special assistance, please call (559) 924-6744, at least 4 business days prior to the meeting.

CERTIFICATION OF POSTING

I, Kristie Baley, Planning Commission Secretary for the City of Lemoore, do hereby declare that I posted the above Planning Commission Agenda for the Regular Meeting of Monday, September 14, 2026, at Council Chamber, 429 C Street and Cinnamon Municipal Complex, 711 W. Cinnamon Drive, Lemoore CA on September 9, 2026.

//s//

Kristie Baley, Commission Secretary



PLANNING COMMISSION REGULAR MEETING September 14, 2026 @ 5:30 p.m.

The Planning Commission will hold its public meetings in person, with a virtual option for public participation based on availability. The City of Lemoore utilizes Zoom teleconferencing technology for virtual public participation; however, the City makes no representation or warranty of any kind, regarding the adequacy, reliability, or availability of the use of this platform in this manner. Participation by members of the public through this means is at their own risk. (Zoom teleconferencing/attendance may not be available at all meetings.)

The meeting may be viewed through the following Zoom Meeting:

- Please click the link below to join the meeting:
- <https://us06web.zoom.us/j/84771001057?pwd=Ad1aDA0oOqYDm8iDaYs0tWcs2w1QnN.1>
- Meeting ID: 847 7100 1057
- Passcode: 552811
- Phone: +1 669 900 6833

If you wish to make a general public comment or public comment on a particular item on the agenda, **participants may do so by submitting public comments by e-mail to: planning@lemoore.com**. In the subject line of the e-mail, please state your name and the item you are commenting on. If you wish to submit a public comment on more than one agenda item, please send a separate e-mail for each item you are commenting on. Please be aware that written public comments, including your name, may become public information. Additional requirements for submitting public comments by e-mail are provided below.

General Public Comments & Comments on Planning Commission Business Items

For general public comments and comments regarding specific Planning Commission Business Items, public comments can be made via Zoom during the meeting or submitted by e-mail no later than 5:00 p.m. the day of the meeting. Comments received prior to the meeting will be read aloud by a staff member during the applicable agenda item, provided that such comments may be read within the normal three (3) minutes allotted to each speaker. Any portion of your comment extending past three (3) minutes may not be read aloud due to time restrictions. If a general public comment or comment on a business item is received after 5:00 p.m., efforts will be made to read your comment into the record. The City is not responsible for technical difficulties during the meeting and cannot guarantee that written comments received after 5:00 p.m. will be read. All written comments that are not read into the record will be made part of the meeting minutes, provided that such comments are received prior to the end of the Planning Commission meeting.

Public Hearings

For public comment on a public hearing, all public comments must be received by the close of the public hearing period. All comments received by the close of the public hearing period will be read aloud by a staff member during the applicable agenda item, provided that such comments may be read within the normal three (3) minutes allotted to each speaker. Any portion of your comment extending past three (3) minutes may not be read aloud due to time restrictions. If a comment on a public hearing item is received after the close of the public hearing, such comment will be made part of the meeting minutes, provided that such comment is received prior to the end of the meeting.

***PLEASE BE AWARE THAT ANY PUBLIC COMMENTS RECEIVED THAT DO NOT SPECIFY A PARTICULAR AGENDA ITEM WILL BE READ ALOUD DURING THE GENERAL PUBLIC COMMENT PORTION OF THE AGENDA.**

**Minutes of the
LEMOORE PLANNING COMMISSION
Regular Meeting
August 10, 2026**

ITEM NO. 1 Pledge of Allegiance

ITEM NO. 2 Call to Order and Roll Call

The meeting was called to order at 5:30 PM.

Chair:	Ray Etchegoin
Vice-Chair:	Barbara Hill
Commissioners:	Mitchell Couch, Tom Reed, Daniel Wells
Absent:	Joseph Brewer, Chris Vancil

City Staff Present: Community Development Director Susan Long, Commission Secretary Kristie Baley

ITEM NO. 3 Introduction of Community Development Director Susan Long

ITEM NO. 4 Public Comment

There was no comment.

ITEM NO. 5 Approval of Minutes – Regular Meeting, July 13, 2026

Motion by Commissioner Reed, seconded by Commissioner Wells, to approve the Minutes of the Planning Commission Regular Meeting of July 13, 2026.

Ayes: Reed, Wells, Couch, Wells, Hill, Etchegoin

Noes:

Abstain:

Absent: Brewer, Vancil

ITEM NO. 6 Public Hearing – Consider and accept public comment for a request by Marco Polo Enterprises (Armen Basmajian) for approval of Resolution No. 2026-06, approving Conditional Use Permit No. 2026-02 for a mini-storage facility. A conditional use permit for mini-storage with RV storage was previously approved for the site in 2025. The site is located on the south side of Hanford-Armona Road, east of SR 41, in the City of Lemoore (APN 021-660-031). The Mitigated Negative Declaration previously approved for this Hanford-Armona Mixed Development will be utilized as the environmental document pursuant to the California Environmental Quality Act (CEQA).

Community Development Director Long explained that the staff determined the site plan required corrections that should be made prior to the public hearing and that the developer was unable make corrections before posting the agenda, and requested the public hearing be continued until September 14, 2026.

Director Long answered Commissioner questions.

Chair Etchegoin requested a motion to continue the public hearing.

Motion by Commissioner Hill, seconded by Commissioner Reed, to continue the public hearing until the next regularly scheduled meeting on September 14, 2026.

Ayes: Hill, Reed, Couch, Wells, Etchegoin

Noes:

Abstain:

Absent: Brewer, Vancil

ITEM NO. 7 Directors Report

Director Long reported the following:

City is working on a General Plan Update and seeking GPAC members.

Handpicked and Curated Thrift located at 405 west D Street having a soft grand opening on August 6.

New businesses, Ross, 5 Below, and 24 Hour Fitness, are in process of completing tenant improvements (old Kmart building) and will open soon.

New business, Lemoore Pharmacy, is completing tenant improvements at 1126 N. Lemoore Avenue and will be opening soon.

400 W. D Street (previously Lemoore Flower Shop) was purchased by a downtown business owner who is proposing to complete a renovation project.

ITEM NO. 8 Commission Reports / Requests

None

ITEM NO. 9 Adjournment

The meeting was adjourned at 5:49 P.M.

Approved the 14th day of September 2026.

APPROVED:

Ray Etchegoin, Chairperson

ATTEST:

Kristie Baley, Commission Secretary



711 West Cinnamon Drive • Lemoore, California 93245 • (559) 924-6700 • Fax (559) 924-9003

Staff Report

Item No: 5

To: Lemoore Planning Commission

From: Steve Brandt, AICP

Date: September 3, 2026

Meeting Date: September 14, 2026

Subject: Continuation of Public Hearing - Conditional Use Permit No. 2026-02: a request by Marco Polo Enterprises (Armen Basmajian) for approval of a mini-storage facility. A conditional use permit for mini-storage facility with RV storage was previously approved for the site in 2025. The site is located on the south side of Hanford-Armona Road, east of SR 41, in the City of Lemoore (APN 021-660-031)

Proposed Motion:

City staff recommends that the Planning Commission adopt Resolution No. 2026-06 approving Conditional Use Permit No. 2026-02 with the findings and conditions in the resolution.

Project Proposal:

The mini-storage will include enclosed storage units, which will take up 41,246 square feet of building space. The storage buildings will line the perimeter of the site, with two additional buildings in the middle. The entrance will have a keypad-operated gate. There will not be an on-site manager. The entrance area in front of the gate will be landscaped.

Applicant: Marco Polo Enterprises (Armen Basmajian)

Location: Southeast corner of Highway 41 and Hanford-Armona Road

Existing Land Use: Vacant

APN(s): 021-660-031

Zoning: RMD (Medium Density Residential)

General Plan: Medium Density Residential

Adjacent Land Use, Zone, and General Plan Designation

<u>Direction</u>	<u>Current Use</u>	<u>Zone</u>	<u>General Plan</u>
North	Agricultural	n/a	Low Medium Density Residential
South	Residential	RMD	Medium Density Residential
East	Residential	RLD	Low Density Residential
West	Highway 41	n/a	Agriculture

Previous Relevant Actions:

In November 2018, the City Council approved a General Plan Amendment and Zone Change to plan and rezone the site to Neighborhood Commercial and Medium Density Residential. A site plan for the apartments was later approved, covering the entire area zoned RMD. Afterwards, it was discovered that the southern portion of the site had expansive soils that would significantly increase the cost of constructing livable space. Property ownership changed. A new site plan was proposed with parking areas and a mini-storage on the area with poor soil.

On June 9, 2025, Conditional Use Permit No. 2024-02 was approved by the Planning Commission for a mini-storage facility that included covered RV parking in the center of the site instead of the two interior buildings. The site plan for this original approval is attached.

Access and Right-of-Way:

Access to the property from public streets will be from three locations: two access driveways on Hanford-Armona Road and one on Persimmon Street. The Persimmon Street access and the easterly Hanford-Armona Road access will be connected with a private driveway along the east side of the site. Access to the mini-storage will be solely from the private driveway.

Parking / On-site Circulation:

The mini-storage does not require dedicated on-site parking. A previous condition on the parcel map requires that a reciprocal access easement be established for all the parcels so they can share access to the private driveway.

Planning staff worked with the applicant and consulted with Public Works and the Fire Department about the entrance to the mini-storage and about emergency access. The site plan was revised to a single gate wide enough for a fire truck to enter and exit. The ends of Buildings I and K were pulled back so that minimum fire truck turning radii could be met. Fire

hydrants are shown (Box 15 on the site plan) in both the front and rear of the mini-storage. Both the Public Works Department and Fire Department support the revised site plan.

Signage:

All new signage will be required to meet the City Zoning Ordinance. The project will be allowed building signage and monument signage per the standards in the Ordinance.

CUP Analysis – Mini-storage:

In 2024, the Zoning Ordinance was amended to allow mini-storages in the RMD zone with the approval of a Conditional Use Permit. The Zoning Ordinance requires certain development and operational standards to be placed on approval. These standards are listed below with a note on whether the proposal meets the standard, does not meet the standard, or can meet the standard if required as a condition of approval.

The maximum site area for personal storage facilities in the Medium Density Residential Zone shall be three acres. **MEETS**

No business activity shall be conducted other than the rental of storage spaces. **MAKE CONDITION**

No construction, repair, servicing, renovating, painting or resurfacing of any motor vehicle, boat, trailer or other machine or implement including, but not limited to, furniture, toys, carpets, or similar equipment, objects, or materials. **MAKE CONDITION**

No on-site commercial, business, professional, industrial, or recreational use or activity. **MAKE CONDITION**

No use of rental units for human habitation. **MAKE CONDITION**

All storage shall be located within fully enclosed structure(s) except as provided for in this section. **MEETS**

The site shall be completely enclosed by building walls or a solid masonry wall with landscaping, except for points of ingress and egress (including emergency fire access) which shall be gated. **MEETS**

The gate(s) shall be maintained in good working order at all times and shall remain closed except when in use. **MAKE CONDITION**

Buildings may be placed with zero setbacks from interior lot lines if the Planning Commission finds that the placement will not be detrimental to adjacent properties. **MEETS**

All on-site lighting shall be energy efficient, stationary, and directed away from adjoining properties and public rights-of-way in accordance with Section 9-5B-4 Outdoor Lighting. **MAKE CONDITION**

The site shall be paved, except for structures and landscaping. **MAKE CONDITION**

The storage of vehicles shall occur only within a designated area. The designated area shall be clearly delineated on the site. **NO ROOM NOW. MAKE CONDITION PROHIBITING IT**

The storage of vehicles shall not occur within building setbacks. **MAKE CONDITION**

New personal storage facilities shall be landscaped in accordance with Section 9-5D1-2 and maintained in accordance with Section 9-5D1-3. **MAKE CONDITION**

The storage of inoperative vehicles is prohibited. **MAKE CONDITION**

The storage of flammable or otherwise hazardous materials is prohibited. **MAKE CONDITION**

New personal storage facilities in residential zones shall not be located within one-half mile of an existing personal storage facility. **MEETS**

Storage facilities located within or adjacent to residential zones shall locate outdoor vehicle, boat, RV, and trailer storage areas at least thirty feet (30') from all property lines and shall be separated from all property lines by enclosed storage structures. **OUTDOOR STORAGE NO LONGER SHOWN ON SITE PLAN**

Exterior walls within or adjacent to residential zones that are visible from public rights-of-way shall be of a decorative design consistent with the following:

- a. Walls shall have vertical elements (e.g., pilasters, indentations) of differing colors and/or materials at least every one-hundred feet (100').
- b. Walls shall include capstones (with limited overhang) of a coordinating color, material, and style as the rest of the wall.
- c. Walls shall be of neutral color and shall be textured with stone, brick, stucco, or other similar surface finish.
- d. Walls shall not be located inside of the required clear visibility area at the intersections of streets.

MAKE CONDITION

Building walls that are visible from public rights-of-way shall be articulated with one of the techniques illustrated in figure 9-5C-4-B2, "Techniques To Break Up Long Building Walls", of section 9-5C-4 a minimum of every thirty feet (30'). **MAKE CONDITION**

New personal storage facilities proposed adjacent to existing residential uses shall be limited to a maximum seven-foot-high solid masonry wall or structure when constructed on property line. **NOT APPLICABLE – ADJACENT TO PARKING LOT AND TO VACANT LAND**

Use of barbed wire for or on fencing is prohibited. **MAKE CONDITION**

Personal storage facilities located within residential zones or adjacent to residential zones shall maintain a landscaped 20-foot front yard and a 15-foot street side yard in addition to areas described in section 9-5D1-2.

MEETS

Personal storage facilities located within or adjacent to residential zones shall have hours of operation limited to 7:00 a.m. to 9:00 p.m., Monday through Saturday, and 9:00 a.m. to 9:00 p.m. on Sundays. **MAKE CONDITION**

Based on this review of the required conditions, the mini-storage can be approved with the unmet standards made conditions of approval.

Environmental Assessment:

An Initial Study (IS) was previously prepared for the initial project. The IS found that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project in the form of mitigations have been made by or agreed to by the project proponent. A Mitigated Negative Declaration (MND) was prepared and adopted by the City Council. It has been determined that this IS/MND is adequate for this portion of the project.

Approval Expiration:

The original mini-storage was approved along with a parcel map dividing the site. While this amended approval will reset the expiration timeline for the mini-storage construction, it does not modify the original expiration date of June 9, 2027, for the parcel map. However, extensions can be requested.

Recommended Approval Findings:

Staff recommends the Commission make the following findings and recommend approval of the project to the City Council:

1. The proposed use is consistent with the General Plan, any applicable specific plans, and all applicable provisions of the Zoning Ordinance.
2. The proposed mini-storage use is consistent with the General Plan, any applicable specific plans, and all applicable provisions of this title.
3. The establishment, maintenance, or operation of the use applied for will not, under the circumstances of the particular case (location, size, design, and operating characteristics), be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or working in the neighborhood of such use or to the general welfare of the City.
4. The site of the proposed use is physically suitable for the type, density, and intensity of the use and related structures being proposed.
5. The proposed use will not be contrary to the specific intent clauses, development regulations, or performance standards established for the zoning district in which it is located. The proposed use and related structures are compatible with other land uses, transportation, and service facilities in the vicinity.

Recommended Conditions of Approval:

1. The site shall be developed in a manner consistent with the site plan approved in Conditional Use Permit 2026-02 and the conditions in this resolution.
2. The following shall be incorporated into the design and construction of the mini-storage:
 - a. All on-site lighting shall be energy efficient, stationary, and directed away from adjoining properties and public rights-of-way in accordance with Section 9-5B-4 Outdoor Lighting.
 - b. The site shall be paved, except for structures and landscaping.
 - c. Exterior walls within or adjacent to residential zones that are visible from public rights-of-way shall be of a decorative design consistent with the following:
 - (i) Walls shall have vertical elements (e.g., pilasters, indentations) of differing colors and/or materials at least every one hundred feet (100').
 - (ii) Walls shall include capstones (with limited overhang) of a coordinating color, material, and style as the rest of the wall.
 - (iii) Walls shall be of neutral color and shall be textured with stone, brick, stucco, or other similar surface finish.
 - (iv) Walls shall not be located inside the required clear visibility area at the intersections of streets.

- d. Building walls that are visible from public rights-of-way shall be articulated with one of the techniques illustrated in Figure 9-5C-4-B2, “Techniques To Break Up Long Building Walls,” of Section 9-5C-4, a minimum of every thirty feet (30').
3. The following operational conditions shall apply to the mini-storage:
 - a. No business activity shall be conducted other than the rental of storage spaces.
 - b. No construction, repair, servicing, renovating, painting, or resurfacing of any motor vehicle, boat, trailer, or other machine or implement, including, but not limited to, furniture, toys, carpets, or similar equipment, objects, or materials.
 - c. No on-site commercial, business, professional, industrial, or recreational use or activity.
 - d. No use of rental units for human habitation.
 - e. The gate(s) shall be maintained in good working order at all times and shall remain closed except when in use.
 - f. The storage of inoperative vehicles is prohibited.
 - g. The storage of flammable or otherwise hazardous materials is prohibited.
 - h. Use of barbed wire for or on fencing is prohibited.
 - i. Personal storage facilities located within or adjacent to residential zones shall have hours of operation limited to 7:00 a.m. to 9:00 p.m. Monday through Saturday and 9:00 a.m. to 9:00 p.m. Sundays.
 - j. The storage of vehicles shall not occur on the site without first obtaining an amendment to this conditional use permit.
4. The operation shall be conducted in accordance with this Conditional Use Permit. Any deviations from the approvals shall first require approval of an amendment to this Conditional Use Permit.
5. All subsequent uses must meet the requirements found in Sections 9-5B-2 and 9-5B-4 of the City of Lemoore Zoning Ordinance related to noise, odor, vibration, lighting, and maintenance.
6. This approval modifies only those conditions of approval in Resolution No. 2025-06 related to Conditional Use Permit 2024-02. The conditions of approval related to Tentative Parcel Map 2024-02 remain in effect. This resolution does not modify the time limits or expiration of Tentative Parcel Map 2024-02.
7. The time limits, potential extensions, and expiration of this Conditional Use Permit are established per Section 9-2A-9 of the City of Lemoore Zoning Ordinance.

Attachments:

Vicinity Map

Draft Resolution

New Site Plan

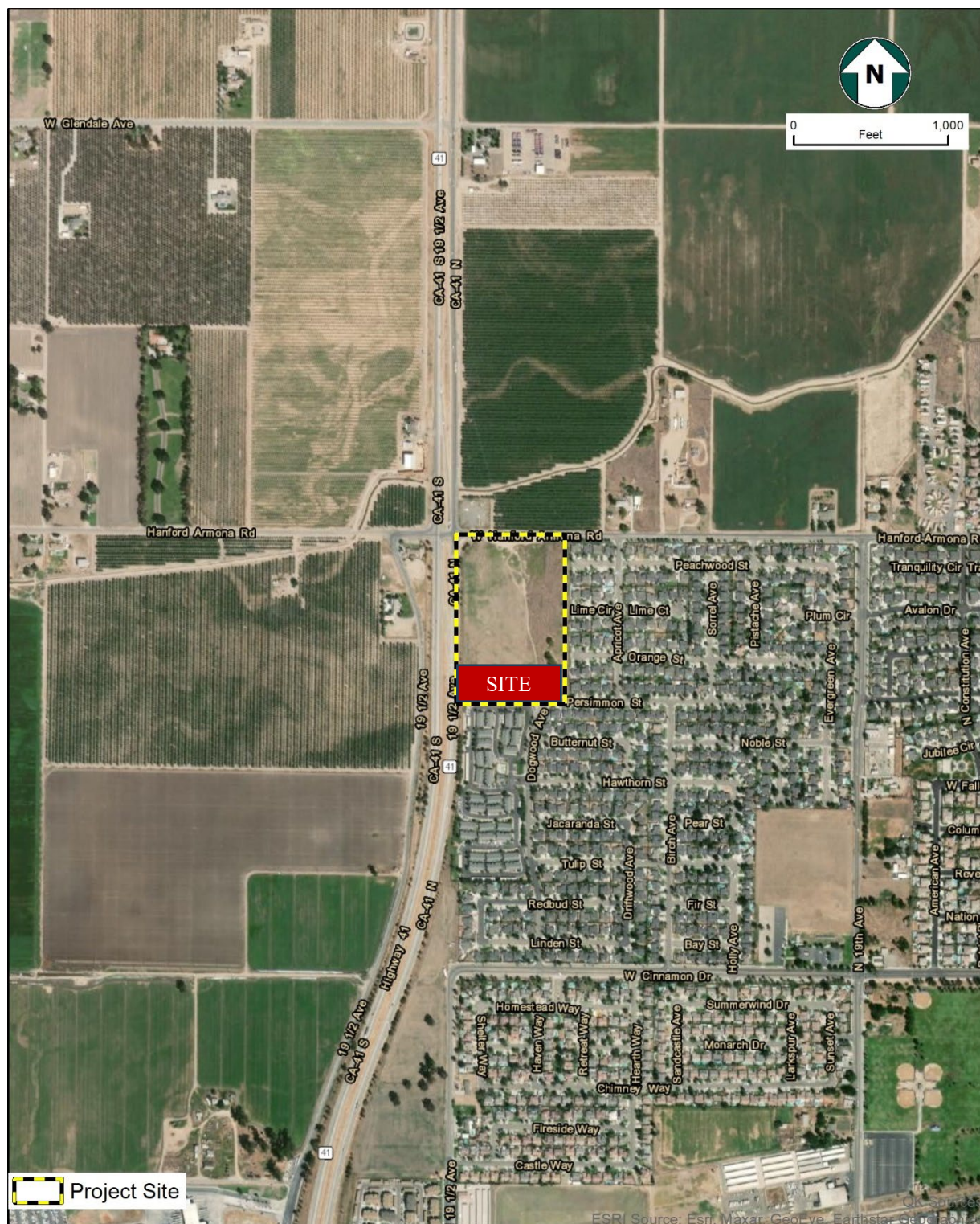
Engineering Markups dated 9/14/2026

Engineering Checklist dated 2/5/2025

Previously Approved Site Plan

Original Comprehensive Site Plan – mini-storage, residential, commercial

Vicinity Map



“In God We Trust”

RESOLUTION NO. 2026-06

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LEMOORE
APPROVING CONDITIONAL USE PERMIT NO. 2026-02 FOR A MINI-STORAGE FACILITY, A
REVISION TO A PREVIOUSLY APPROVED MINI-STORAGE FACILITY LOCATED ON THE SOUTH
SIDE OF HANFORD-ARMONA ROAD, EAST OF SR 41, IN THE CITY OF LEMOORE**

At a Regular Meeting of the Planning Commission of the City of Lemoore, duly called and held on September 14, 2026, at 5:30 p.m. on said day, it was moved by Commissioner _____, seconded by Commissioner _____, and carried that the following Resolution be adopted:

WHEREAS, Marco Polo Enterprises (Armen Basmajian) has requested an amendment to Conditional Use Permit 2024-02 to allow a mini-storage facility on the proposed remainder parcel (2.38 acres); and

WHEREAS, the proposed amendment would remove the RV parking areas from the middle of the site and replace them with two additional mini-storage buildings; and

WHEREAS, a mini-storage facility can be approved with a Conditional Use Permit in the RMD zone; and

WHEREAS, it has been determined that the Initial Study/Mitigated Negative Declaration previously prepared for development of the site is adequate for use as the environmental document for compliance with the California Environmental Quality Act (CEQA) for this portion of the project; and

WHEREAS, the Lemoore Planning Commission continued a duly noticed public hearing at its August 10, 2026, meeting.

WHEREAS, the Lemoore Planning Commission held the duly noticed public hearing at its September 14, 2026, meeting.

NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Lemoore hereby makes the following findings regarding proposed Conditional Use Permit No. 2026-02 based on facts detailed in the September 14, 2026, Staff Report, which is hereby incorporated by reference, as well as the evidence and testimony presented during the Public Hearing:

1. The proposed use is consistent with the General Plan, any applicable specific plans, and all applicable provisions of the Zoning Ordinance.
2. The proposed mini-storage use is consistent with the General Plan, any applicable specific plans, and all applicable provisions of this title.
3. The establishment, maintenance, or operation of the use applied for will not, under the circumstances of the particular case (location, size, design, and operating characteristics), be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or working in the neighborhood of such use or to the general welfare of the City.

4. The site of the proposed use is physically suitable for the type, density, and intensity of the use and related structures being proposed.
5. The proposed use will not be contrary to the specific intent clauses, development regulations, or performance standards established for the zoning district in which it is located. The proposed use and related structures are compatible with other land uses, transportation, and service facilities in the vicinity.

BE IT FURTHER RESOLVED that the Planning Commission of the City of Lemoore hereby approves Conditional Use Permit No. 2026-02, subject to the following conditions:

1. The site shall be developed in a manner consistent with the site plan approved in Conditional Use Permit 2026-02 and the conditions in this resolution.
2. The following shall be incorporated into the design and construction of the mini-storage:
 - a. All on-site lighting shall be energy efficient, stationary, and directed away from adjoining properties and public rights-of-way in accordance with Section 9-5B-4 Outdoor Lighting.
 - b. The site shall be paved, except for structures and landscaping.
 - c. Exterior walls within or adjacent to residential zones that are visible from public rights-of-way shall be of a decorative design consistent with the following:
 - (i) Walls shall have vertical elements (e.g., pilasters, indentations) of differing colors and/or materials at least every one hundred feet (100').
 - (ii) Walls shall include capstones (with limited overhang) of a coordinating color, material, and style as the rest of the wall.
 - (iii) Walls shall be of neutral color and shall be textured with stone, brick, stucco, or other similar surface finish.
 - (iv) Walls shall not be located inside the required clear visibility area at the intersections of streets.
 - d. Building walls that are visible from public rights-of-way shall be articulated with one of the techniques illustrated in Figure 9-5C-4-B2, "Techniques To Break Up Long Building Walls," of Section 9-5C-4, a minimum of every thirty feet (30').
3. The following operational conditions shall apply to the mini-storage:
 - a. No business activity shall be conducted other than the rental of storage spaces.
 - b. No construction, repair, servicing, renovating, painting, or resurfacing of any motor vehicle, boat, trailer, or other machine or implement, including, but not limited to, furniture, toys, carpets, or similar equipment, objects, or materials.
 - c. No on-site commercial, business, professional, industrial, or recreational use or activity.
 - d. No use of rental units for human habitation.

- e. The gate(s) shall be maintained in good working order at all times and shall remain closed except when in use.
 - f. The storage of inoperative vehicles is prohibited.
 - g. The storage of flammable or otherwise hazardous materials is prohibited.
 - h. Use of barbed wire for or on fencing is prohibited.
 - i. Personal storage facilities located within or adjacent to residential zones shall have hours of operation limited to 7:00 a.m. to 9:00 p.m. Monday through Saturday and 9:00 a.m. to 9:00 p.m. Sundays.
 - j. The storage of vehicles shall not occur on the site without first obtaining an amendment to this conditional use permit.
- 4. The operation shall be conducted in accordance with this Conditional Use Permit. Any deviations from the approvals shall first require approval of an amendment to this Conditional Use Permit.
 - 5. All subsequent uses must meet the requirements found in Sections 9-5B-2 and 9-5B-4 of the City of Lemoore Zoning Ordinance related to noise, odor, vibration, lighting, and maintenance.
 - 6. This approval modifies only those conditions of approval in Resolution No. 2025-06 related to Conditional Use Permit 2024-02. The conditions of approval related to Tentative Parcel Map 2024-02 remain in effect. This resolution does not modify the time limits or expiration of Tentative Parcel Map 2024-02.
 - 7. The time limits, potential extensions, and expiration of this Conditional Use Permit are established per Section 9-2A-9 of the City of Lemoore Zoning Ordinance.

Passed and adopted at a Regular Meeting of the Planning Commission of the City of Lemoore held on September 14, 2026, by the following votes:

YES:
NOES:
ABSTAINING:
ABSENT:

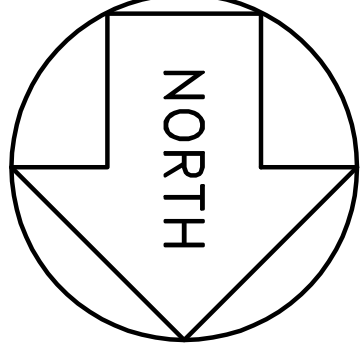
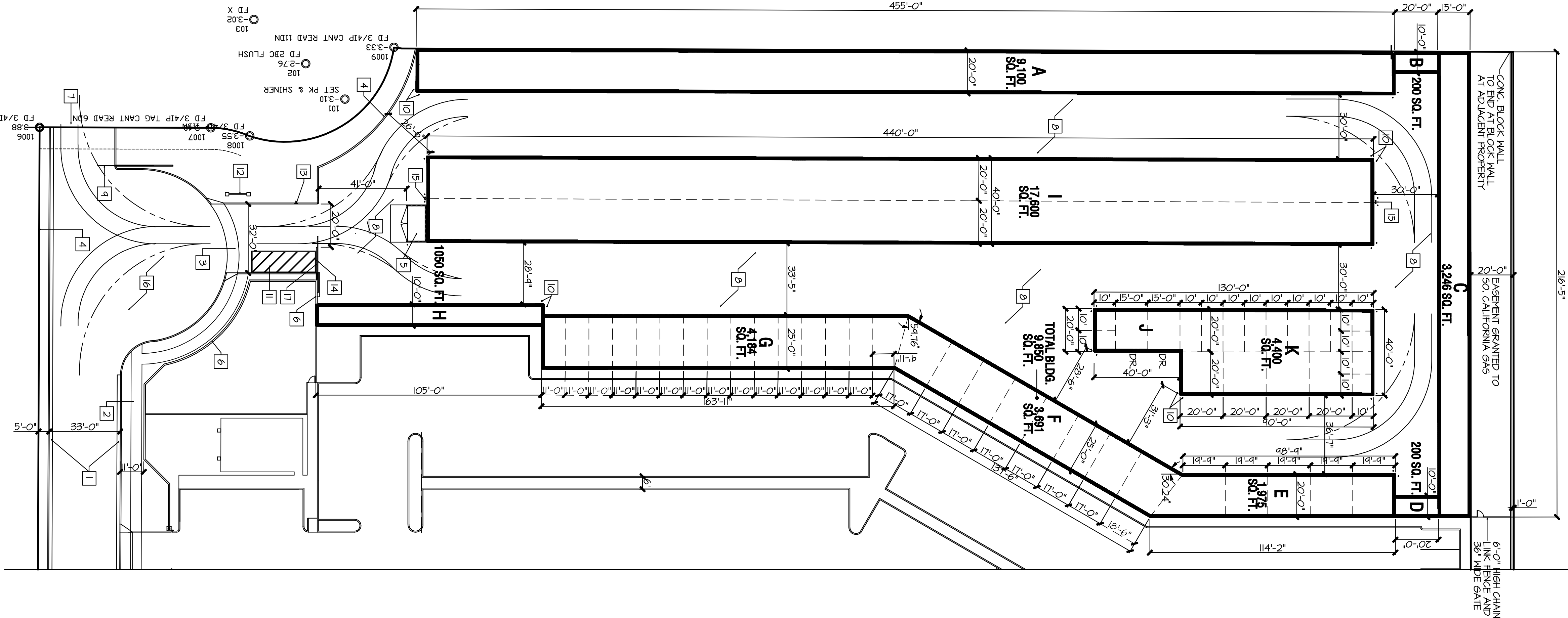
APPROVED:

Ray Etchegoin, Chairperson

ATTEST:

Kristie Baley, Commission Secretary

PHASE 3
PROPOSED SELF STORAGE FACILITY
SEE SHEET A-1.3



SITE PLAN - PHASE 3
PROPOSED SELF STORAGE FACILITY

SITE STATISTICS:

SITE ADDRESS:
2090 W. MAGILL, FRESNO, CA 93711
A.P.N.:
021-000-031
EXISTING ZONE DISTRICTS:
NE AND MI NEIGHBORHOOD COMMERCIAL AND MIXED USE
RESIDENTIAL - M-2000
EXISTING GP DESIGNATION:
NEIGHBORHOOD COMMERCIAL AND MIXED USE

SELF STORAGE FACILITY:

LAND AREA:

LAND AREA EQUALS 46,701 SQ. FT. OF LAND OR 2.22 ACRES (NET)

BUILDING AREA:

ENCLOSED STORAGE UNITS - 41,246 SQ. FT.

TOTAL SQUARE FOOTAGE - 41,246 SQ. FT.

LOT COVERAGE:

BUILDING AREA / LOT AREA = 42.6%
PAVED AREA / LOT AREA = 54.4%
LANDSCAPED AREA / LOT AREA = 25.8%

PARKING:

NO PARKING PROVIDED

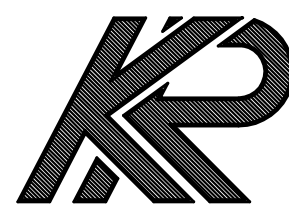
SELF STORAGE SITE PLAN KEY NOTES:

1. NEW GARB AND GITTER PER PM STD. P-1
2. NEW CONC. NON-CONTIGUOUS METAL SIGNWALL PER PM STD. P-3
3. NEW DRIVE APPROACH PER CITY STANDARDS
4. NEW 6'-0" HIGH CONC. BLOCK WALL PER CITY STD. M-5
5. CONSTRUCT CONC. BLOCK TRASH ENCLOSURE PER CITY STD. M-6 TYPICAL
6. 6'-0" HIGH CONC. BLOCK WALL WITH 4" CAP AT PROJECT PERIMETER
7. SECONDARY DRIVE APPROACH PER CITY STANDARDS
8. PROVIDE ASPHALT PAVING AT PARKING LOT / TRAFFIC CIRCULATION AREAS
9. 6'-0" HIGH WROUGHT IRON ROLLING GATE WITH KNOX BOX AT SECONDARY ACCESS FOR EMERGENCY ACCESS ONLY
10. PROTECTIVE PIPE BOLLARDS AT BUILDING CORNERS
11. PROPOSED NONVENT SIGN AT PROJECT ENTRY
12. ENTRY KEYPAD MOUNTED IN COLUMN
13. 6'-0" HIGH AUTOMATIC METAL ROLLING METAL SECURITY GATE
14. FIRE HYDRANT LOCATION WITH PROTECTIVE PIPE BOLLARDS
15. CONSTRUCT ALL DE GRAC TO CITY OF LEMOORE STD. AND HEIGHTS
16. 6'-0" HIGH SECURITY WROUGHT IRON FENCING AT G ENTRY

PROJECT TITLE:
**LEMOORE SELF STORAGE
PROPOSED SELF STORAGE FACILITY**

SE CORNER / HIGHWAY 41 AND HANFORD ARMONA ROAD
LEMOORE, CALIFORNIA

SHEET TITLE:
**SITE PLAN - PHASE 3
SELF STORAGE FACILITY**



KENT P. RODRIGUES Architect

2090 W. MAGILL, FRESNO, CA 93711 (559) 438-1790

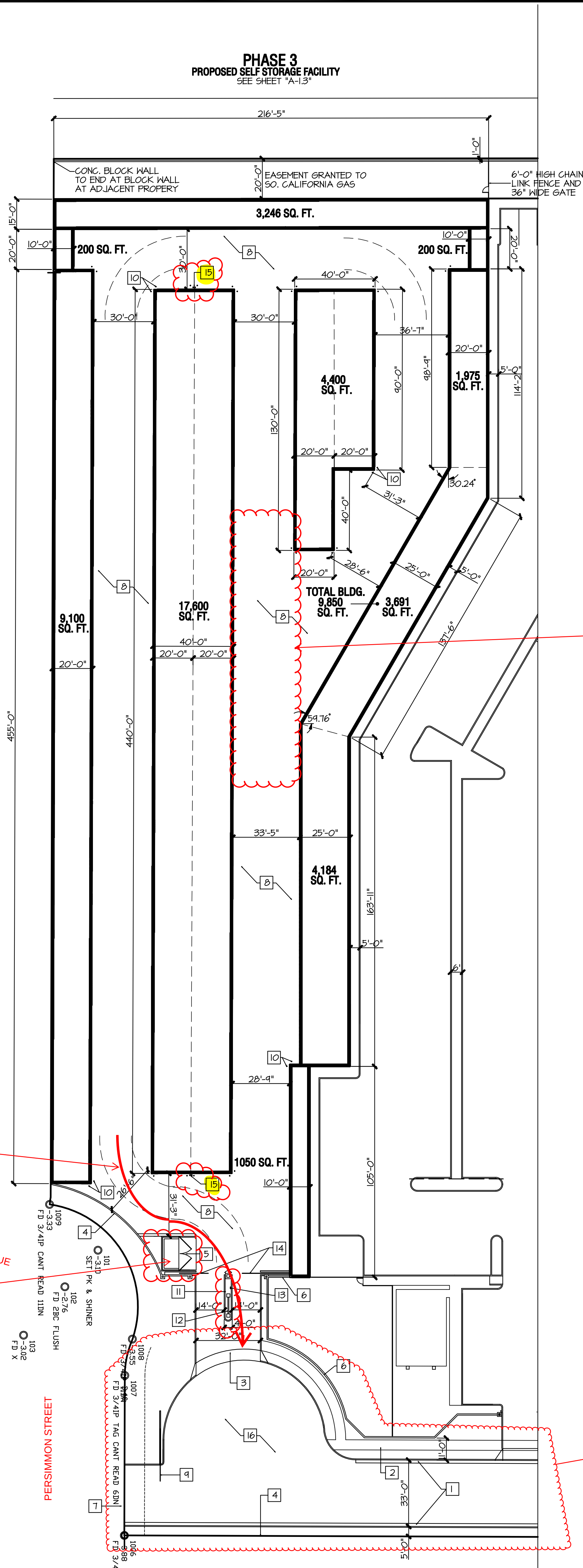
PLANNING * DESIGN * ARCHITECTURE

A-1.3

OF 1 SHEETS

DATE: 5/1/24

SHEET NO.:
JOB NO.: ARLENLEMOORE
DRAWN BY: RODRIGUES



SITE STATISTICS:

SITE ADDRESS:
SEC. M. HANFORD ARMONA ROAD AND STATE HIGHWAY 41
LEMOORE, CA

A.P.N.:
021-66-031

EXISTING ZONE DISTRICTS:
NC and MU (NEIGHBORHOOD COMMERCIAL AND MIXED USE)
RESIDENTIAL - RM-205H

EXISTING GP DESIGNATION:
NEIGHBORHOOD COMMERCIAL AND MIXED USE

SELF STORAGE FACILITY:

LAND AREA:
LAND AREA EQUALS 96,101 SQ. FT. OF LAND OR 2.22 ACRES (NET)

BUILDING AREA:
ENCLOSED STORAGE UNITS - 41,246 SQ. FT.
TOTAL SQUARE FOOTAGE - 41,246 SQ. FT.

LOT COVERAGE:
BUILDING: 41,246 SQ. FT. / 96,101 SQ. FT. (BUILDING AREA / LOT AREA) = 42.6%
PAVED AREA: 53,025 SQ. FT. / 96,101 SQ. FT. (PAVED AREA / LOT AREA) = 54.9%
LANDSCAPED AREA: 2,490 SQ. FT. / 96,101 SQ. FT. (LANDSCAPED AREA / LOT AREA) = 2.5%

PARKING:
NO PARKING PROVIDED

SELF STORAGE SITE PLAN KEY NOTES:

1. NEW CURB AND GUTTER PER FH STD. P-1.
2. NEW CONC. NON-CONTIGUOUS PUBLIC SIDEWALK PER FH STD. P-3.
3. NEW DRIVE APPROACH PER CITY STANDARDS.
4. NEW 6'-0" HIGH CONC. BLOCK WALL PER CITY STD. M-5.
5. CONSTRUCT CONC. BLOCK TRASH ENCLOSURE PER CITY STDS. M-6 TYPICAL.
6. 6'-0" HIGH CONC. BLOCK WALL WITH 4" CAP AT PROJECT PERIMETER.
7. SECONDARY DRIVE APPROACH PER CITY STANDARDS.
8. PROVIDE ASPHALT PAVING AT PARKING LOT / TRAFFIC CIRCULATION AREAS.
9. 6'-0" HIGH WROUGHT IRON ROLLING GATE WITH KNOX BOX AT SECONDARY ACCESS FOR EMERGENCY ACCESS ONLY.
10. PROTECTIVE PIPE BOLLARDS AT BUILDING CORNERS.
11. LANDSCAPED MEDIAN AT PROJECT ENTRY.
12. PROPOSED MONUMENT SIGN AT PROJECT ENTRY.
13. ENTRY KEYPAD MOUNTED IN COLUMN.
14. 6'-0" HIGH AUTOMATIC METAL ROLLING METAL SECURITY GATES.
15. FIRE HYDRANT LOCATION WITH PROTECTIVE PIPE BOLLARDS.
16. CONSTRUCT CUL-DE-SAC TO CITY OF LEMOORE STDS. AND REGS.

Show proposed location of underground storm water storage per previously approved plans; Required for overall development and to be constructed per previously approved improvement plans for the development.

See comments on Site Plan

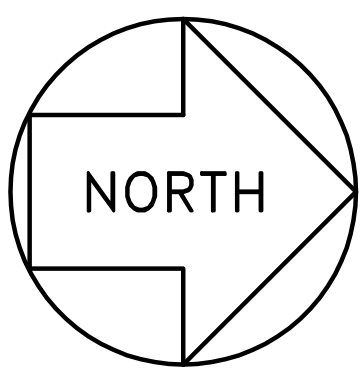
General Comments:
1) All private common access road and utility improvements must be constructed and installed per the previously approved improvement plans for the development under SPR 2024-07, CUP 2024-02, CC&Rs, and Final Parcel Map prior to occupancy.
2) Revise site plan as needed to allow pumper fire truck access throughout the facility and to access on-site fire hydrants

Per previously approved improvement plans for the entire development (SPR 2024-07 & CUP 2024-02)

Provide for fire truck access throughout the facility. Provide separate exhibit to show pumper fire truck turn movements through facility. Modify site plan as needed to allow for pumper fire truck access.

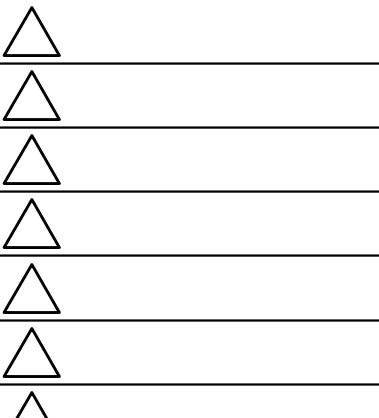
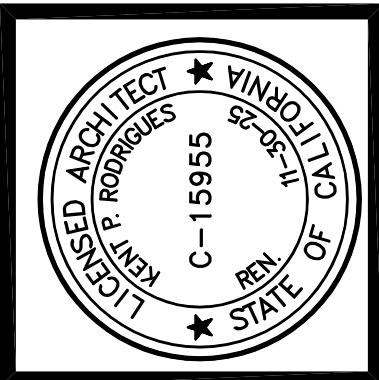
Based on initial pumper fire truck movements using this site plan, the trash enclosure will need to be relocated and the center island on the entry will need to be removed. Use single 20' wide min gate

Private access road and utility improvements shall be constructed per the previously approved improvement plans for the entire development under SPR 2024-07, CUP 2024-02, approved CC&Rs, and Final Parcel Map



SITE PLAN - PHASE 3 PROPOSED SELF STORAGE FACILITY

SCALE: 1"=30'-0"



SITE PLAN REVIEW COMMENTS



DATE:	August 6, 2026
SITE PLAN NO:	Site Plan Review No. 2026-XX/CUP 2026-02
PROJECT TITLE:	Mini-Storage Development (Phase 3)
DESCRIPTION:	Phase 3 of MFR/Commercial Development at the SEC SR 41 & Hanford-Armona Road
APPLICANT:	Armen Basmajian
PROPERTY OWNER:	Armen Basmajian
LOCATION:	SEC of SR 41/Hanford-Armona Road
APN(S):	021-660-031

ENGINEERING – Multi-Family/Commercial/Industrial

Recommended action:

- ☐ Acceptable as submitted. See applicable comments below for permit application.
- ☐ Revise per comments below. Resubmittal not required. See applicable comments below for permit application.
- ☒ Resubmit with additional information. See comments below.
- ☐ Redesign required. See comments below.

The following items are required to be shown on the Site Plan or provided with the Site Plan:

- ☒ Show entire property boundary with dimensions. ***Show property dimensions per Final Parcel Map (in process) for “Designated Remainder” and easements for common access drive and utilities.***
- ☐ Show all adjacent streets including existing and proposed improvements, such as curb, gutter, drive approaches, sidewalk, transit/bus stops, etc.: ☐ Show sidewalk: __ wide, with __ wide parkway on ; ☐ Show locations of all drive approaches per City Standards; ☐
- ☐ Show existing on-site structures and improvements on the site, such as buildings, wells, septic tanks, fences, driveways, etc., and note if they are to remain, removed, relocated or demolished.
- ☐ Show existing structures and improvements adjacent to the site.
- ☒ Show all proposed on-site improvements including buildings with entry and loading access location, parking lot layout, landscape areas, pedestrian access/pathways, trash/refuse enclosure, mailbox/postal unit, etc. per City Standards and Building Code requirements. Include vehicle/truck path of travel for drive thru aisles, loading areas and trash/refuse enclosure. ☒ ***Private common access road improvements including backbone water (potable & fire), sewer and storm drainage as well as private utilities are required in accordance with the previously approved improvement plans for SPR 2024-07, CUP 2024-02 prior to occupancy.***
- ☒ Show location and proposed size of all City water and sanitary sewer services to serve the project per City Standards. City mains to be used for this project are located here: Water: ***8”/12” in Dogwood/Persimmon & Hanford-Armona Rd, respectively; Sewer: 12” in Dogwood/Persimmon. Proposed water, sewer and storm drain shall be provided per the approved improvement plans for the development.***
- ☒ Show proposed on-site fire hydrants per Fire Department requirements.
- ☒ Show temporary fire and emergency access. ***Show that pumper fire truck can maneuver through the site to access all buildings and fire hydrants. Trash enclosure and entry need to be revised per comments on the Site Plan.*** ☐ Provide all-weather fire and emergency access road.
- ☒ Show proposed disposal of storm runoff: ☒ On-site basin required per City Standards, ☒ Surface drain to street, ☒ Connect to City storm drain system: ***connection shall be in accordance with the approved improvement plans for the SPR 2024-07 & CUP 2024-02 for the entire development including the underground storm water storage on the mini-storage property and the weir structure in the private common access drive.***
- ☐ Caltrans comments required prior to approval of project.
- ☐ Written comments required from ditch company.
- ☒ Additional comments:
 - 1. Private common access road improvements including backbone water (potable & fire), sewer and storm drainage as well as private utilities are required in accordance with the previously approved improvement

SITE PLAN REVIEW COMMENTS



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PROJECT TITLE:	Mini-Storage Development (Phase 3)
DESCRIPTION:	Phase 3 of MFR/Commercial Development at the SEC SR 41 & Hanford-Armona Road
APPLICANT:	Armen Basmajian
PROPERTY OWNER:	Armen Basmajian
LOCATION:	SEC of SR 41/Hanford-Armona Road
APN(S):	021-660-031

plans for SPR 2024-07, CUP 2024-02 prior to occupancy. These improvements shall be constructed in accordance with the approved improvement plans prepared by VICE for the SPR 2024-07 & CUP 2024-02.

2. Construct perimeter block walls per previous requirements per SPR 2024-07 and CUP 2024-02.
3. Show pumper fire truck can maneuver through the site to access all buildings and fire hydrants. Preliminary review shows that trash enclosure will need to be relocated and entry median will need to be removed and provide a single 20-25' gate.
4. See Site Plan for additional comments.

The following are required with permit application:

- ☒ Submit on-site grading and improvement plans and off-site improvement plans detailing all proposed work. On-site and off-site improvement plans to be prepared and signed by registered civil engineer. Project architect may prepare and sign on-site improvement plans.
- ☒ City encroachment permit required which shall include an approved traffic control plan.
- ☒ Caltrans encroachment permit required. ***SR 41/Hanford-Armona intersection improvements and Hanford-Armona Road improvements within or adjacent to Caltrans RW.***
- ☒ Caltrans comments required prior to approval of project. ***Caltrans comments regarding the intersection of SR 41 and Hanford-Armona Road shall be incorporated into the Tentative Parcel Map and Site Plan improvements.***
- ☐ Written comments required from ditch company.
- ☒ All public streets within project limits and across project frontage shall be improved to their full width, subject to available right-of-way, in accordance with City policies, standards and specifications.
- ☐ Right-of-way dedication required by grant deed or Final Map. A title report is required for verification of ownership.
- ☐ Install street striping as required by the City Engineer.
- ☒ Install sidewalk: 5 ft. wide, with 5 ft. wide parkway on Private Common Access Road.
- ☒ Show locations of all drive approaches and construct to City Standards. _____
- ☐ Cluster mailbox supports required (1 for 2 residential units) or use postal unit.
- ☒ Landscape and irrigation improvement plans to be submitted for the entire project. Landscape plans will need to comply with the City of Lemoore's street tree ordinance and the State MWELO requirements.
- ☒ Potable water and fire protection water master plan for the entire development shall be submitted for approval prior to approval of any phase of the development. The water system will need to be extended to the boundaries of the development where future connection and extension is anticipated. The water system will need to be sized to serve any future developments that are anticipated to connect to the system.
- ☒ Sanitary Sewer master plan for the entire development shall be submitted for approval prior to approval of any phase of the development. The sewer system will need to be extended to the boundaries of the development where future connection and extension is anticipated. The sewer system will need to be sized to serve any future developments that are anticipated to connect to the system.
- ☒ Grading and drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades.

SITE PLAN REVIEW COMMENTS



DATE:	August 6, 2026
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PROPERTY OWNER:	Armen Basmajian
LOCATION:	SEC of SR 41/Hanford-Armona Road
APN(S):	021-660-031

☒ Prepared by a registered civil engineer or project architect.

☒ All elevations shall be based on the City's benchmark network.

Storm run-off from the project shall be handled as follows:

☒ Directed to the City's existing storm drainage system; **24" SD line in Persimmon**

☒ Directed to a permanent on-site detention basin(s) per City Standards. ***Provide underground detention chambers on mini-storage site and weir structure in access drive at connection to City storm drain system per approved plans.***

☐ Directed to a temporary on-site basin which is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin shall be constructed in accordance with City Standards.

☒ Show adjacent property grade elevations on improvement plans. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.

☒ Relocate existing utility poles and/or facilities.

☒ Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding.

☒ Provide R-value tests; 1 min. each at Hanford-Armona Road and access road. Additional R-values will be required for each phase (min 1 for every 500' of road/main drive aisle)

☒ Traffic indexes per City standards; **Min T.I. = 5.5 min for refuse vehicles**

☐ Subject to existing reimbursement agreement to reimburse prior developer.

☒ Abandon existing wells per Code; a building permit is required.

☒ Remove existing irrigation lines and dispose off-site.

☒ Remove existing leach fields and septic tanks.

☒ Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air Pollution Control District's Regulation VIII. Copies of any required permits will be provided to the City of Lemoore.

☒ The project it may be subject to the San Joaquin Valley Air Pollution Control District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City of Lemoore.

☒ If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit will be provided to the City of Lemoore.

Additional comments;

1. Private common access road improvements including backbone water (potable & fire), sewer and storm drainage as well as private utilities are required in accordance with the previously approved improvement plans for SPR 2024-07, CUP 2024-02 prior to occupancy. These improvements shall be constructed in accordance with the approved improvement plans prepared by VICE for the SPR 2024-07 & CUP 2024-02.
2. Construct perimeter block walls per previous requirements per SPR 2024-07 and CUP 2024-02.

SITE PLAN REVIEW COMMENTS



DATE:	August 6, 2026
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PROPERTY OWNER:	Armen Basmajian
LOCATION:	SEC of SR 41/Hanford-Armona Road
APN(S):	021-660-031

3. Show pumper fire truck can maneuver through the site to access all buildings and fire hydrants.
Preliminary review shows that trash enclosure will need to be relocated and entry median will need to be removed and provide a single 20-25' gate.
4. See Site Plan for additional comments.



Authorized signature

08/09/26

Date

Jeff Cowart, PE City Engineer

Printed name



SITE STATISTICS:

SITE ADDRESS:
SEC. 14, HANFORD ARMONA ROAD AND STATE HIGHWAY 41
LEMOORE, CA

A.P.N.:
021-66-031

EXISTING ZONE DISTRICTS:
NC and M1 NEIGHBORHOOD COMMERCIAL AND MIXED USE
RESIDENTIAL - RH-2108H

EXISTING GP DESIGNATION:
NEIGHBORHOOD COMMERCIAL AND MIXED USE

SELF STORAGE FACILITY:

LAND AREA:
LAND AREA EQUALS 146,701 SQ. FT. OF LAND OR 3.32 ACRES (NET)

BUILDING AREA:

ENCLOSED STORAGE UNITS - 23,640 SQ. FT.
COVERED BOAT AND RV PARKING - 20,640 SQ. FT.
TOTAL SQUARE FOOTAGE - 44,280 SQ. FT.

LOT COVERAGE:

44,280 SQ. FT. / 146,701 SQ. FT. (BUILDING AREA / LOT AREA) = 30.18%
PAVED AREA - 50,811 SQ. FT. / 146,701 SQ. FT. (PAVED AREA / LOT AREA) = 34.64%
LANDSCAPED AREA - 2,460 SQ. FT. / 146,701 SQ. FT. (LANDSCAPED AREA / LOT AREA) = 1.68%

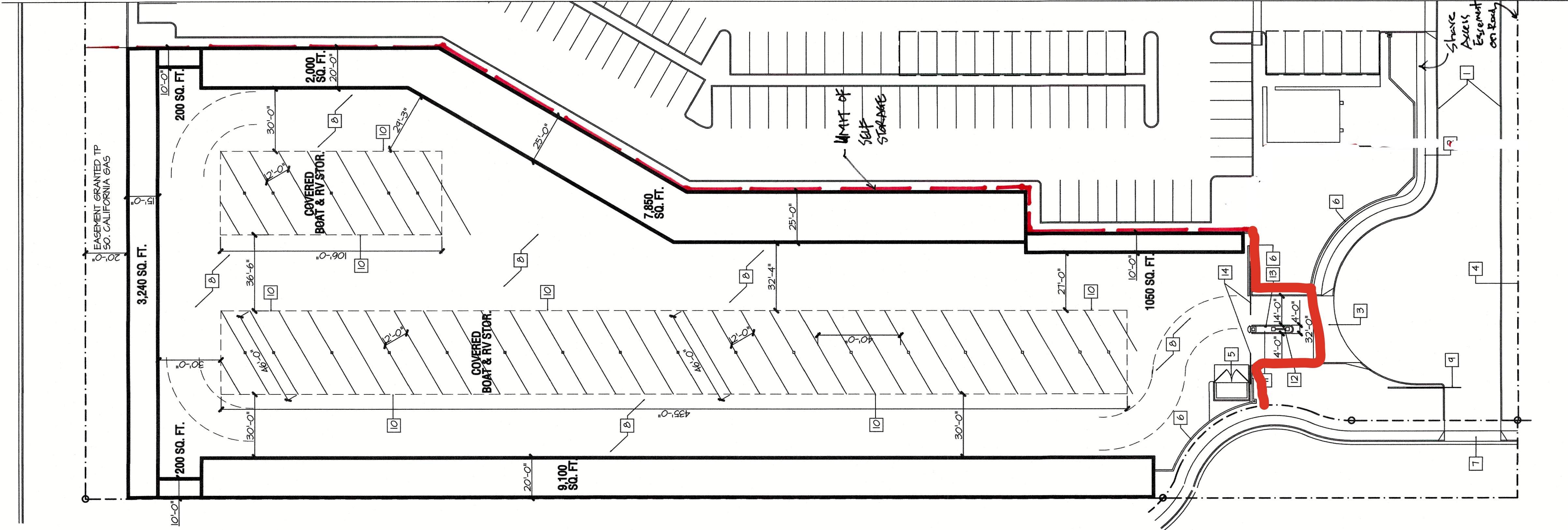
PARKING:

NO PARKING PROVIDED

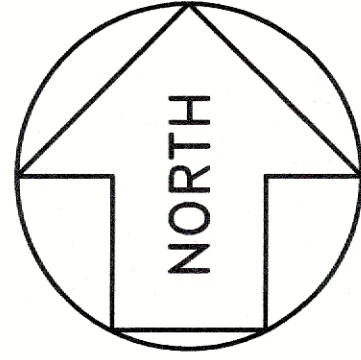
SELF STORAGE SITE PLAN KEY NOTES:

1. NEW GIRE AND GUTTER PER PH STD. P-1
2. NEW CONC. NON-CONTIGUOUS PUBLIC SIDEWALK PER PH STD. P-3
3. NEW DRIVE APPROACH PER CITY STANDARDS
4. NEW 6'-0" HIGH CONC. BLOCK WALL PER CITY STD. M-5
5. 100% CURED CONC. BLOCK TRASH ENCLOSURE PER CITY STD. M-6
6. 6'-8" HIGH CONC. BLOCK WALL WITH 4" CAP AT PROJECT PERIMETER
7. SECONDARY DRIVE APPROACH PER CITY STANDARDS
8. PROVIDE ASPHALT PAVING AT PARKING LOT / TRAFFIC CIRCULATION AREAS
9. 6'-0" HIGH BRIGHT IRON ROLLING GATE WITH KNOX BOX AT SECONDARY ACCESS
10. LINE CANOPY AT COVERED BOAT AND RV STORAGE AREA SHOWN DASHED
11. LANDSCAPED MEDIAN AT PROJECT ENTRY
12. PROPOSED MONUMENT SIGN AT PROJECT ENTRY
13. ENTRY KEYPAD MOUNTED IN COLUMN
14. 6'-0" HIGH AUTOMATIC ROLLING METAL SECURITY GATES

PREVIOUSLY APPROVED SITE PLAN



SITE PLAN - PHASE 3
PROPOSED SELF STORAGE FACILITY



SCALE: 1"=30'-0"

1. TREES SHALL BE MAINTAINED IN GOOD HEALTH. TREES MAY BE REMOVED OR TRIMMED ONLY IF THE NATURAL GROWTH OF THE TREE OR THE OVERALL CRON OF THE TREE EXCEPT AS NECESSARY FOR THE HEALTH OF THE TREE AND PUBLIC SAFETY OR AS OTHERWISE MAY BE APPROVED BY THE DEVELOPMENT DEPARTMENT.
2. PRIOR TO FINAL CONSTRUCTION INSPECTION, A WRITTEN CERTIFICATION, SIGNED BY A LANDSCAPE PROFESSIONAL APPROVED BY THE DIRECTOR, SHALL BE SUBMITTED STATING THAT THE REQUIRED LANDSCAPING SHALL BE COMPLETED IN ACCORDANCE WITH THE LANDSCAPING AND IRRIGATION PLANS APPROVED BY THE PLANNING DIVISION, DESIGN DEPARTMENT.

TREES:

PCKD

15 GAL. PISTACIA CHINENSIS "KIETH DAVEY"

15 GAL. FRAXINUS OXYCARPA "RAYWOOD" TM RAYWOOD ASH

15 GAL. LIRIODENDRON TULIPIFERA

KEITH DAVEY CHINESE PISTACHE

LXN ————— 15 GAL. PRUNUS ILICIFOLIA

PURPLE LEAF PLUM

INTERIOR LIVE OAK

SCALE: 1"=30'-0"

DASHED LINE INDICATES
APPROXIMATE LIMIT OF

TREES:

PCKD

15 GAL. FRAXINUS OXYCARPA "RAYWOOD" TM RAYWOOD ASH

KEITH DAVEY CHINESE PISTACHE

LXN ————— 15 GAL. PRUNUS ILICIFOLIA

PURPLE LEAF PLUM

INTERIOR LIVE OAK

SCALE: 1"=30'-0"

NORTH

1. TREES SHALL BE MAINTAINED IN GOOD HEALTH. TREES MAY BE REMOVED OR PRUNED ONLY IF THE NATURAL GROWTH OF THE TREE OR THE OVERALL CROWN OF THE TREE EXCEPT AS NECESSARY FOR THE HEALTH OF THE TREE AND PUBLIC SAFETY OR AS OTHERWISE MAY BE APPROVED BY THE DEVELOPMENT DEPARTMENT.
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TREES:

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KEITH DAVEY CHINESE PISTACHE

LXN ————— 15 GAL. PRUNUS ILICIFOLIA

PURPLE LEAF PLUM

INTERIOR LIVE OAK

SCALE: 1"=30'-0"

NORTH